

Application for Assessment and  
Taxation of Agricultural Land  
1969 Farmland Assessment Act

Farmland Assessment Act  
UCA 59-2-501 TO 515

Rev. 4/15

To Be Typed or Printed in Ink

Date: 11-14-22

Owner(s):

LX Livestock LLC

James Davis, Corinne Williams, Monty Sorensen

Mailing Address: 165 Rountree Dr Cedar City

State: Utah

Zip: 84720

Lessee (if applicable):

Lessee's Mailing address:

State:

Zip:

County: Iron

Property identification numbers (attach additional sheets if necessary):

E-0066-0002-0000

	Acres
Irrigated crop land	
Irrigated Pastures	
Dry land tillable	
Wet meadow	
Grazing land	✓
Orchard	
Other specify:	

Complete Legal Descriptions (attach additional sheets if necessary):

see exhibit "A"

00800714

B: 1631 P: 1301 Fee \$40.00  
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Certification: Read the following and sign below

I certify: (1) THE FACTS SET FORTH IN THIS APPLICATION ARE TRUE. (2) The agricultural land covered by this application constitutes no less than five contiguous acres exclusive of homesite and other non-agricultural acreage (see Utah Code 59-2-503 for waiver). (3) The land is currently devoted to agricultural use and has been so devoted for two successive years immediately preceding the tax year for which valuation under this act is requested. (4) The land produces in excess of 50 percent of the average agricultural production per acre for the given type of land and the given county or area. (5) I am fully aware of the five-year rollback tax provision which becomes effective upon a change in use or other withdrawal of all or part of the eligible land. I understand that the rollback tax is a lien on the property until paid and that the application constitutes consent to audit and review. I understand that I must notify the county assessor of a change in land use to any non-qualifying use, and that a penalty of the greater of \$10 or 2 percent of the computed rollback tax due for the last year will be imposed on failure to notify the assessor within 120 days after change in use.

Corporate name

LX Livestock LLC

Owner

X

James Davis

Date

11-14-22

Owner

X

Monty Sorensen

Date

11-14-22

Owner

X

Corinne Williams

Date

11-14-22

Owner

X

Baden Wayne Beaumont

Date

12/21/22

County Assessor Signature

Notary

State of Utah

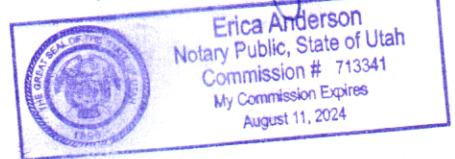
County of Iron

Subscribed and sworn before me

this 14 day of November, 2022

Notary Signature

Erica Anderson



Notary Stamp

☒ Approved (subject to review)

☐ Denied

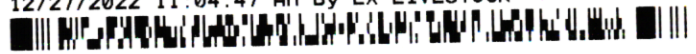
Application by the owner must be filed on or before May 1, of the current tax year.

Ownership Report (PDF)

Account No Parcel	Parcel No	District Acres	Owner	Situs
0492752	E-0066-0002-0000	10 677.068	LX SUN L L C	165 ROUNDTREE DRIVE CEDAR CITY, UT 84720
Legal BEG AT SW COR SEC 14,T34S,R12W, SLM; SD PT FOUND GLO BC; N00°01'59"E 2655.90 FT TO W1/4 COR SD SEC 14, SD PT A GLO BC; S89°35'49"E 3943.43 TO PT ON CNTRLN OF LUND HWY; S31°34'56"E ALG SD CNTRLN 2593.90 FT TO PT ON E SEC LN SD SEC 14; LEAVE SD SEC 14, ENTER SEC 13, SD TOWNSHIP & RANGE; ALG SD CNTRLN S31°34'56"E 534.07 FT TO PT ON S SEC LN SD SEC 13; LEAVE SD SEC 13, ENTER SEC 24, SD TOWNSHIP & RANGE; ALG SD CNTRLN S31°34'56"E 6230.07 FT TO PT ON S SEC LN SD SEC 24; DEPART SD CNTRLN N89°35'00"W 888.28 FT TO S1/4 COR SD SEC 24, SD PT FOUND GLO BC; N89°49'43"W 2655.21 FT TO SW COR SD SEC 24, SD PT FOUND GLO BC; N00°02'30"W 2641.64 FT TO W1/4 COR SD SEC 24, SD PT A GLO BC; N00°03'46"E 1326.02 FT; LEAVE SD SEC 24, ENTER SEC 23, SD TOWNSHIP & RANGE N89°37'04"W 5303.37 FT TO PT ON W SEC LN SD SEC 23; N00°03'22"E ALG SD W SEC LN 1326.41 FT TO POB. (LOC SEC 13,14,23 & 24,T34S,R12W, SLM) SUBJ TO EASE DESC REC BK 1472/926. LESS FOLLOW DESC PROP: BEG AT PT N89°41'16"W 62.04 FT FR E1/4 COR SEC 25 T34S,R12W, SLM; N89°41'16"W 117.78 FT TO W R/W LN OF LUND HWY; N31°34'56"W ALG SD W R/W 3136.73 FT TO POB; N31°34'56"W ALG SD W LN 6229.75 FT, SD PT ON N LN OF SEC 24;S89°50'45"E ALG SD N LN 58.79 FT TO A PT ON CNTRLN SD LUND HWY; S31°34'56"E ALG SD CNTRLN 6198.83 FT; DEPART SD CNTRLN S58°25'04"W 50.00 FT TO POB.1/				

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# Greenbelt Survey

Please complete the following survey and return with your Greenbelt documents. OWNERS PHONE NUMBER REQUIRED TO CONDUCT AUDITS, FAILURE TO PROVIDE WILL RESULT IN REJECTION OF APPLICATION.

Best Contact Phone #: 435-559-5903

Re: Parcel Number(s): 0492752 E-0066-0002-0000

1. Is the above referenced property actively devoted to agriculture? Yes ☒ No ☐
2. Do you farm or ranch the property yourself? Yes ☒ No ☐
3. Do you have the property leased to someone else? Yes ☐ No ☒
- If yes:
- a. Name of Lessee \_\_\_\_\_
- b. Do you have a written lease? Yes ☐ No ☐
- If yes, please attach a copy
- If no, please have your lessee fill out the enclosed "Lessee's Signed Statement"

- |  | Yes                                 | No                       | Number of Acres |
|--|-------------------------------------|--------------------------|-----------------|
| 4. Is the property irrigated cropland                        | <input type="checkbox"/>            | <input type="checkbox"/> | _____           |
| irrigated pasture  | <input type="checkbox"/>            | <input type="checkbox"/> | _____           |
| sub-irrigated pasture  | <input type="checkbox"/>            | <input type="checkbox"/> | _____           |
| dryland cropland   | <input type="checkbox"/>            | <input type="checkbox"/> | _____           |
| grazing  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 677.068         |
| non-productive   | <input type="checkbox"/>            | <input type="checkbox"/> | _____           |
| not currently being used                                     |                                     |                          | _____           |
| (if a combination of the above, please check all that apply) |                                     |                          |                 |

5. If the property is not currently being used, please explain \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

6. If the property is cropland, what is the average yearly yield?

Alfalfa \_\_\_\_\_ tons/acre

Oat Hay \_\_\_\_\_ tons/acre

Oats \_\_\_\_\_ bushels/acre

Wheat \_\_\_\_\_ bushels/acre

Other \_\_\_\_\_ /acre (Please specify "other" \_\_\_\_\_)

7. If the property is graze land, please answer all of the following that pertain:

# of sheep grazed 2006400 approximate length of time per year 5-6 months

# of cattle grazed \_\_\_\_\_ approximate length of time per year \_\_\_\_\_

# of other animals \_\_\_\_\_ approximate length of time per year \_\_\_\_\_

(please specify "other animals" \_\_\_\_\_)

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**Notice to Property Owners:**

All owners are responsible to make sure that lessees are actually farming or grazing the herein described property. Simply having an "agreement" with someone to use the property is not sufficient. In order for the property to receive Greenbelt consideration, it must be **actively used for agricultural purposes**. Both the Iron County Assessor's Office and the State Tax Commission conduct periodic usage audits.

**INSTRUCTIONS:** the **owner** of the property must fill out the upper portion of this statement. The lower portion must be filled out and signed by the **lessee** of the property.

**Owner(s):** \_\_\_\_\_

**Serial No(s):** \_\_\_\_\_

**Legal Description(s):**

**00800714**

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**Farmland Assessment Act  
Lessee's Signed Statement of Land Use**

This Affidavit is given and issued between:

\_\_\_\_\_ and \_\_\_\_\_  
Current Owner Lessee

Land use began on \_\_\_\_\_ and extends through \_\_\_\_\_  
Mo./day/yr. Mo./day/yr.

Type of Crop \_\_\_\_\_ Quantity per acre \_\_\_\_\_

Type of Livestock \_\_\_\_\_ Number of Animals \_\_\_\_\_

Length of time animals grazed on property annually \_\_\_\_\_

*Please read carefully:*

**Lessee** hereby affirms and declares under penalties of perjury that said land makes a significant contribution to his overall agricultural operation, and the land produces in excess of 50% of the average agricultural production per acre for a given type of land and the given county area annually. Without the contribution of the above described land, it would significantly affect or diminish lessees overall operation as an agricultural unit.

\_\_\_\_\_  
Lessee's Signature

\_\_\_\_\_  
Address

\_\_\_\_\_  
Phone No.

DATED this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_