

STORM WATER FACILITY AGREEMENT

THIS AGREEMENT, is made and entered into this 3RD day of AUGUST, 2023, by and between WOODSIDE HOMES OF UTAH LLC. (hereinafter referred to as "Owner", and American Fork City (hereinafter referred to as the "City"), a Municipal Corporation.

RECITALS



WHEREAS, the Owner desires to improve, develop or redevelop real property located at approximately 850 W 560 S in American Fork City, Utah County, State of Utah (hereinafter referred to as the "Property"), which is more particularly described in Exhibit A attached hereto;

WHEREAS, said development requires the installation and maintenance of storm water facilities (hereinafter referred to as "Facilities") to be constructed according to designs and plans approved by the City;

WHEREAS, the Owner, for and in behalf of its administrators, executors, successors, heirs, or assigns, including any homeowners association, recognizes and agrees that the health, safety, and welfare of the citizens of the City require that the Facilities be constructed and adequately maintained on the Property throughout the life of the development; and

NOW, THEREFORE, in consideration of the foregoing, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

SECTION 1
FACILITIES

Facilities include all storm water detention and control structures, flood control devices, or other improvements, which may include, but is not limited to all pipes, channels, or other structures and infrastructure built to convey storm water to the Facilities, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the storm water which are required by the City in the site plan attached hereto as Exhibit B.

SECTION 2
FACILITIES CONSTRUCTION

The Owner shall, at its sole cost and expense, construct the Facilities in accordance with the plans and specifications for the development approved by the City. Owner understands and agrees that modifications may be needed to make the system work properly after the Facilities are installed and agrees to make modifications and adjustments as may be necessary and required by the City.

Approved as to form:
Attorney for American Fork City

SECTION 3 MAINTENANCE

The Owner shall, at its sole cost and expense, adequately maintain the Facilities in good working condition acceptable to the City and in accordance with the schedule of long term maintenance activities agreed to by the parties and attached hereto as Exhibit C. Adequate maintenance is herein defined as follows: 1) keeping the Facilities in good working condition so that the Facilities are performing their design functions, 2) performing facility inspections and repairs as may be needed, and 3) replacing and/or modifying portions, or all of the system, as may be needed to maintain the intended function of the facility.

SECTION 4 EASEMENT

The Owner hereby grants permission to the City, its authorized agents, and employees to enter upon the Property and to inspect the Facilities whenever the City deems it necessary. Whenever possible, the City shall provide notice prior to entry. Inspections by the City shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with all laws, regulations, and approved plans and specifications. The Owner hereby grants a twenty-five (25) foot access easement in favor of the City with the midpoint of the easement lying over the midpoint of the Facilities identified in the attached plan. This easement shall be limited in scope to allow only those actions which are necessary to allow the City to inspect, ensure adequate maintenance, and to cause any repairs to be made that the City deems necessary. This easement shall include, but is not be limited to, prohibiting the construction of structures or improvements that would impact or obstruct the intended purposes of the Facilities or restrict the ability of the Owner or the City to inspect, maintain, or repair the Facilities.

SECTION 5 FAILURE TO MAINTAIN FACILITIES

In the event the Owner fails to maintain the Facilities in good working order acceptable to the City and in accordance with the maintenance schedule incorporated in this Agreement, the City, in addition to any other remedies provided by State or City code, may, with due notice as provided in Section 6, enter the property and take whatever steps it deems necessary to return the Facilities to good working order. This provision shall not be construed to allow the City to erect any structure of a permanent nature on the property that is not included in the plans and specifications for the development, or other agreement between the parties. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Facilities. The decision to maintain or repair the Facilities shall be at the City's sole discretion and in no event shall this Agreement be construed to impose any such obligation on the City or to create any liability for the City refusing to undertake such a duty.

Approved as to form:
Attorney for American Fork City

SECTION 6 NOTICE OF DEFICIENCIES

If the City finds that the Facilities contain any defects or are not being maintained adequately, the City shall provide Owner written notice of the defects or deficiencies and provide Owner with a reasonable time, as determined by the City, to cure such defects or deficiencies.

SECTION 7 RECOUPMENT OF COSTS

In the event the City performs work of any nature pursuant to the Agreement, or expends any funds in the performance of said work for labor, use of equipment, supplies, materials, and the like, the Owner shall reimburse the City within thirty (30) days of receipt thereof for all the costs incurred by the City. If not paid within the prescribed time period, the City shall be entitled to record a lien against the real property in the amount of such costs. The actions described in this section are in addition to and not in lieu of any and all legal remedies available to the City as a result of the Owner's failure to maintain the Facilities.

SECTION 8 LIMITATION OF LIABILITIES

It is the sole intent of this Agreement to insure the proper construction and maintenance of the Facilities by the Owner. As the Facilities are not part of the City's Storm Water Collection System, this agreement does not create or extend any rights to immunity or liability protections provided by law to municipalities. This Agreement shall not be deemed to create or affect any additional liability of any party for damage alleged to result from or caused by storm water runoff, or to constitute a waiver of any immunity provided to the City through the Utah State Code or Constitution.

SECTION 9 SEDIMENT ACCUMULATION

Adequate maintenance shall include control of sediment accumulation resulting from the normal operation of the Facilities. The Owner will make accommodations for the removal and appropriate disposal of all accumulated sediments.

SECTION 10 REQUIREMENTS AND STANDARDS

The Parties agree to follow and comply with all requirements applicable to storm water detention and control facilities as by the Utah Department of Environmental Quality, Division of Water Quality, including the Small MS4 General UPDES Permit requirements, and by the City ordinances and Storm Water Management Plan as existing at the time of executing this agreement and as may be amended from time to time. The parties agree that these requirements and regulations are incorporated herein by this reference and that this agreement shall be deemed

Approved as to form:
Attorney for American Fork City

automatically amended to incorporate any and all changes and amendments made thereto after the signing of this agreement.

SECTION 11 INSPECTIONS

The Owner shall perform an annual inspection of the Facilities. The City may require more frequent inspections should it have reason to believe that such inspections are necessary. All inspections shall be conducted by a qualified inspector and the results shall be reported to the City. The purpose of the inspection and reporting is to assure safe and proper functioning of the Facilities, including but not limited to, the structural improvements, berms, outlet structure, pond areas, access roads, vegetation, landscaping, etc. All annual inspection reports shall be submitted to the City Public Works Department no later than September 1 of any given year and shall be on the Maintenance Inspection Report attached hereto as Exhibit D.

SECTION 12 INDEMNITY

The Owner indemnifies and holds harmless the City and its authorized agents and employees for any and all damages, accidents, casualties, occurrences or claims which might arise or be asserted against the City from the construction, presence, existence or maintenance of the facility or facilities by the Owner. In the event a claim is asserted against the City, its authorized agents or employees, the City shall promptly notify the Owner and the Owner shall defend at its own expense any suit based on such claim. If any judgment or claims against the City, its authorized agents or employees shall be allowed, the Owner shall pay for all costs and expenses in connection herewith.

SECTION 13 COVENANT RUNNING WITH THE LAND

This Agreement shall be recorded at the Utah County Recorder's Office and shall constitute a covenant running with the land and shall be binding on the Owner, its administrators, executors, heirs, assigns and any other successors in interest, including any homeowners association.

SECTION 14 REMEDIES

This Agreement may be enforced by proceedings at law or in equity by or against the parties hereto and their respective successors in interest. Any rights or remedies contained in this Agreement shall be in addition, and non-exclusive, to any rights existing under the Utah Code or that may exist under the common law.

Approved as to form:
Attorney for American Fork City

**SECTION 15
ATTORNEYS FEES**

If any party retains, consults, or uses an attorney because of any breach, default, or failure to perform as required by this Agreement, the non-breaching/defaulting party shall be entitled to reasonable attorney's fees incurred before litigation is filed. In the event that any litigation is commenced to enforce or interpret this Agreement the prevailing party shall be entitled to its attorneys fees, expert witness expenses, and litigation related expenses, including but not limited to court costs.

**SECTION 16
THIRD PARTY BENEFICIARIES**

This Agreement shall be binding upon and inure solely to the benefit of the parties herein and is not intended to create contractual rights in any third party.

**SECTION 17
NO PARTNERSHIP**

Nothing contained in this Agreement shall be deemed to create any form of a partnership or joint-venture between the City and Owner.

**SECTION 18
UTAH LAW AND VENUE**

This Agreement shall be interpreted pursuant to the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Utah County, Utah.

**SECTION 19
INTEGRATED AGREEMENT**

This Agreement sets forth the entire agreement of the parties and supersedes all prior agreements, whether written or oral, that exists between the parties regarding the subject matter of this Agreement.

**SECTION 20
SEVERABILITY**

The provisions of this agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the, its successors and assigns, is held invalid, the remainder of this Covenant shall not be affected thereby.

Approved as to form:
Attorney for American Fork City

SECTION 21
AMENDMENTS

Except as expressly provided elsewhere in this Agreement, no provision of this Agreement may not be modified except in writing agreed to by both parties.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the dates set forth below.

OWNER

Date: AUGUST 3rd, 20 23.

[Signature]
By: Burke Staker
Its: VP of Land

NOTARIZATION

STATE OF UTAH)
) :ss
COUNTY OF UTAH)

The above Agreement was executed on this 3rd day of August, 2023 by Burke Staker, for and on behalf of Woodside Homes, the Owner identified in the above signed Agreement. In executing this Agreement, the signer did swear before me that he is duly authorized to sign the agreement on behalf of the Owner.

[Signature]
NOTARY PUBLIC

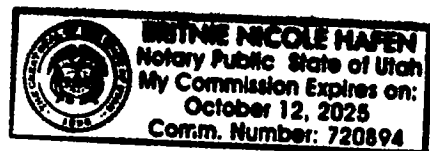
AMERICAN FORK CITY

Date: August 14, 20 23.

[Signature]
Director of Public Works
Susan Goebel-Canning

ATTEST:

[Signature]
Terilyn Lurker
Notary Public State of Utah



on Aug 14th day of August, 2023, Susan Goebel-Canning
appeared before me and acknowledged she signed this document

Approved as to form:
Attorney for American Fork City



Exhibit A

Approved as to form:
Attorney for American Fork City

Exhibit A

Parcel Number: **13:043:0134**

Legal Description:

COM N 0 DEG 0' 5" E 650.72 FT & N 89 DEG 59' 55" W 3216.32 FT FR SE COR. SEC. 22, T5S, R1E, SLB&M.; N 0 DEG 50' 22" E 273.25 FT; ALONG A CURVE TO L (CHORD BEARS: S 78 DEG 45' 53" E 69.5 FT, RADIUS = 178 FT); N 89 DEG 58' 34" E 215.28 FT; ALONG A CURVE TO R (CHORD BEARS: S 89 DEG 36' 33" E 7.87 FT, RADIUS = 544 FT); S 89 DEG 11' 40" E 235.72 FT; N 0 DEG 50' 20" E 27.04 FT; S 89 DEG 12' 17" E .75 FT; N 0 DEG 50' 18" E 164.78 FT; N 0 DEG 50' 20" E 637.56 FT; S 89 DEG 5' 7" E 812.34 FT; ALONG A CURVE TO L (CHORD BEARS: S 0 DEG 39' 36" W 28.72 FT, RADIUS = 1000.01 FT); S 0 DEG 9' 46" E 173.19 FT; ALONG A CURVE TO R (CHORD BEARS: S 0 DEG 14' 1" W 13.83 FT, RADIUS = 1000 FT); S 0 DEG 37' 47" W 707.87 FT; S 5 DEG 46' 21" W 100.4 FT; S 0 DEG 37' 47" W 25.66 FT; ALONG A CURVE TO R (CHORD BEARS: S 44 DEG 52' 6" W 34.88 FT, RADIUS = 25 FT); S 89 DEG 6' 26" W 625.86 FT; ALONG A CURVE TO R (CHORD BEARS: N 89 DEG 57' 44" W 46.39 FT, RADIUS = 1428 FT); N 89 DEG 1' 53" W 641.39 FT TO BEG. AREA 23.518 AC.

Exhibit B

Approved as to form:
Attorney for American Fork City

SEWER NOTES

1. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 2. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 3. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 4. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 5. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 6. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 7. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 8. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 9. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 10. ALL SEWER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.

WATER SERVICE NOTES

1. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 2. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 3. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 4. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 5. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 6. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 7. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 8. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 9. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.
 10. ALL WATER PIPES SHALL BE 12" DIA. UNLESS OTHERWISE NOTED.

PINOTE

A 7" PIN CONNECTION IS SHOWN FOR PHASE 1A. THE 7" PIN CONNECTION IS TO BE USED FOR THE 10" PIN FOR ALL SUBSEQUENT PHASES.

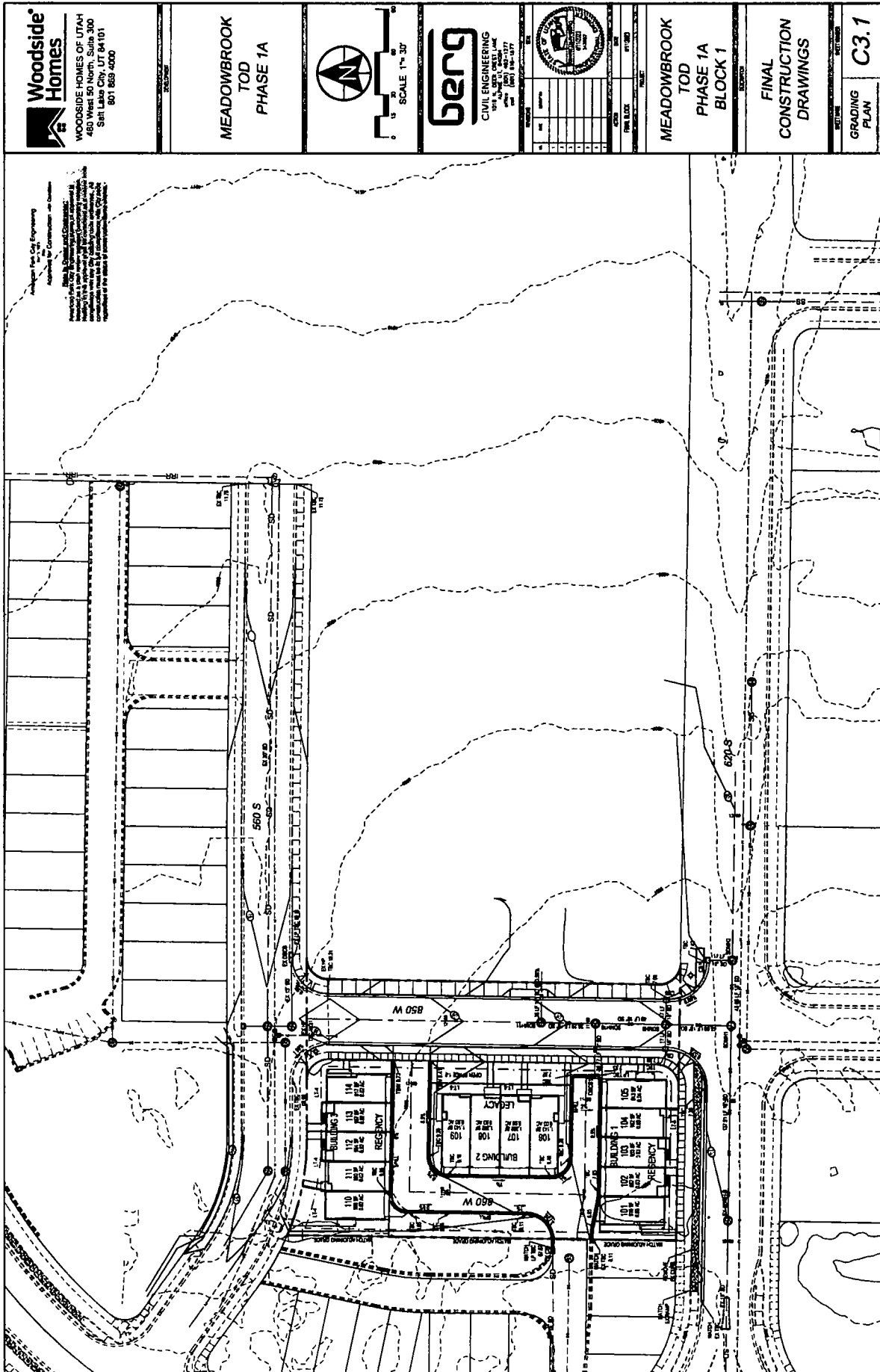
WOODSIDE HOMES

WOODSIDE HOMES OF UTAH
 480 West 50 North, Suite 300
 Salt Lake City, UT 84101
 801.869.4000

MEADOWBROOK TOD PHASE 1A

FINAL CONSTRUCTION DRAWINGS

UTIL C2.1



WOODSIDE Homes
WOODSIDE HOMES OF UTAH
460 West 50 North, Suite 300
Salt Lake City, UT 84101
801 889 4000

MEADOWBROOK TOD PHASE 1A

620 SOUTH

SCALE 1" = 30'

BERG CIVIL ENGINEERING
1111 S. 1000 E., SUITE 100
SALT LAKE CITY, UT 84143
(801) 466-1177
www.bergcivil.com

MEADOWBROOK TOD PHASE 1A BLOCK 1

FINAL CONSTRUCTION DRAWINGS

620 SOUTH

PLAN & PROFILE

C4.1

MEADOWBROOK TOD PHASE 1A BLOCK 1

FINAL CONSTRUCTION DRAWINGS

620 SOUTH

PLAN & PROFILE

C4.1

Woodside Homes
WOODSIDE HOMES OF UTAH
460 West 50 North, Suite 300
Salt Lake City, UT 84101
801.859.4000

MEADOWBROOK
TOD
PHASE 1A



SCALE: 1"=30'

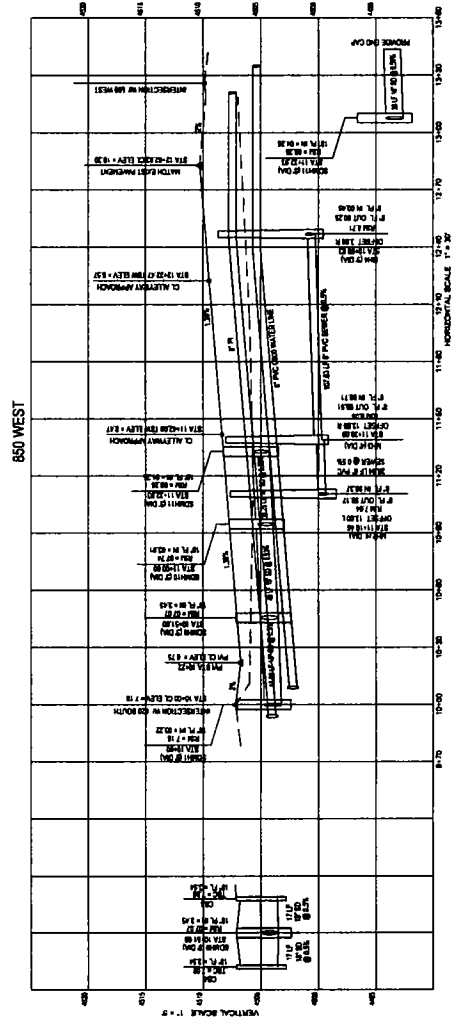
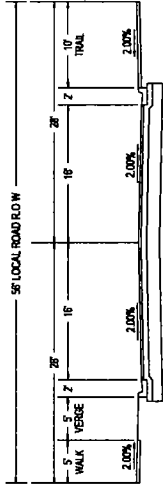
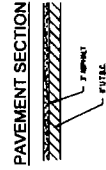
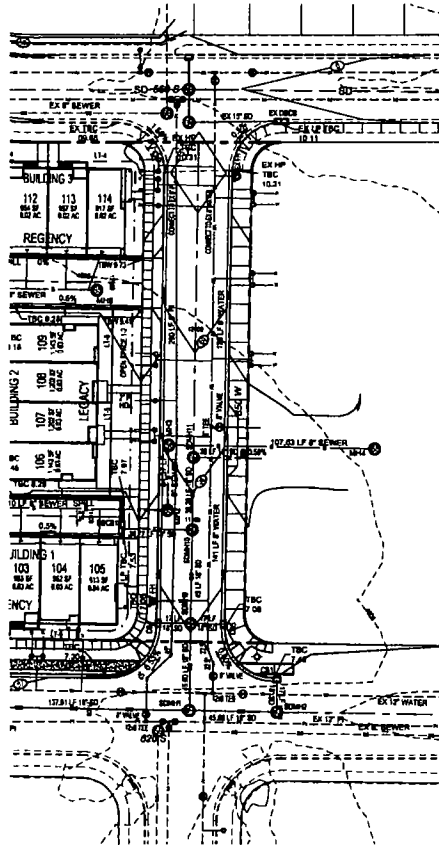
berg
CIVIL ENGINEERING
1010 S. 2000 E. SUITE 100
SALT LAKE CITY, UT 84143
PHONE (801) 467-1177
FAX (801) 467-1177



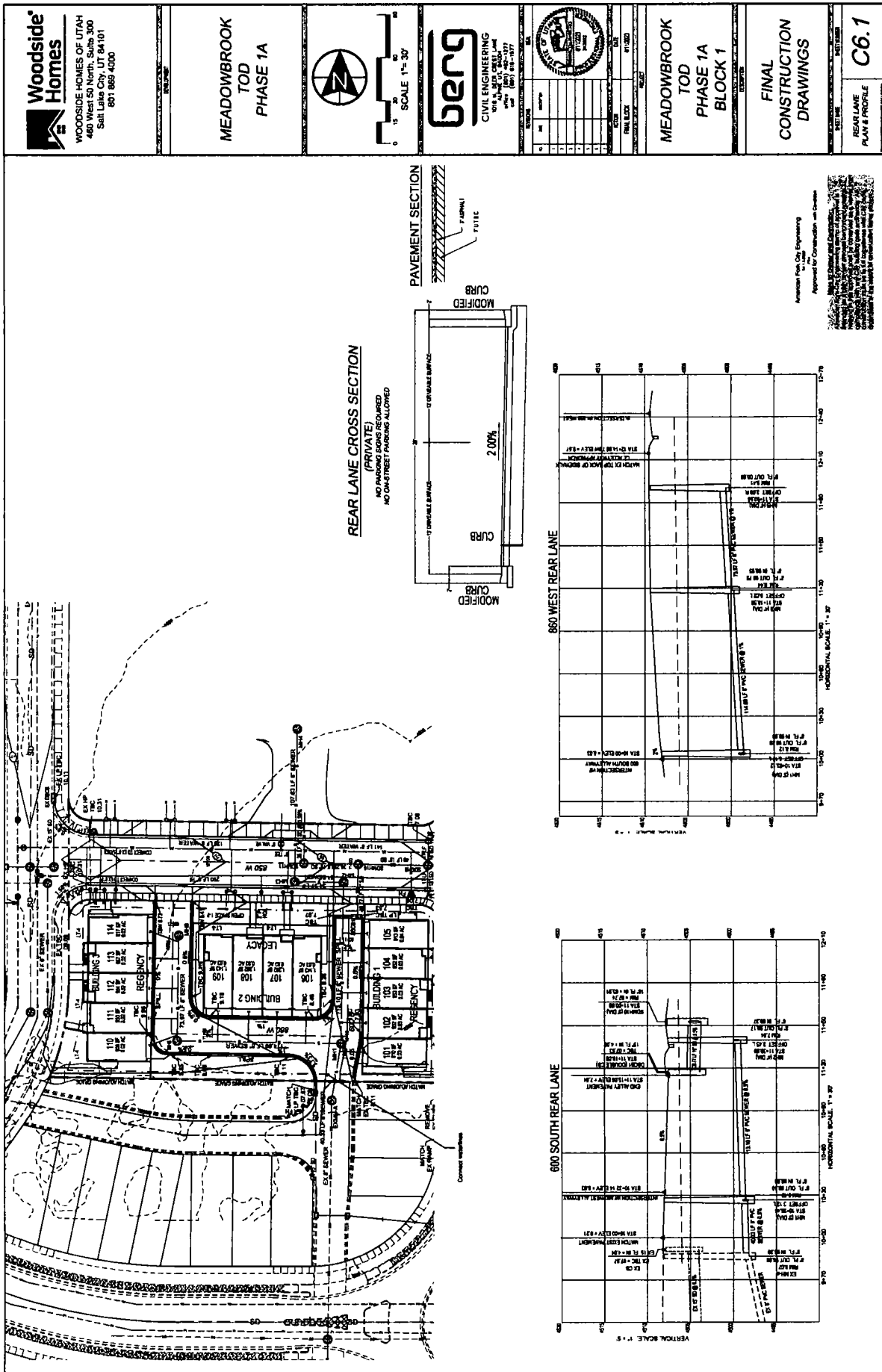
MEADOWBROOK
TOD
PHASE 1A
BLOCK 1

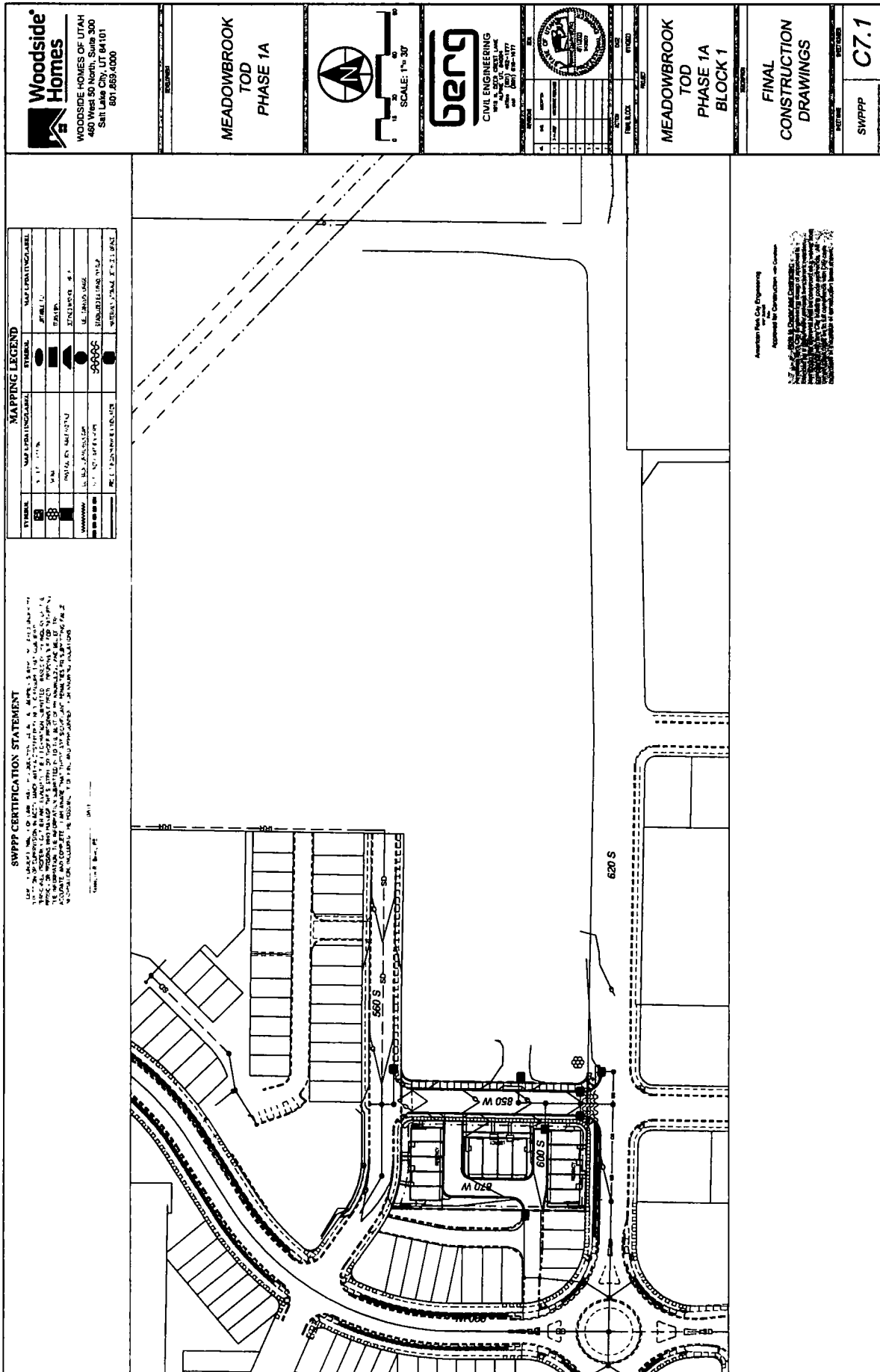
FINAL
CONSTRUCTION
DRAWINGS

850 WEST
PLAN & PROFILE
C5.1



Approved For Construction - as Constructed
American Public Civil Engineering
1010 S. 2000 E. SUITE 100
SALT LAKE CITY, UT 84143
PHONE (801) 467-1177
FAX (801) 467-1177

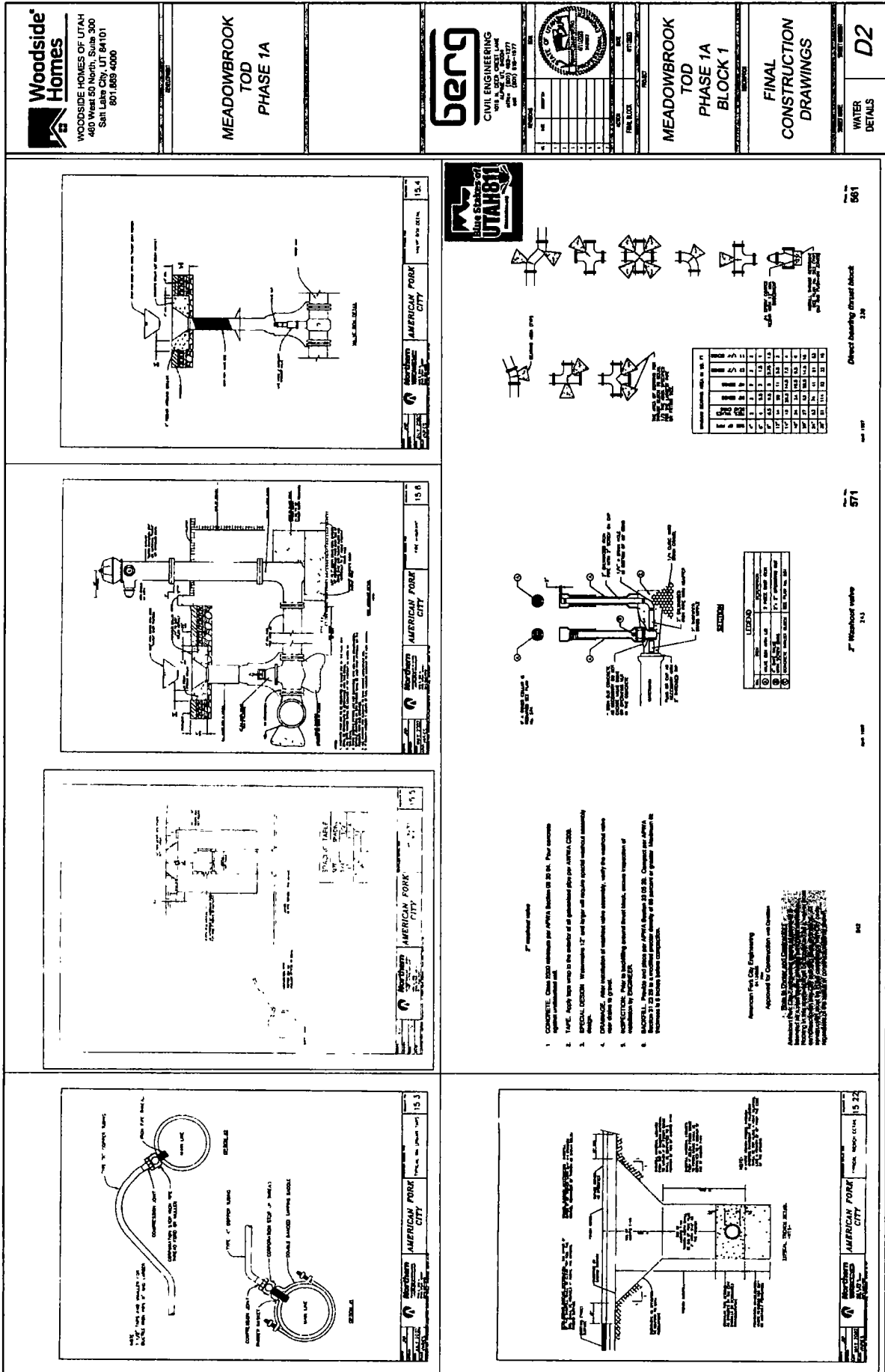


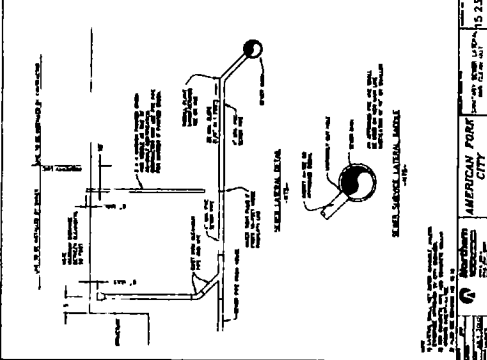
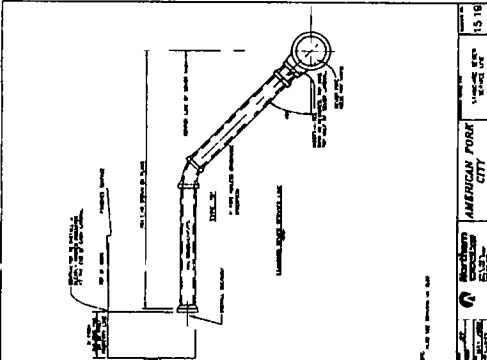
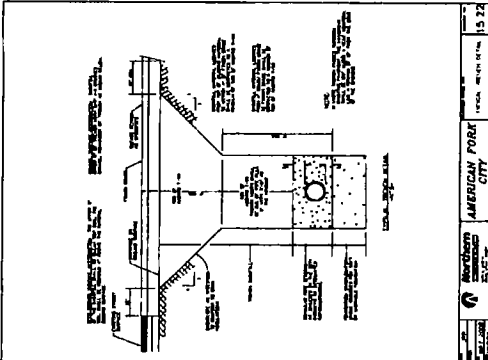
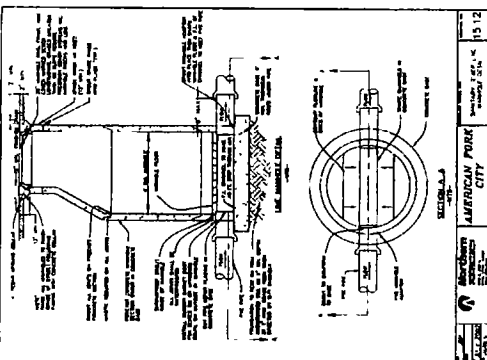
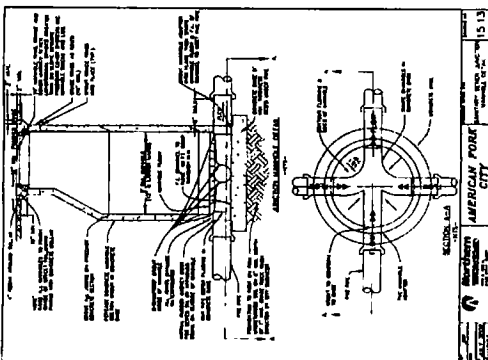


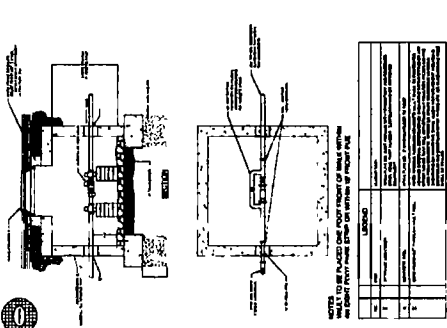
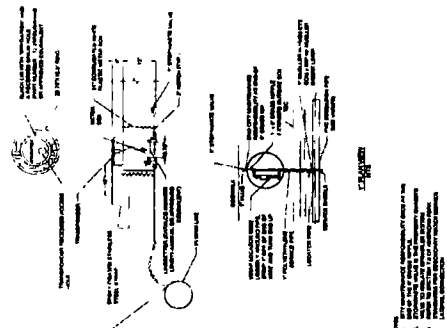
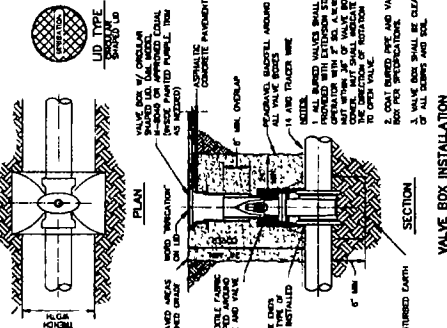
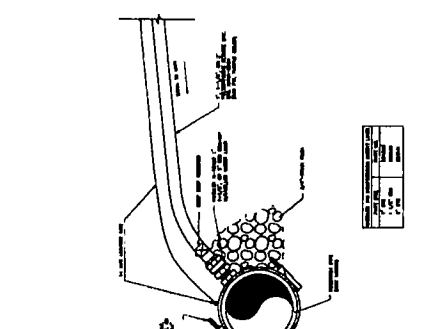
Approved for Construction - on Behalf of
 American Peak City Engineering
 1111 S. 2000 WEST, SUITE 100
 SALT LAKE CITY, UT 84119
 801.466.1111

[illegible]

[illegible]



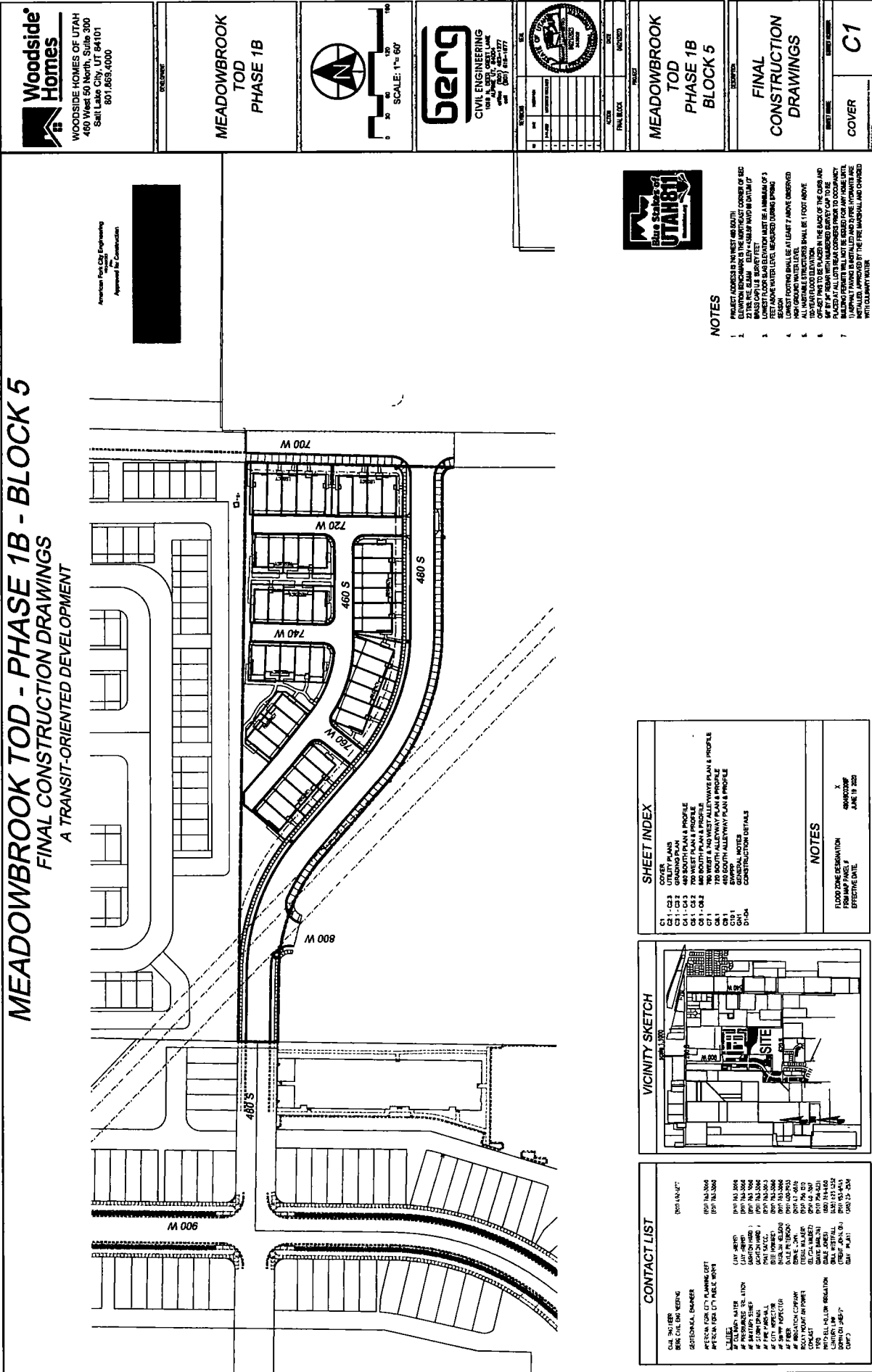
 Woodside Homes WOODSIDE HOMES OF UTAH 460 West 50 North, Suite 300 Salt Lake City, UT 84103 801 869 4000		MEADOWBROOK TOD PHASE 1A		 berg CIVIL ENGINEERING 1015 S. 2000 WEST SALT LAKE CITY, UT 84119 TEL: (801) 462-1177 FAX: (801) 462-1177		 <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td></tr> <tr><td>10</td><td></td><td></td></tr> <tr><td>11</td><td></td><td></td></tr> <tr><td>12</td><td></td><td></td></tr> <tr><td>13</td><td></td><td></td></tr> <tr><td>14</td><td></td><td></td></tr> <tr><td>15</td><td></td><td></td></tr> <tr><td>16</td><td></td><td></td></tr> <tr><td>17</td><td></td><td></td></tr> <tr><td>18</td><td></td><td></td></tr> <tr><td>19</td><td></td><td></td></tr> <tr><td>20</td><td></td><td></td></tr> </table>		NO.	DATE	DESCRIPTION	1			2			3			4			5			6			7			8			9			10			11			12			13			14			15			16			17			18			19			20			MEADOWBROOK TOD PHASE 1A BLOCK 1		FINAL CONSTRUCTION DRAWINGS		SEWER & STORM DRAIN DETAILS		D3	
NO.	DATE	DESCRIPTION																																																																												
1																																																																														
2																																																																														
3																																																																														
4																																																																														
5																																																																														
6																																																																														
7																																																																														
8																																																																														
9																																																																														
10																																																																														
11																																																																														
12																																																																														
13																																																																														
14																																																																														
15																																																																														
16																																																																														
17																																																																														
18																																																																														
19																																																																														
20																																																																														
 Utah State of Engineering Professional Engineer Approved for Construction - with Conditions 1. All Work to be Done in Accordance with the Conditions of the Contract. 2. All Work to be Done in Accordance with the Conditions of the Contract. 3. All Work to be Done in Accordance with the Conditions of the Contract. 4. All Work to be Done in Accordance with the Conditions of the Contract. 5. All Work to be Done in Accordance with the Conditions of the Contract. 6. All Work to be Done in Accordance with the Conditions of the Contract. 7. All Work to be Done in Accordance with the Conditions of the Contract. 8. All Work to be Done in Accordance with the Conditions of the Contract. 9. All Work to be Done in Accordance with the Conditions of the Contract. 10. All Work to be Done in Accordance with the Conditions of the Contract. 11. All Work to be Done in Accordance with the Conditions of the Contract. 12. All Work to be Done in Accordance with the Conditions of the Contract. 13. All Work to be Done in Accordance with the Conditions of the Contract. 14. All Work to be Done in Accordance with the Conditions of the Contract. 15. All Work to be Done in Accordance with the Conditions of the Contract. 16. All Work to be Done in Accordance with the Conditions of the Contract. 17. All Work to be Done in Accordance with the Conditions of the Contract. 18. All Work to be Done in Accordance with the Conditions of the Contract. 19. All Work to be Done in Accordance with the Conditions of the Contract. 20. All Work to be Done in Accordance with the Conditions of the Contract.																																																																														
 SEWER MANHOLE DETAIL 15 23				 STORM DRAIN DETAIL 15 16				 SEWER MANHOLE DETAIL 15 23																																																																						
 SEWER MANHOLE DETAIL 15 12				 STORM DRAIN DETAIL 15 13																																																																										

 Woodside Homes WOODSIDE HOMES OF UTAH 480 West 50 North, Suite 300 Salt Lake City, UT 84101 801 889 4000	MEADOWBROOK TOD PHASE 1A	 CIVIL ENGINEERING WILLIAM D. BENG P.E. No. 1202 UTAH SALT LAKE CITY, UT 84101 801 462-1177 801 462-1177	MEADOWBROOK TOD PHASE 1A BLOCK 1	FINAL CONSTRUCTION DRAWINGS	SECONDARY WATER DETAILS	D4
 NOTES: 1. VALVE BOX SHALL BE CONCRETE AND SHALL BE SET IN UNDISTURBED EARTH. 2. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. 3. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. AMERICAN FORK CITY 170 EAST 100 NORTH SALT LAKE CITY, UT 84101						
 NOTES: 1. VALVE BOX SHALL BE CONCRETE AND SHALL BE SET IN UNDISTURBED EARTH. 2. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. 3. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. AMERICAN FORK CITY 170 EAST 100 NORTH SALT LAKE CITY, UT 84101						
 NOTES: 1. VALVE BOX SHALL BE CONCRETE AND SHALL BE SET IN UNDISTURBED EARTH. 2. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. 3. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. AMERICAN FORK CITY 170 EAST 100 NORTH SALT LAKE CITY, UT 84101						
 NOTES: 1. VALVE BOX SHALL BE CONCRETE AND SHALL BE SET IN UNDISTURBED EARTH. 2. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. 3. VALVE BOX SHALL BE SET IN UNDISTURBED EARTH. AMERICAN FORK CITY 170 EAST 100 NORTH SALT LAKE CITY, UT 84101						

MEADOWBROOK TOD - PHASE 1B - BLOCK 5

FINAL CONSTRUCTION DRAWINGS

A TRANSIT-ORIENTED DEVELOPMENT



Woodside Homes
WOODSIDE HOMES OF UTAH
480 West 50 North, Suite 300
Salt Lake City, UT 84101
801.563.4000

MEADOWBROOK
TOD
PHASE 1B



berg
CIVIL ENGINEERING
1000 S. 1000 E., SUITE 100
SALT LAKE CITY, UT 84143
TEL: 801.466.1177
WWW.BERGENGINEERING.COM

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	05/11/2023
2	ISSUED FOR CONSTRUCTION	06/18/2023
3	ISSUED FOR CONSTRUCTION	06/18/2023
4	ISSUED FOR CONSTRUCTION	06/18/2023
5	ISSUED FOR CONSTRUCTION	06/18/2023
6	ISSUED FOR CONSTRUCTION	06/18/2023
7	ISSUED FOR CONSTRUCTION	06/18/2023

MEADOWBROOK
TOD
PHASE 1B
BLOCK 5

FINAL
CONSTRUCTION
DRAWINGS

COVER
C1

American Peak City Engineering
Approved for Construction



NOTES

1. PROJECT ADDRESS IS 1000 WEST 50 NORTH, SUITE 300, SALT LAKE CITY, UT 84101.
2. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5.
3. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5.
4. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5.
5. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5.
6. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5.
7. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5. EXISTING MEADOWBROOK TOD PHASE 1B BLOCK 5 IS THE SUBJECT OF THE CONSTRUCTION OF THE MEADOWBROOK TOD PHASE 1B BLOCK 5.

CONTACT LIST

DAVID L. BERG
BERG CIVIL ENGINEERING
1000 S. 1000 E., SUITE 100
SALT LAKE CITY, UT 84143
TEL: 801.466.1177
WWW.BERGENGINEERING.COM

DAVID L. BERG
BERG CIVIL ENGINEERING
1000 S. 1000 E., SUITE 100
SALT LAKE CITY, UT 84143
TEL: 801.466.1177
WWW.BERGENGINEERING.COM

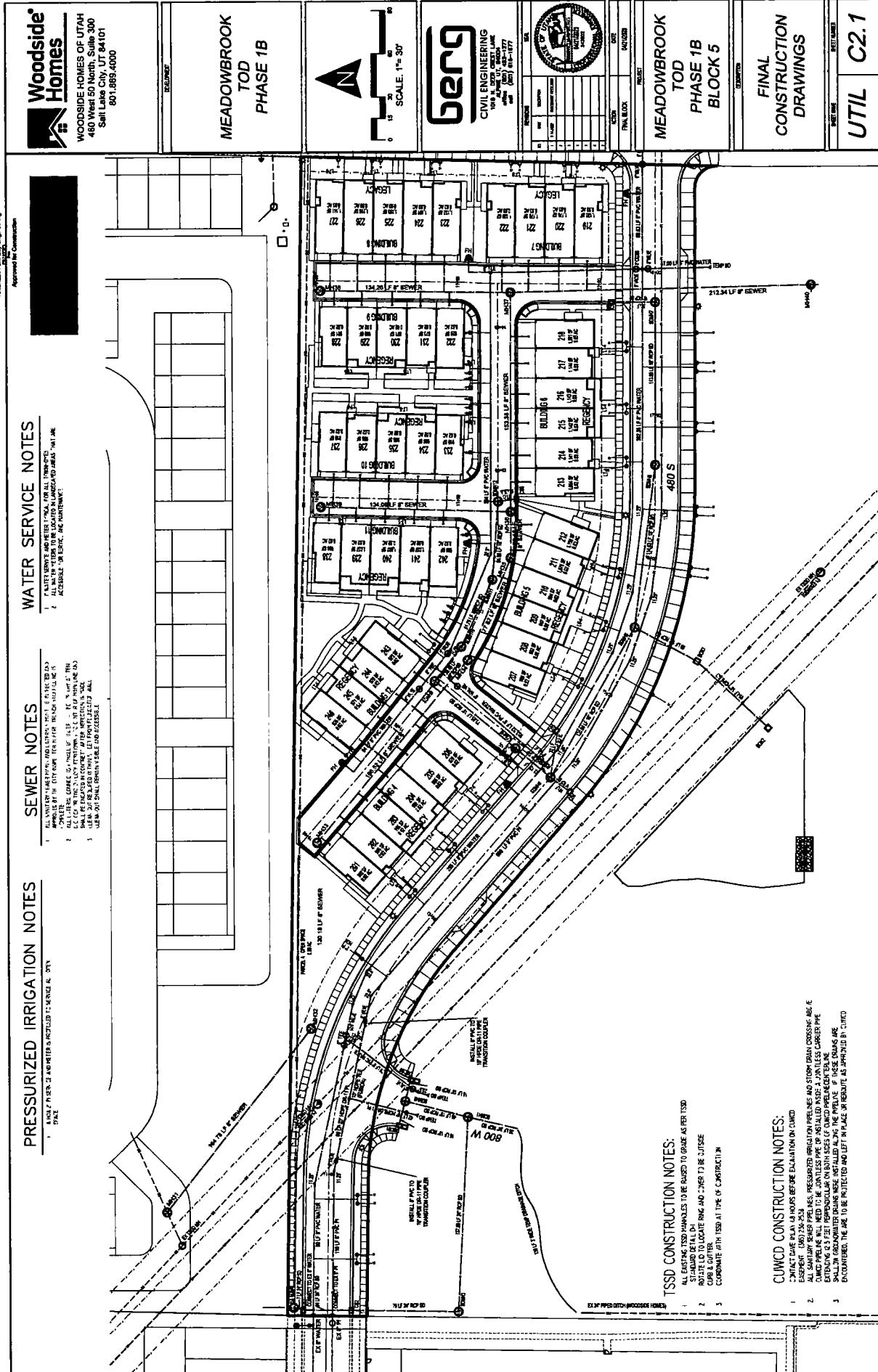
VICINITY SKETCH

SHEET INDEX

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	05/11/2023
2	ISSUED FOR CONSTRUCTION	06/18/2023
3	ISSUED FOR CONSTRUCTION	06/18/2023
4	ISSUED FOR CONSTRUCTION	06/18/2023
5	ISSUED FOR CONSTRUCTION	06/18/2023
6	ISSUED FOR CONSTRUCTION	06/18/2023
7	ISSUED FOR CONSTRUCTION	06/18/2023

NOTES

FLOOD ZONE DESIGNATION
EFFECTIVE DATE
JUNE 18, 2023



PRESSURIZED IRRIGATION NOTES

1. IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:

SEWER NOTES

1. ALL SEWER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:

WATER SERVICE NOTES

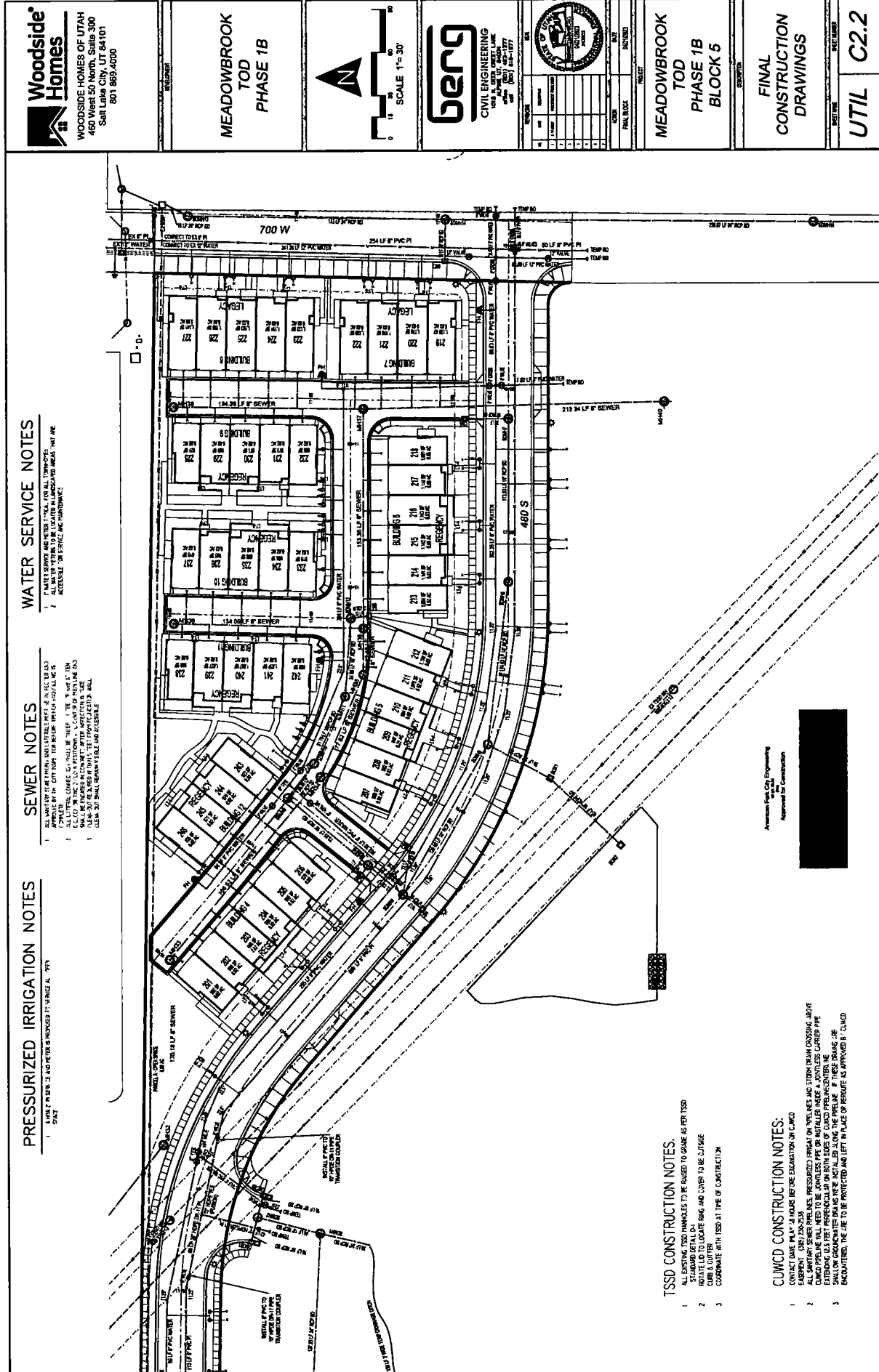
1. WATER SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:

TSSD CONSTRUCTION NOTES:

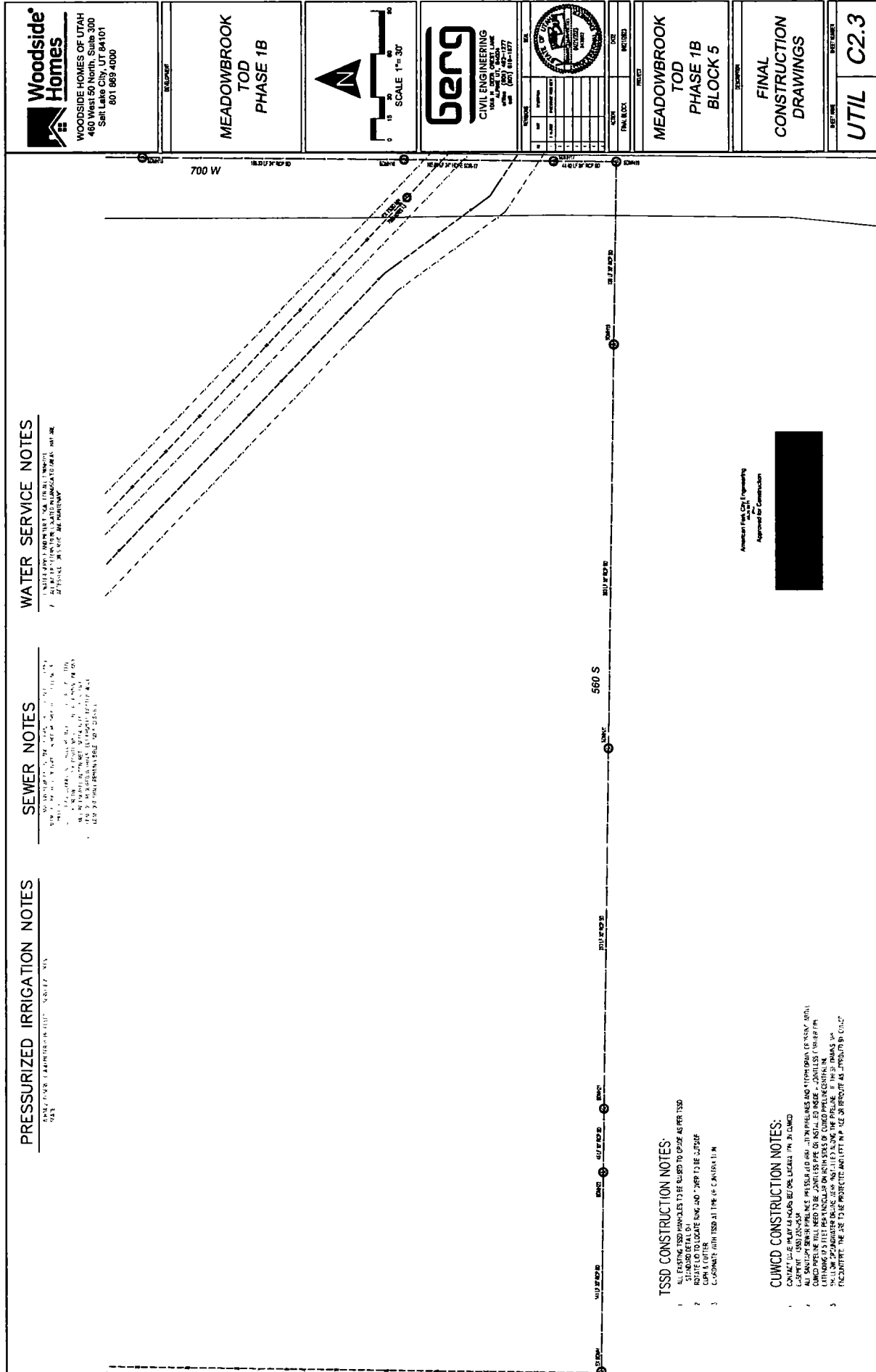
1. ALL EXISTING TSSD MANHOLES TO BE RAISED TO GRADE AS PER TSSD SPECIFICATIONS.
2. ALL NEW TSSD MANHOLES TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:
3. COORDINATE WITH TSSD AT TIME OF CONSTRUCTION.

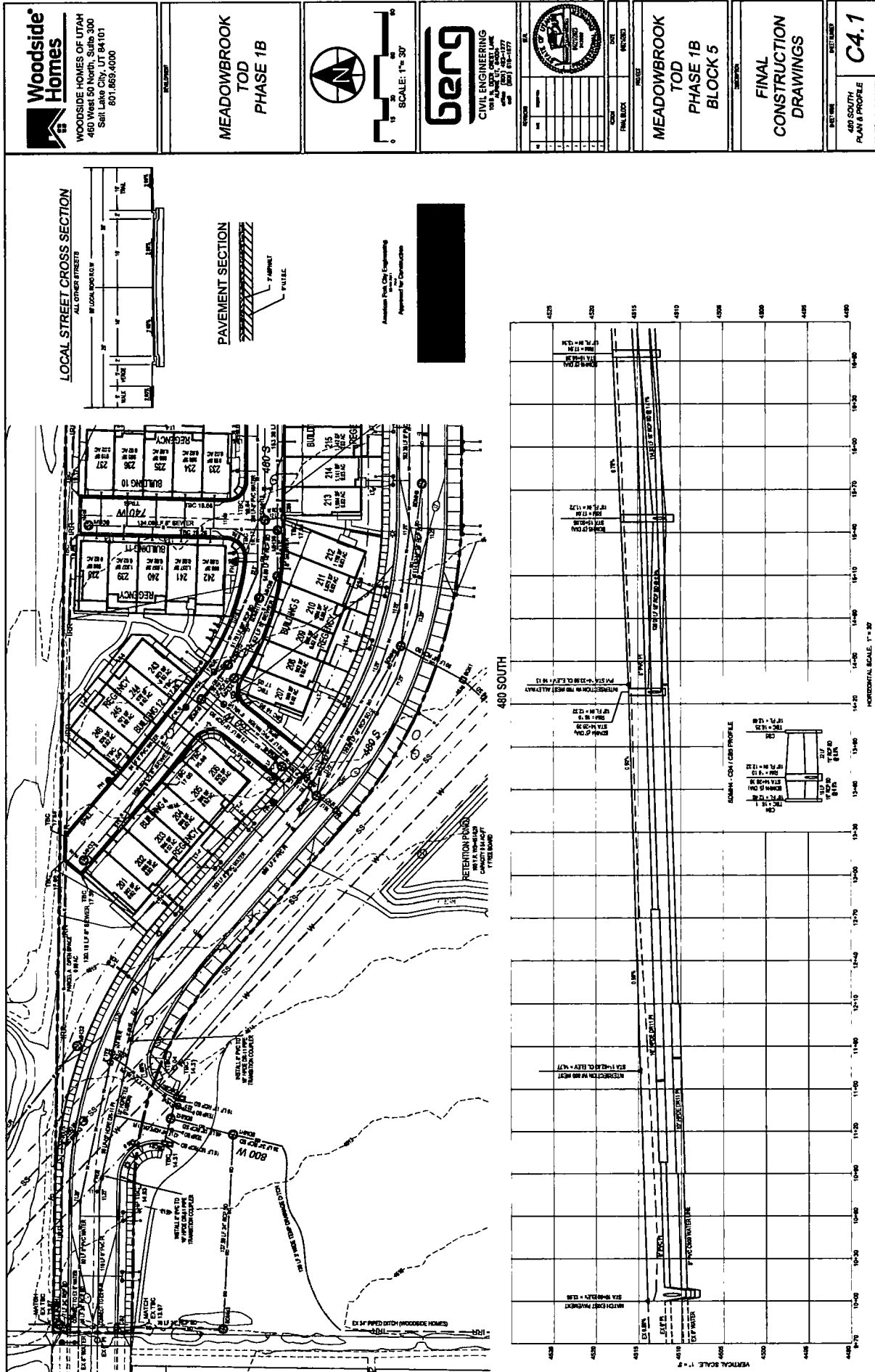
CUMCD CONSTRUCTION NOTES:

1. CONTACT DAVE RYAN 48 HOURS BEFORE ELEVATION ON CUMCD.
2. ELEVATION (360) 224-2524.
3. ALL SANITARY SEWER PIPES, PRESSURIZED IRRIGATION PIPES AND STORM DRAIN CROSSINGS ARE TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES:

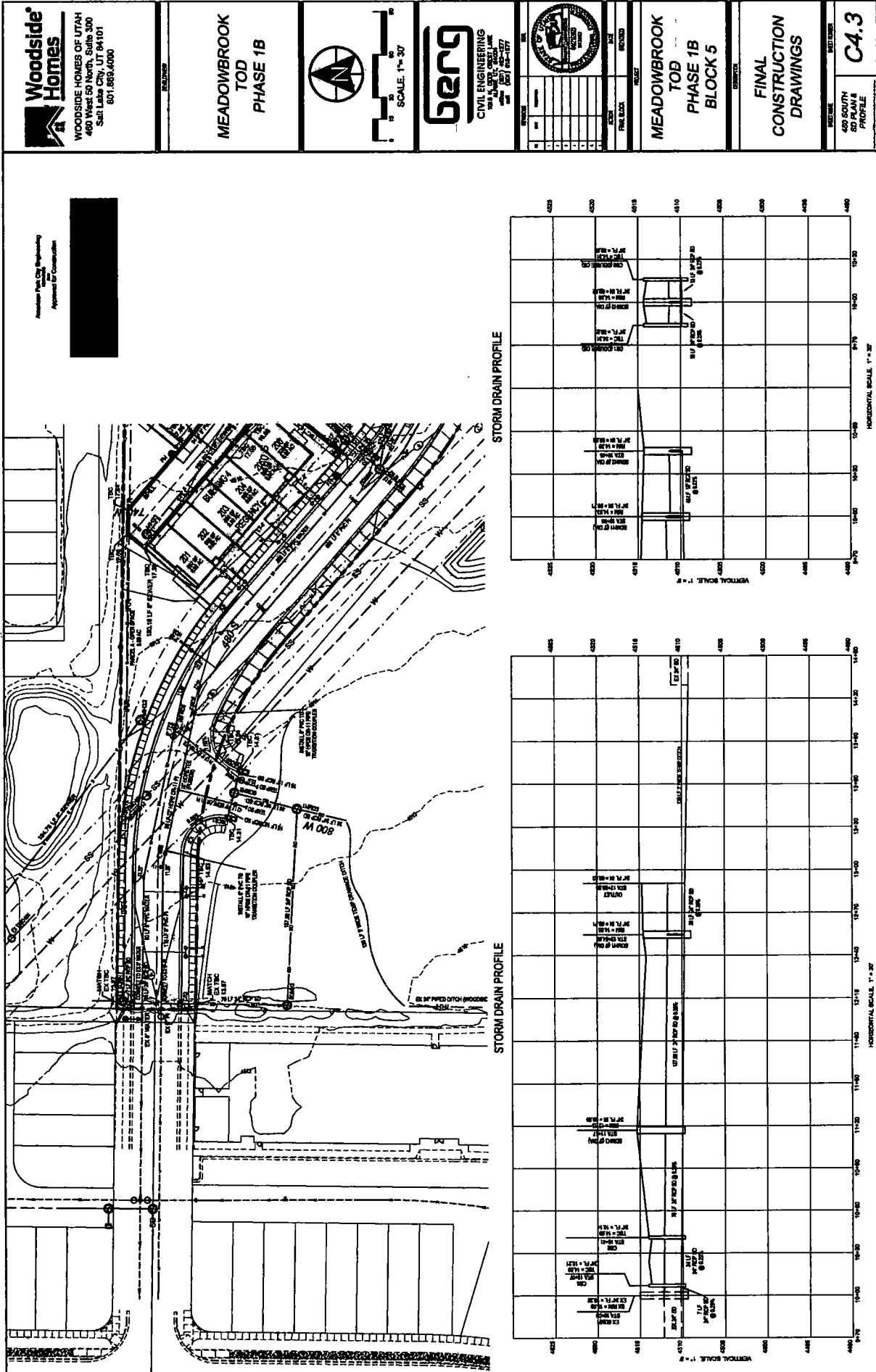


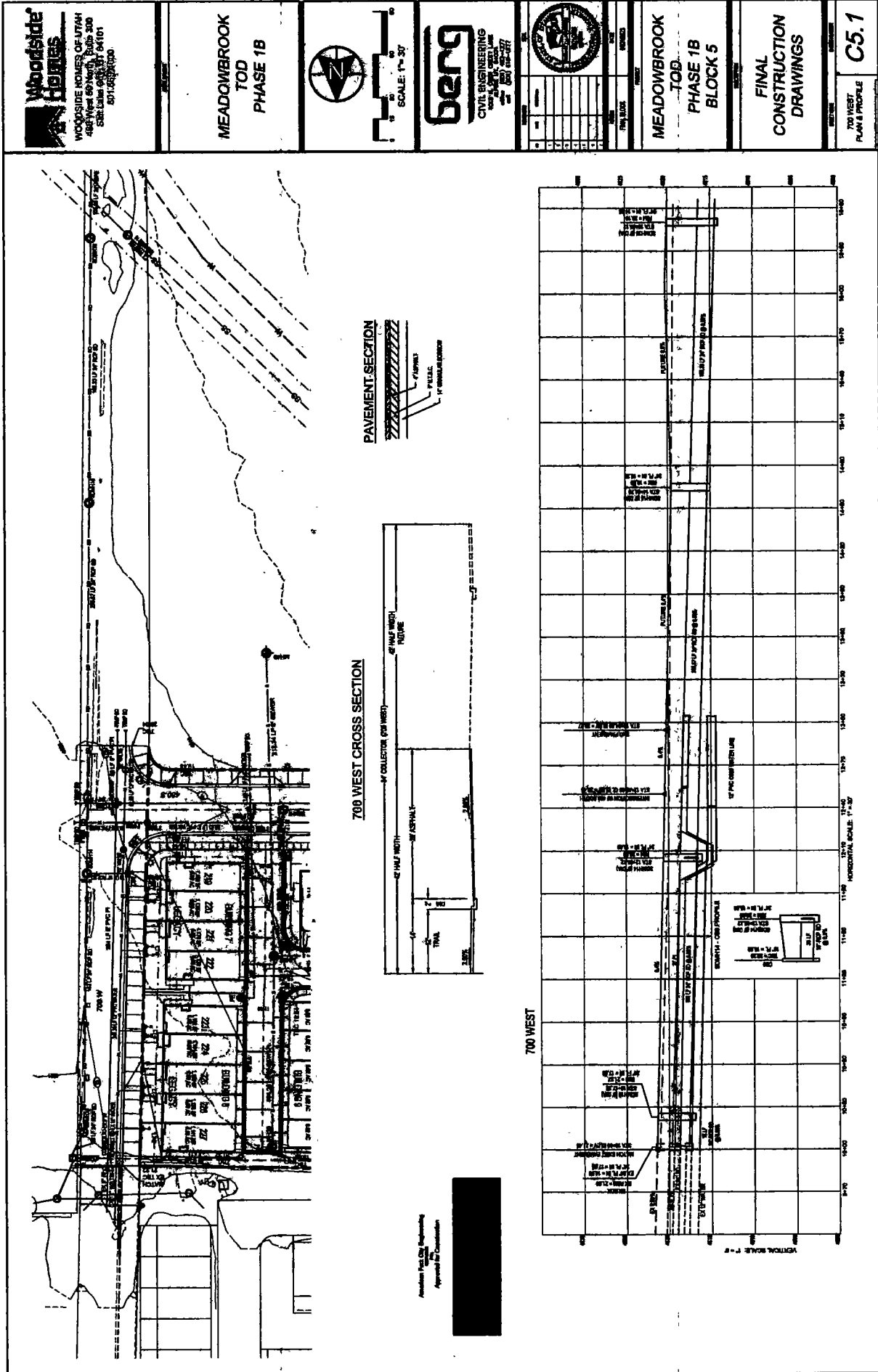
Approved for Construction
American Peak City Engineering
08/15/2023

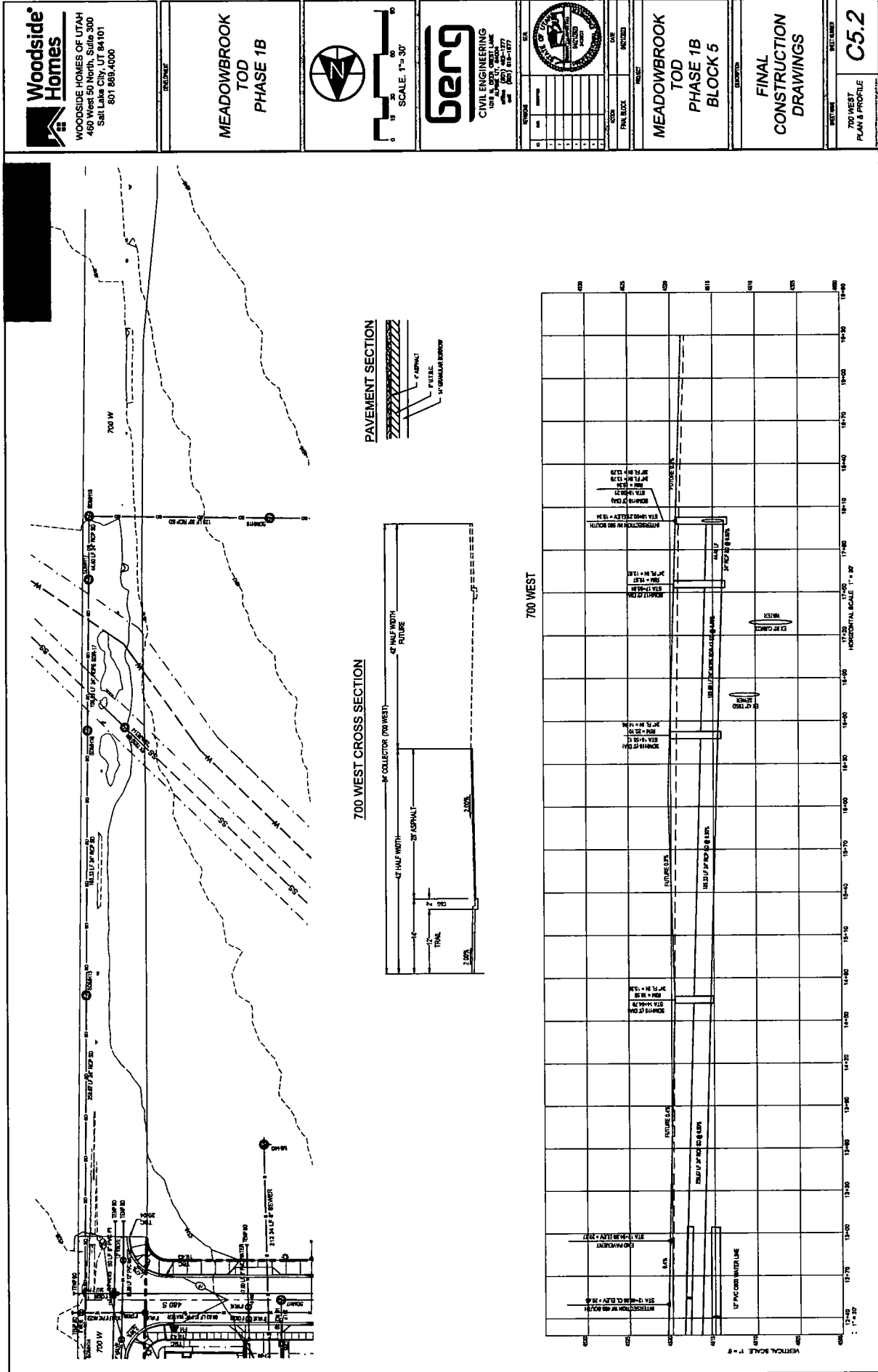




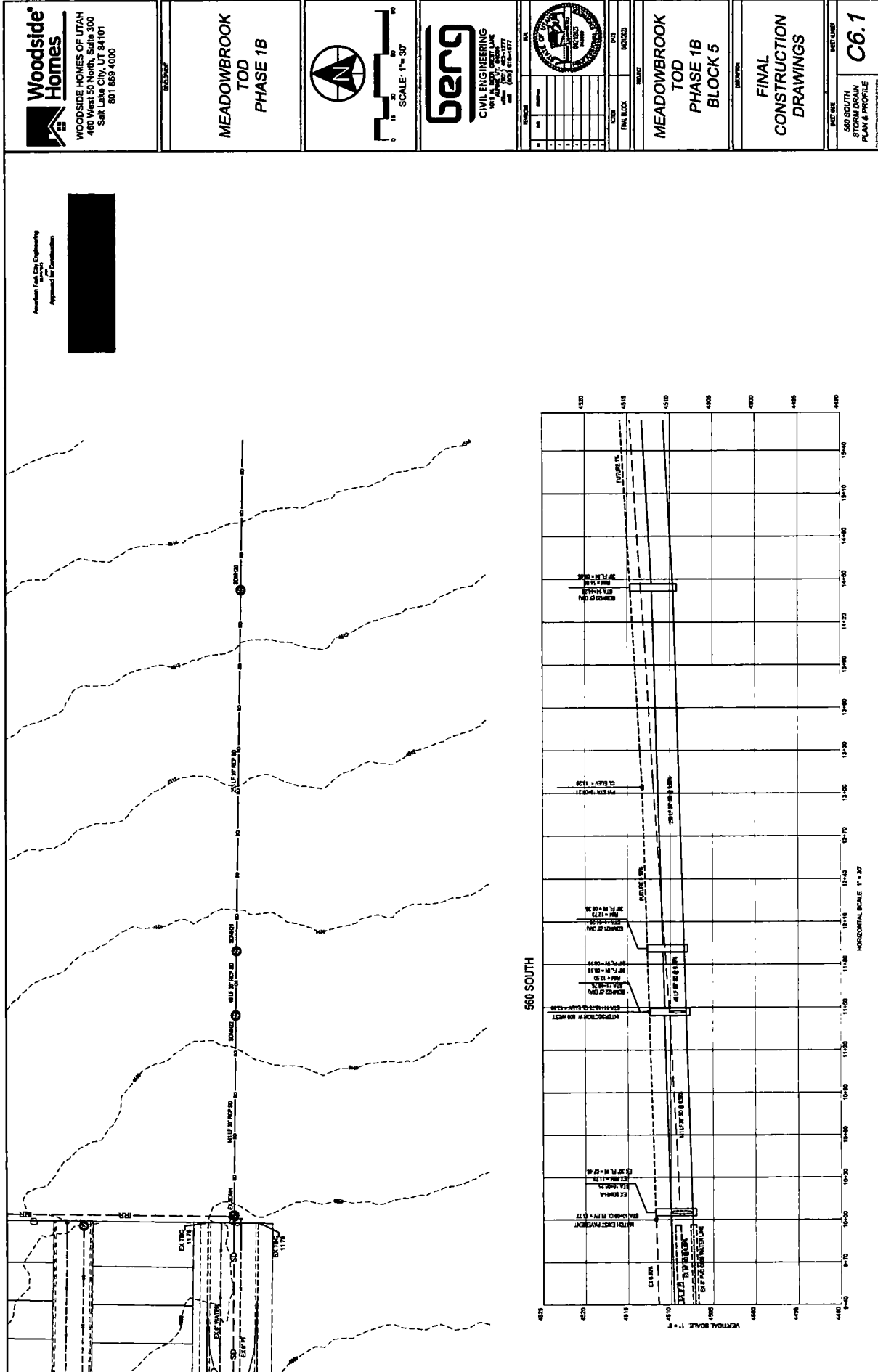
[illegible]

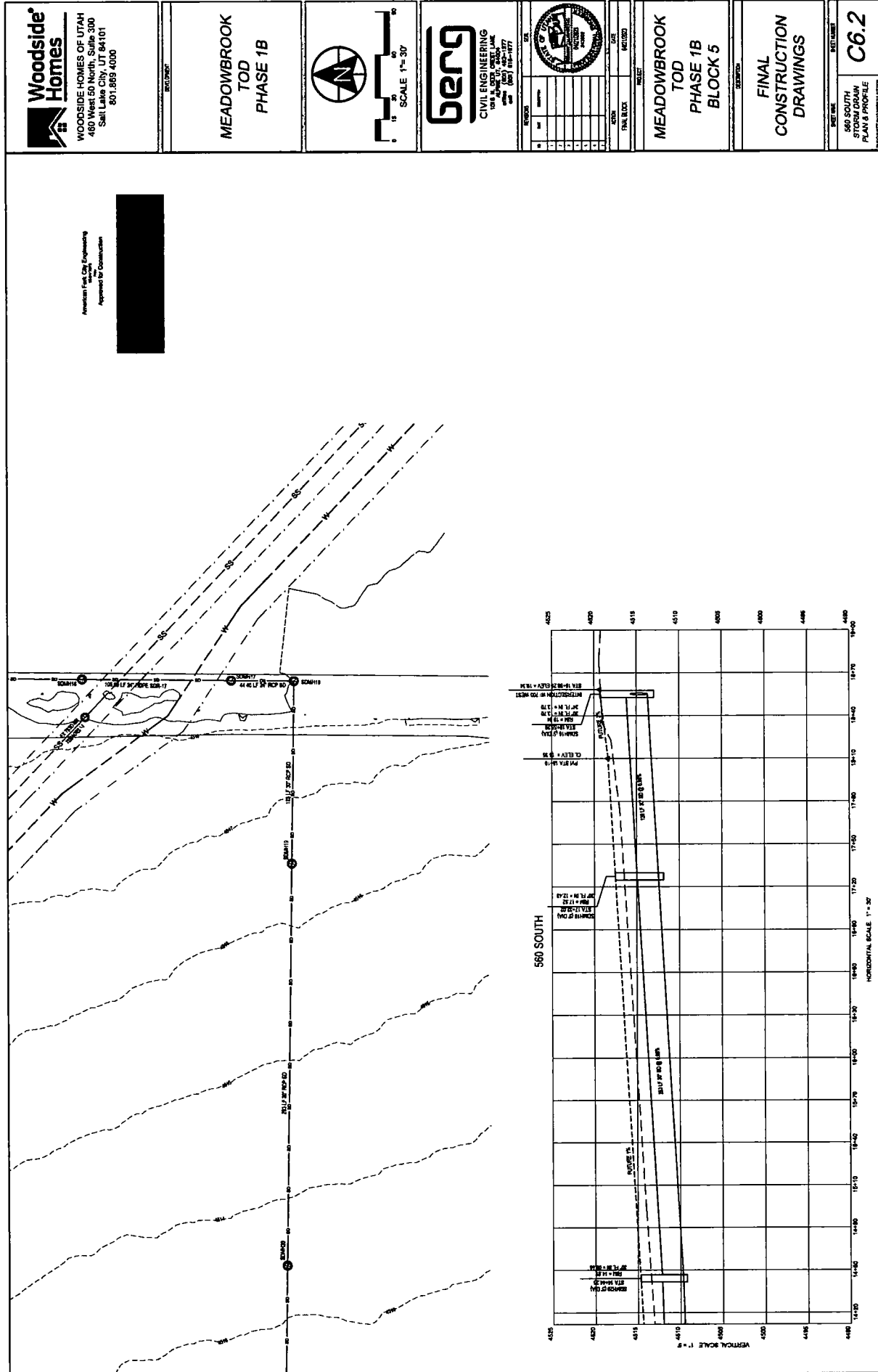


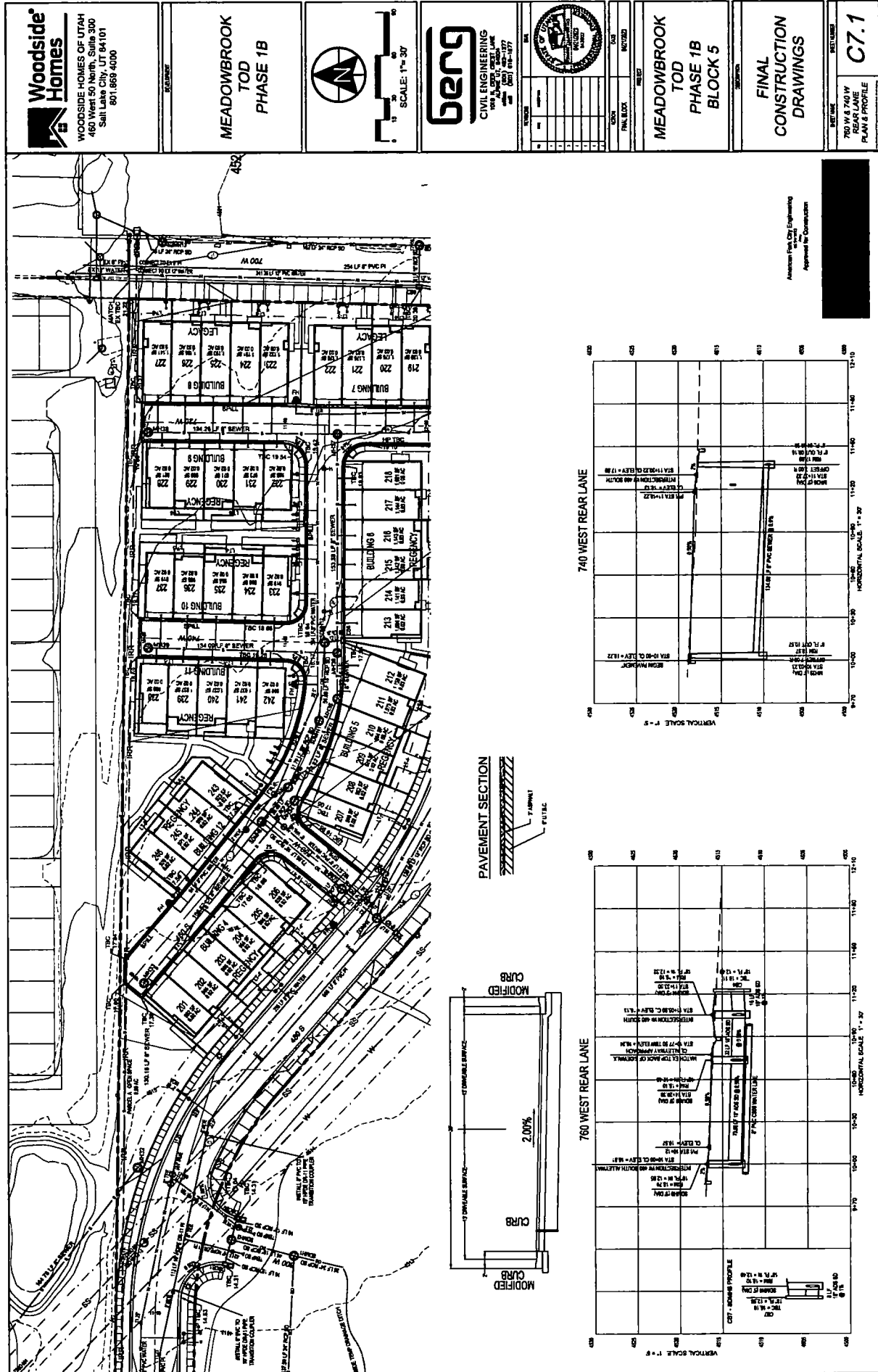




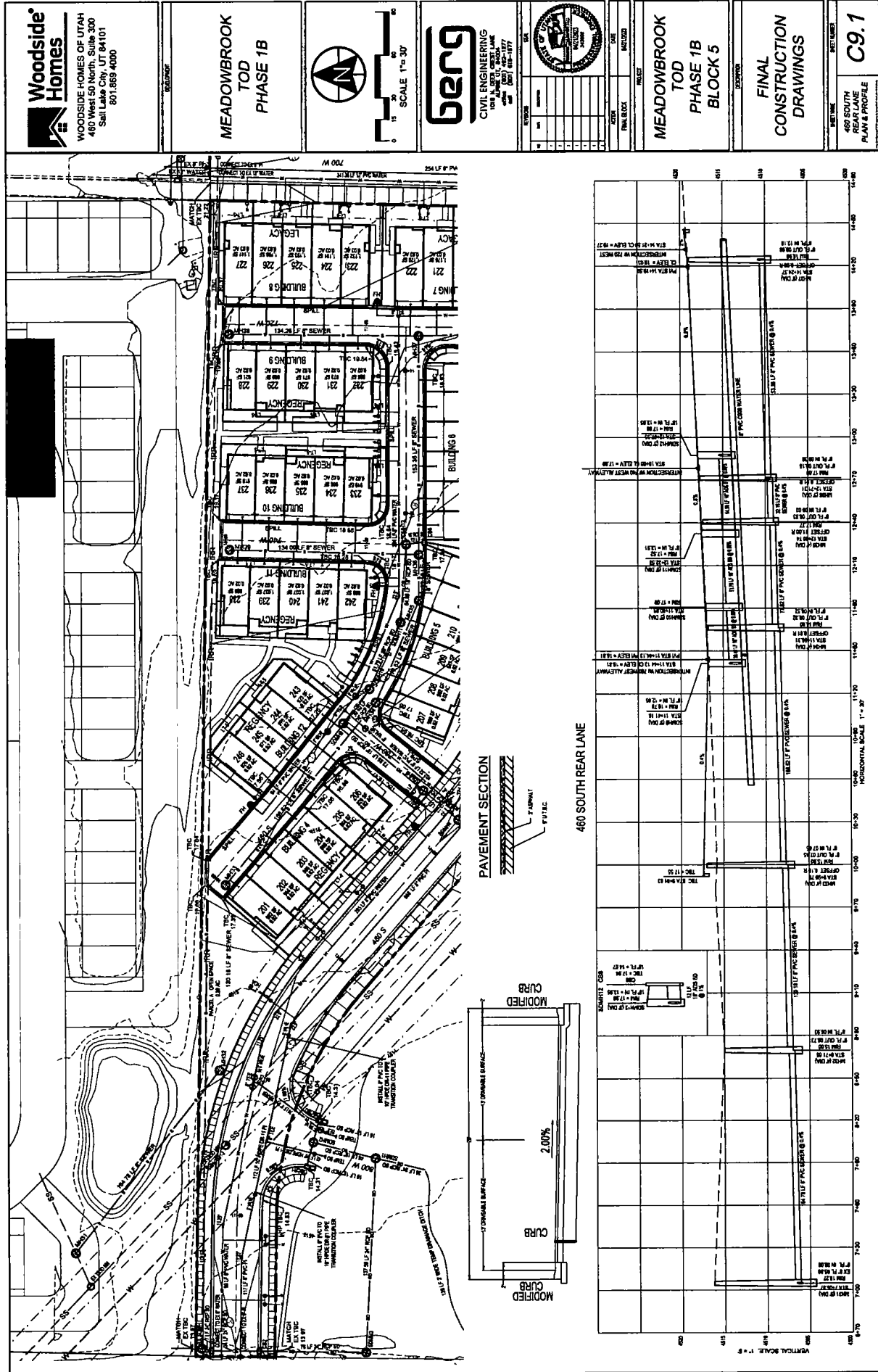
Approved for Construction



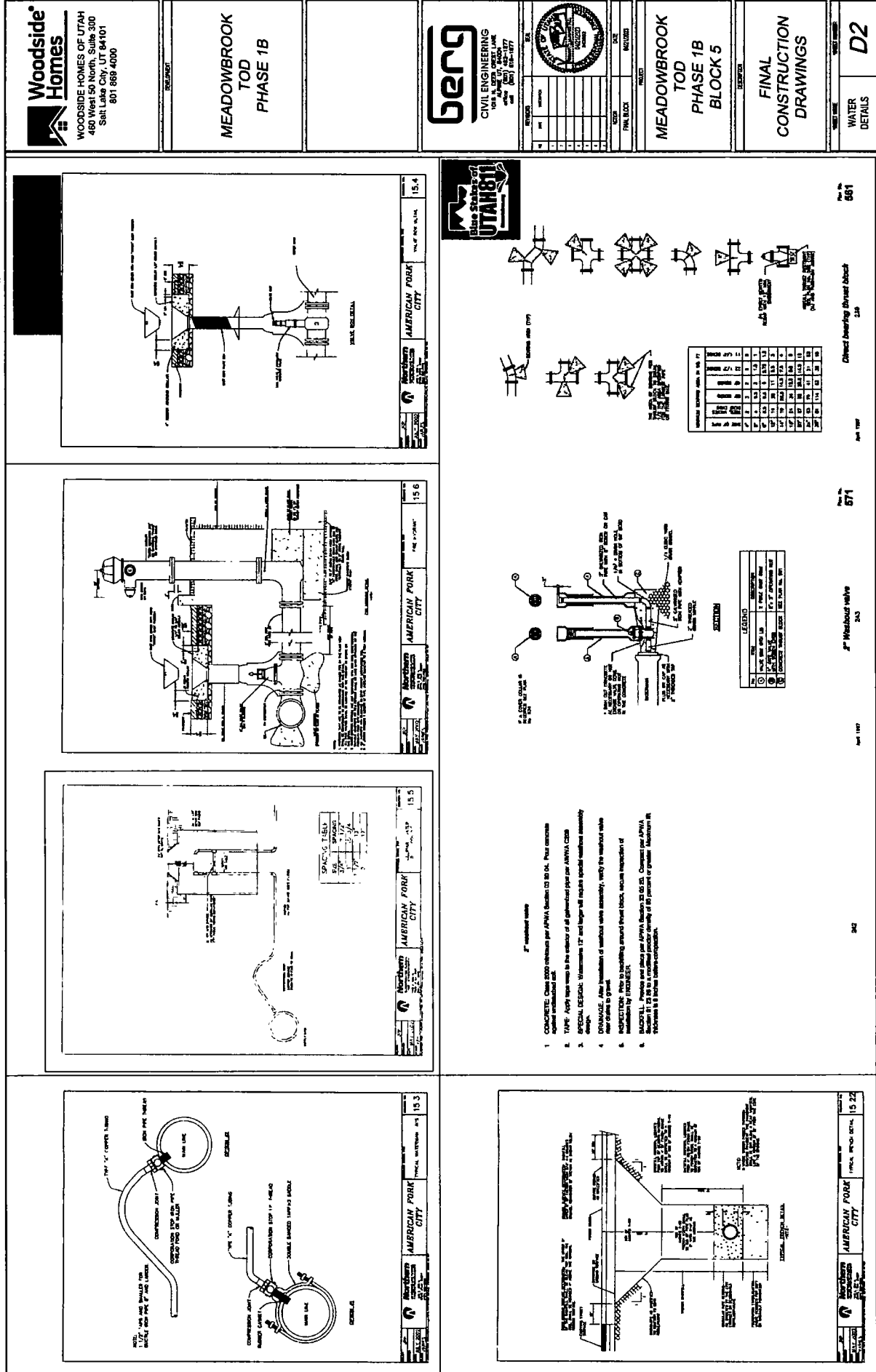


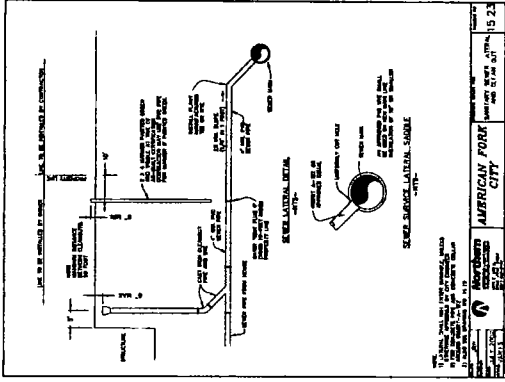
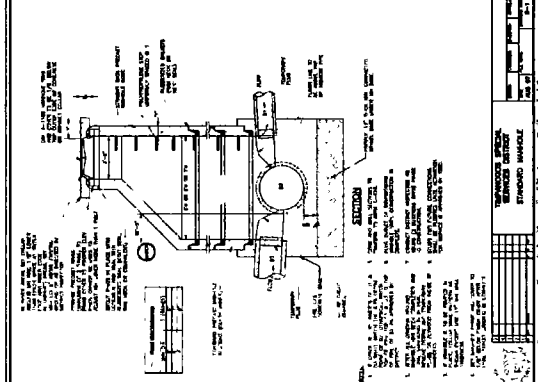
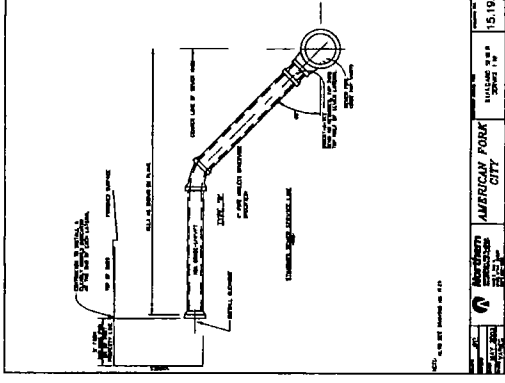
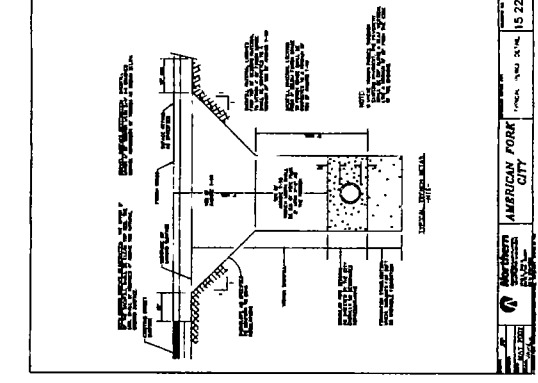
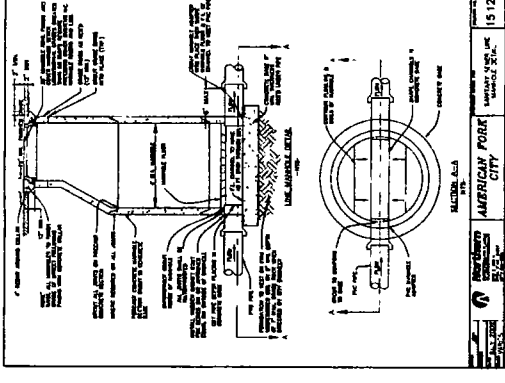
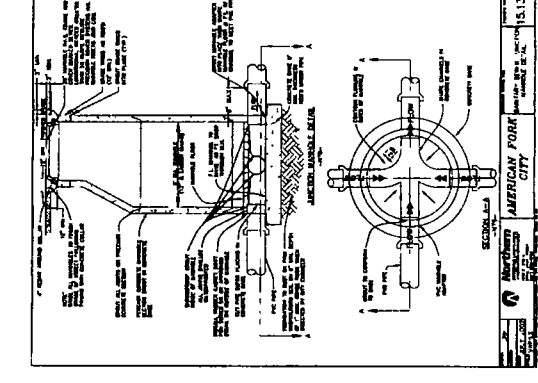


[illegible]

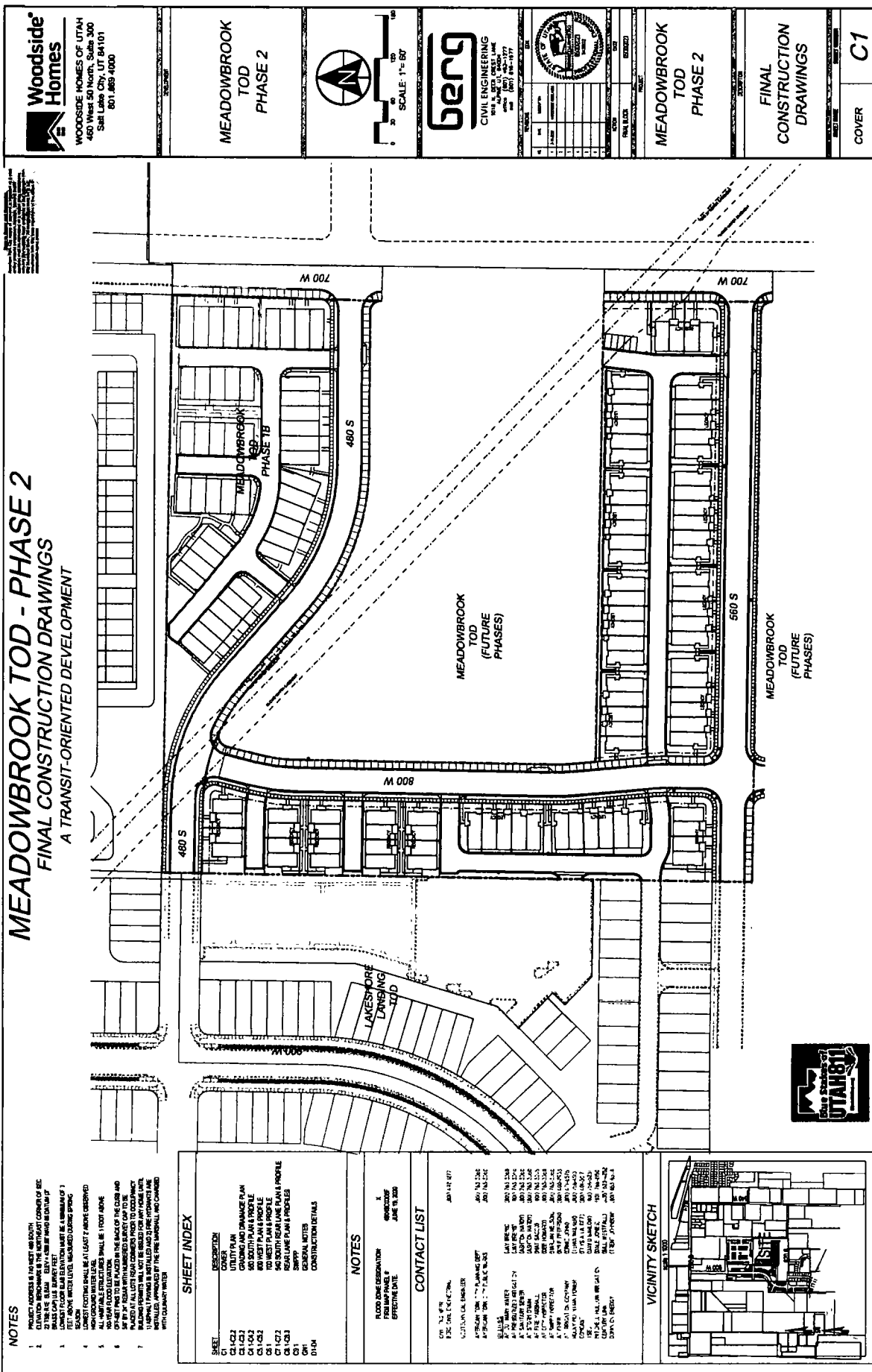


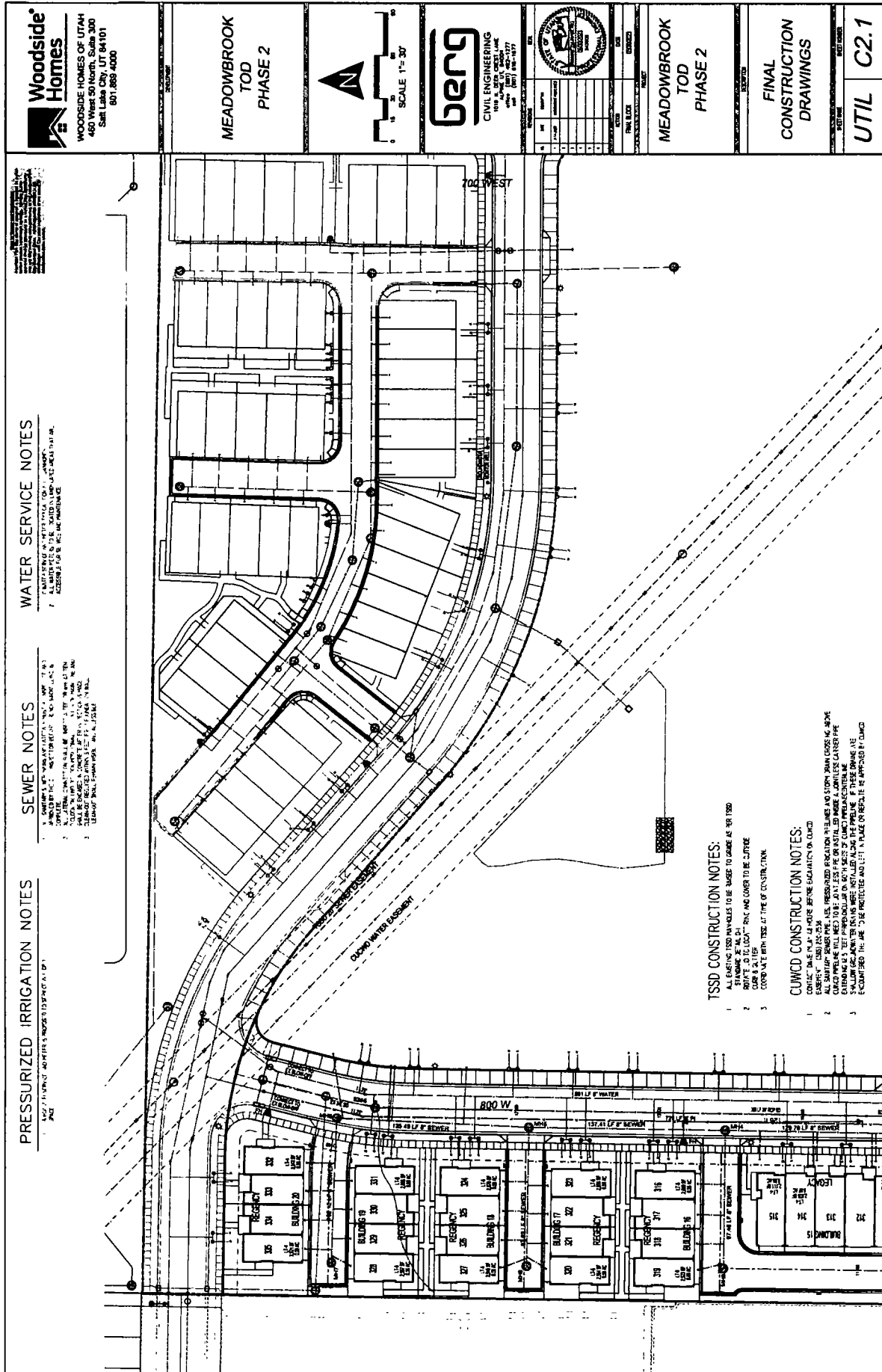
[illegible]



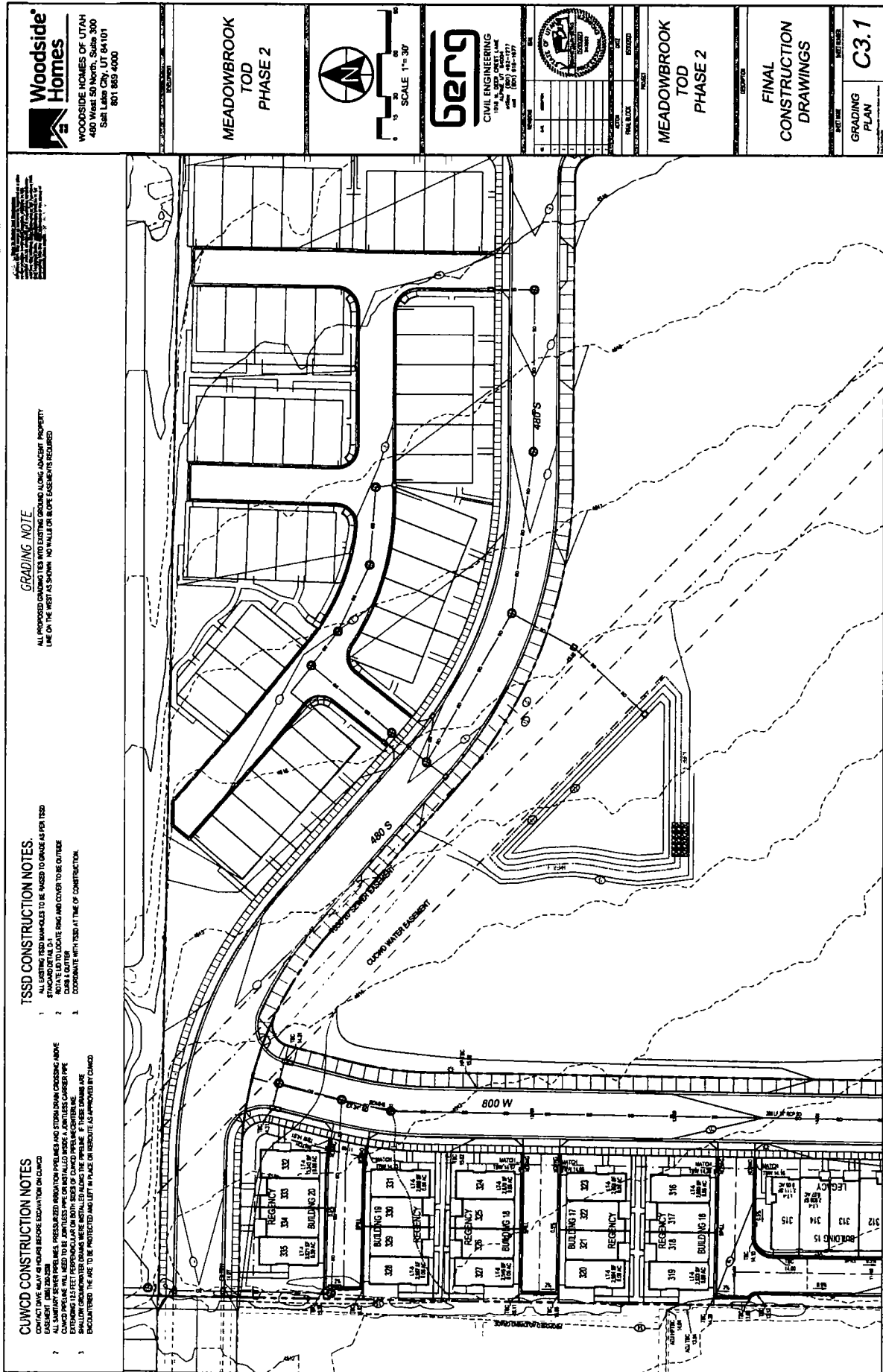
 WOODSIDE HOMES OF UTAH 480 West 50 North, Suite 300 Salt Lake City, UT 84101 801.869.4000		MEADOWBROOK TOD PHASE 1B		 CIVIL ENGINEERING 1000 N. 1000 E. SUITE 100 SALT LAKE CITY, UT 84103 (801) 466-1877		 <table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>ISSUED</td> <td>08-15-23</td> </tr> <tr> <td>2</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>3</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>4</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>5</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>6</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>7</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>8</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>9</td> <td>REVISED</td> <td>08-15-23</td> </tr> <tr> <td>10</td> <td>REVISED</td> <td>08-15-23</td> </tr> </table>		NO.	REVISION	DATE	1	ISSUED	08-15-23	2	REVISED	08-15-23	3	REVISED	08-15-23	4	REVISED	08-15-23	5	REVISED	08-15-23	6	REVISED	08-15-23	7	REVISED	08-15-23	8	REVISED	08-15-23	9	REVISED	08-15-23	10	REVISED	08-15-23	MEADOWBROOK TOD PHASE 1B BLOCK 5		FINAL CONSTRUCTION DRAWINGS		SEWER & STORM DRAIN DETAILS		D3	
NO.	REVISION	DATE																																														
1	ISSUED	08-15-23																																														
2	REVISED	08-15-23																																														
3	REVISED	08-15-23																																														
4	REVISED	08-15-23																																														
5	REVISED	08-15-23																																														
6	REVISED	08-15-23																																														
7	REVISED	08-15-23																																														
8	REVISED	08-15-23																																														
9	REVISED	08-15-23																																														
10	REVISED	08-15-23																																														
Approved: [Redacted Signature] American Fork City Engineering [Redacted Stamp]																																																
 SEWER MANHOLE 15.23			 STORM DRAIN 15.23			 SEWER MANHOLE 15.19			 STORM DRAIN 15.22																																							
 SEWER MANHOLE 15.12			 STORM DRAIN 15.13			 SEWER MANHOLE 15.14			 STORM DRAIN 15.15																																							

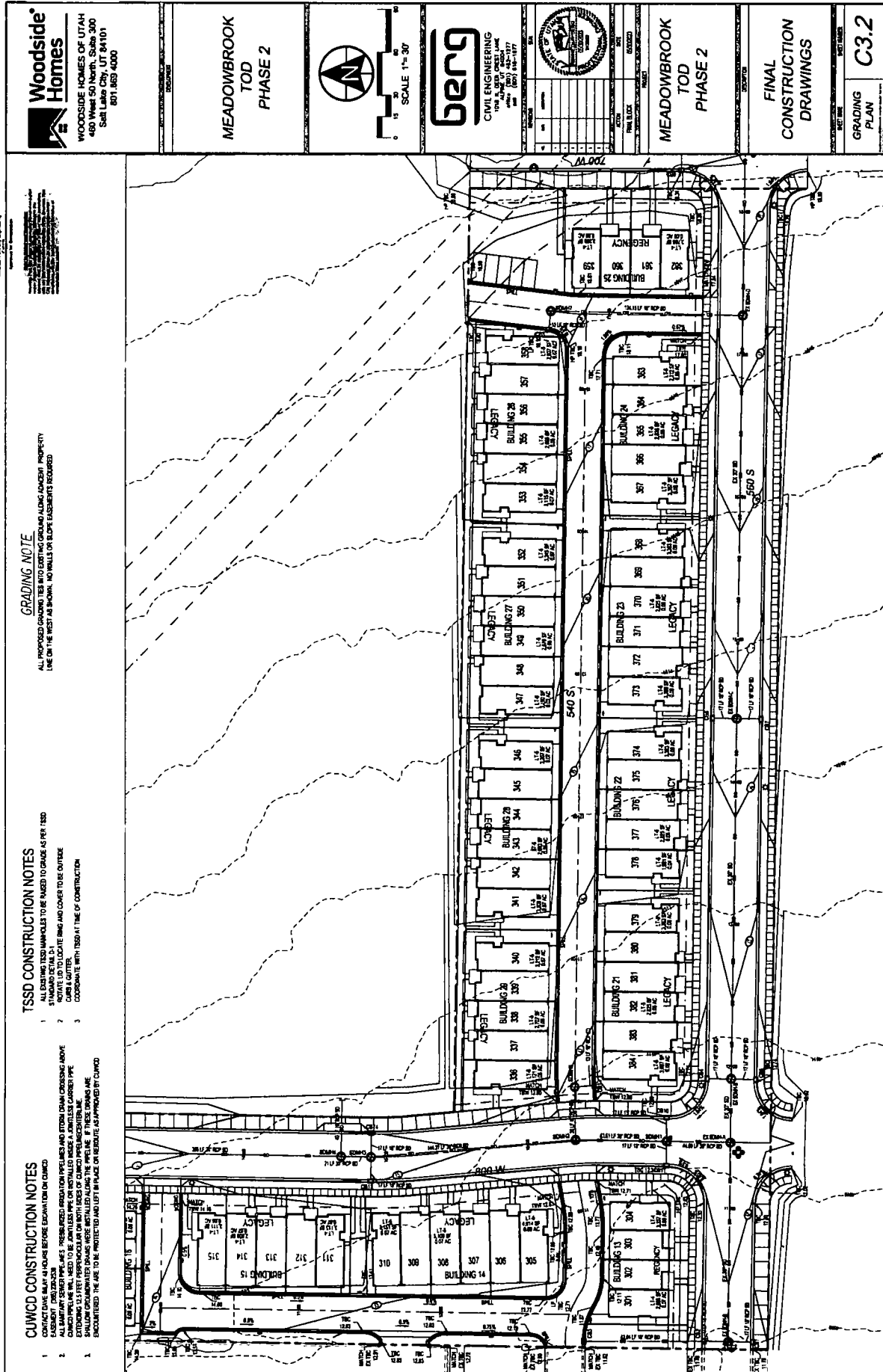
[illegible]

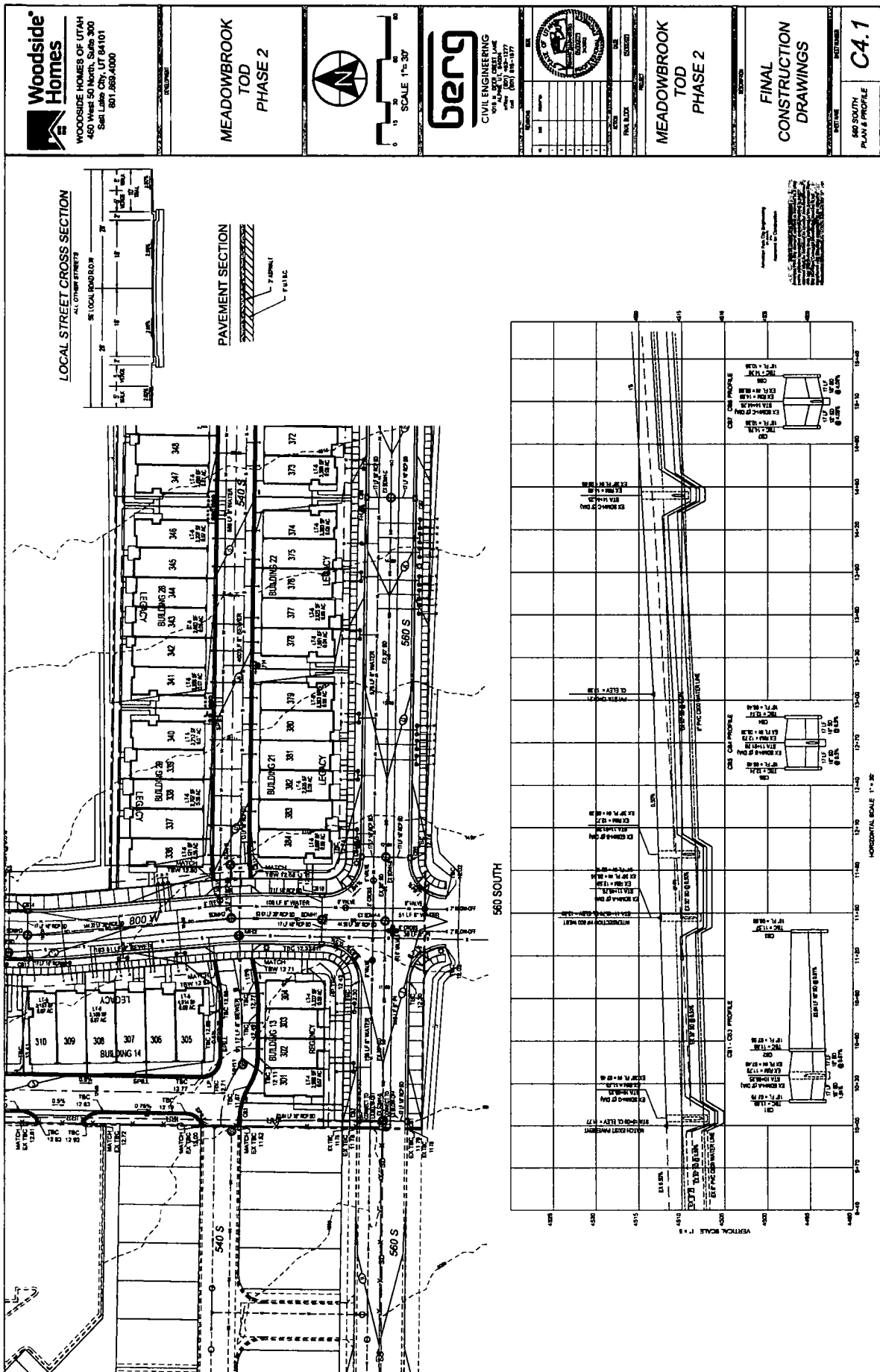


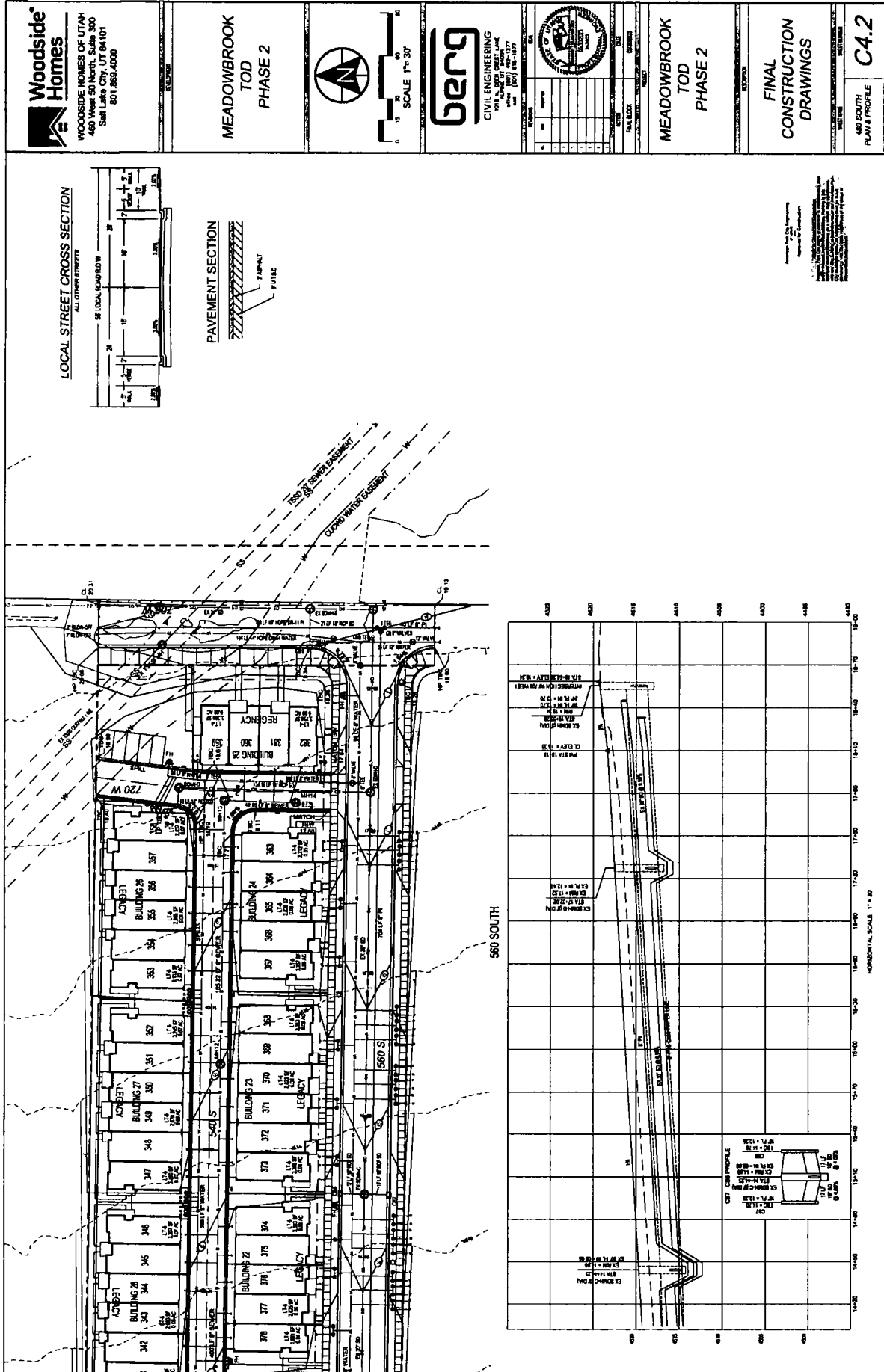


[illegible]









Woodside Homes
WOODSIDE HOMES OF UTAH
480 West 50 North, Suite 300
Salt Lake City, UT 84101
801.868.4000

MEADOWBROOK
TOD
PHASE 2



SCALE 1"=30'

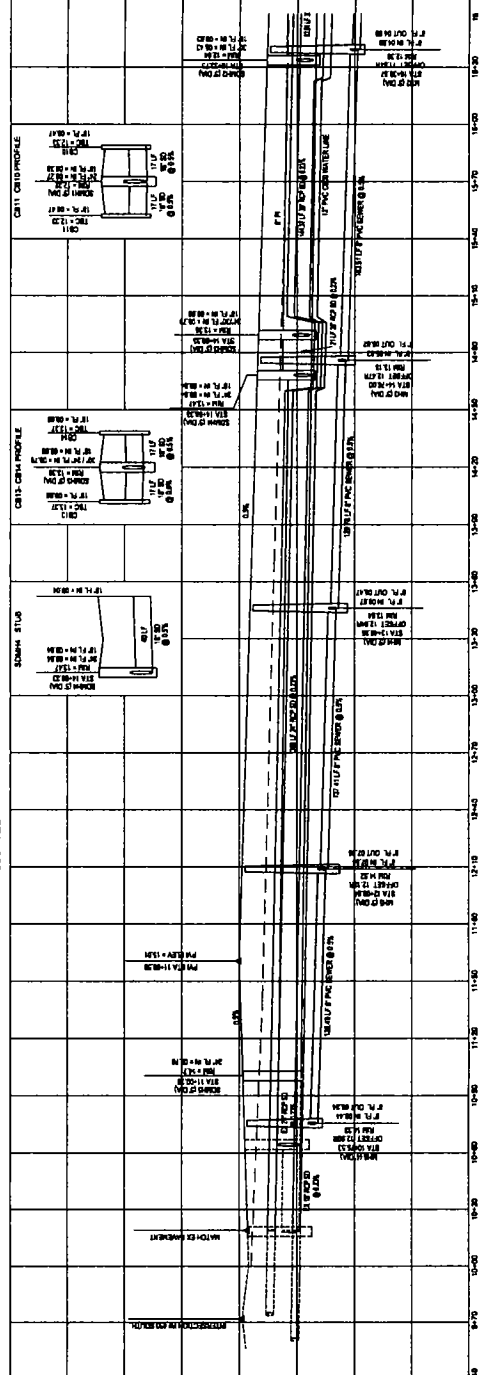
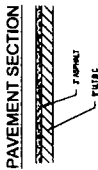
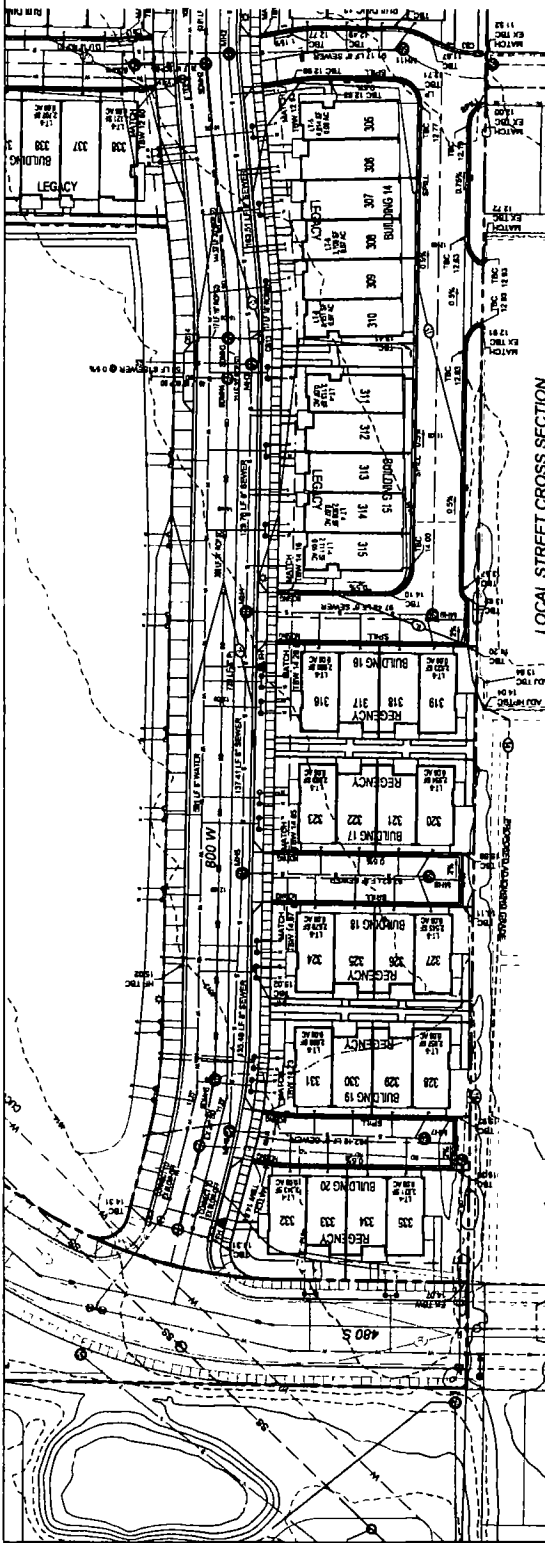
berg
CIVIL ENGINEERING
1010 N. 2000 WEST, SUITE 100
SALT LAKE CITY, UT 84119
(801) 487-1177
www.berg-engineering.com

NO.	REVISION	DATE	BY	CHKD
1	ISSUED FOR PERMIT	08/14/2023	BERG	BERG
2	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
3	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
4	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
5	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
6	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
7	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
8	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
9	REVISED FOR COMMENTS	08/14/2023	BERG	BERG
10	REVISED FOR COMMENTS	08/14/2023	BERG	BERG

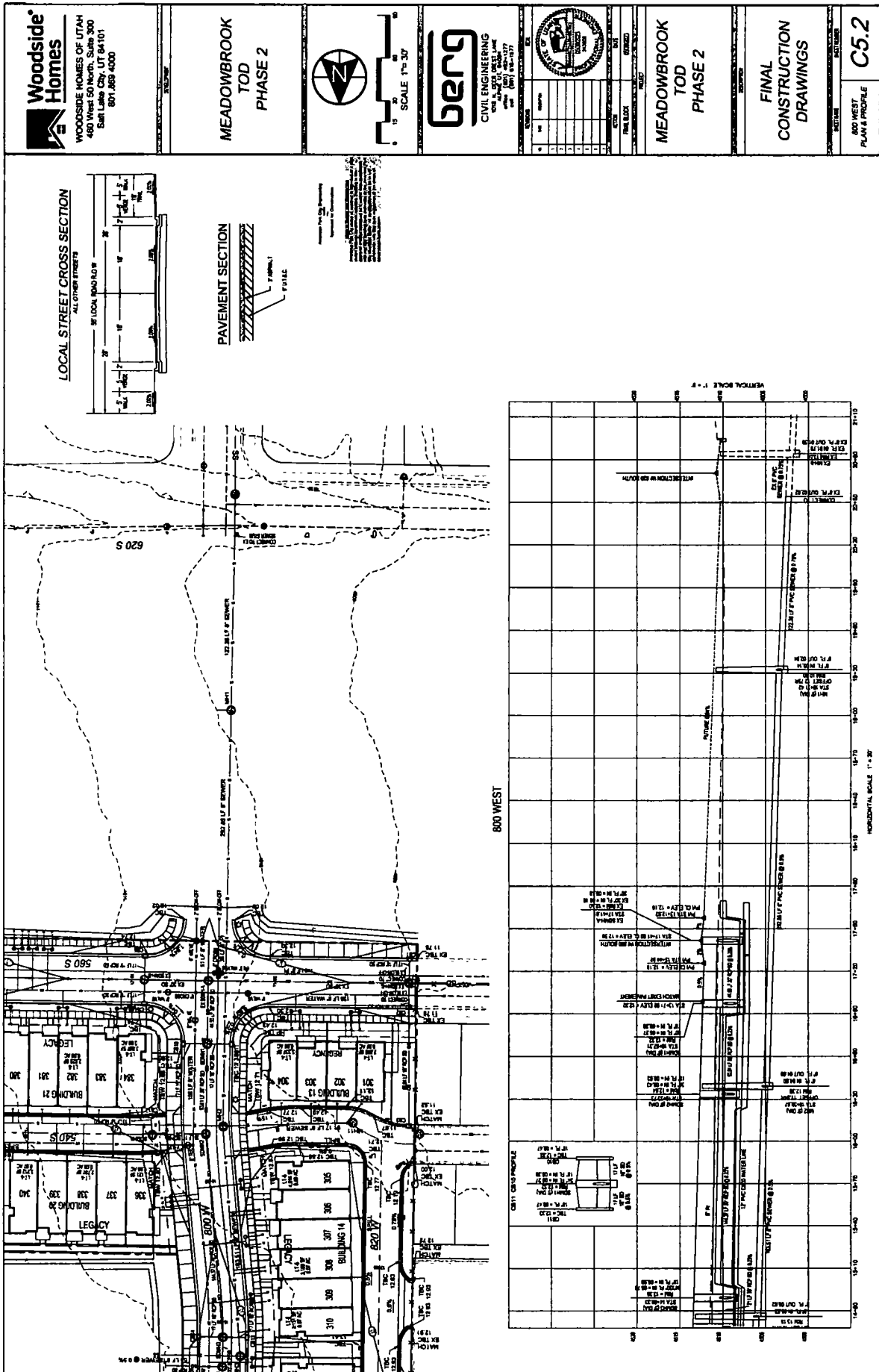
MEADOWBROOK
TOD
PHASE 2

FINAL
CONSTRUCTION
DRAWINGS

800 WEST
PLAN & PROFILE
C5.1



HORIZONTAL SCALE 1"=30'



**MEADOWBROOK
TOD
PHASE 2**



SCALE: 1"=30'



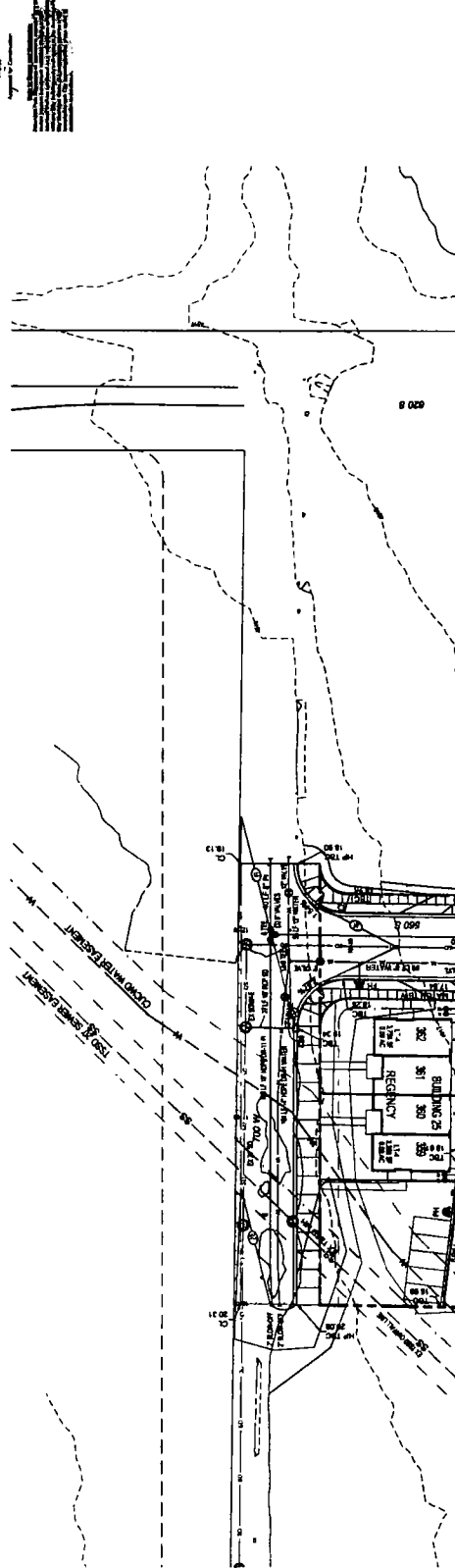
CIVIL ENGINEERING
1008 N. DEER CREEK LANE
ALPINE, UT, 84004
offices (801) 462-1377
fax (801) 918-1977



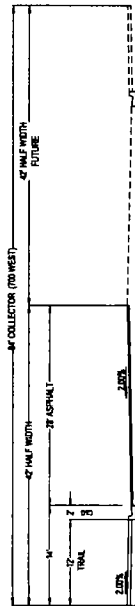
**MEADOWBROOK
TOD
PHASE 2**

**FINAL
CONSTRUCTION
DRAWINGS**

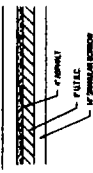
700 WEST
PLAN & PROFILE



700 WEST CROSS SECTION



PAVEMENT SECTION

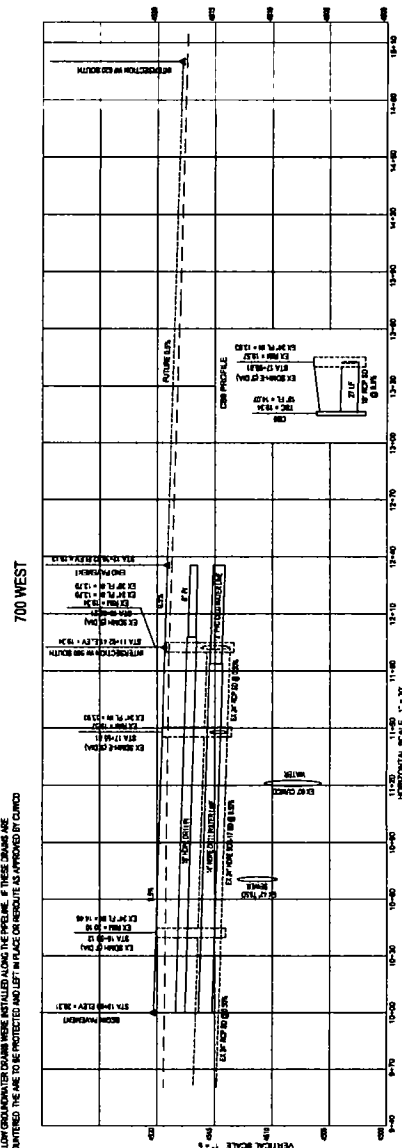
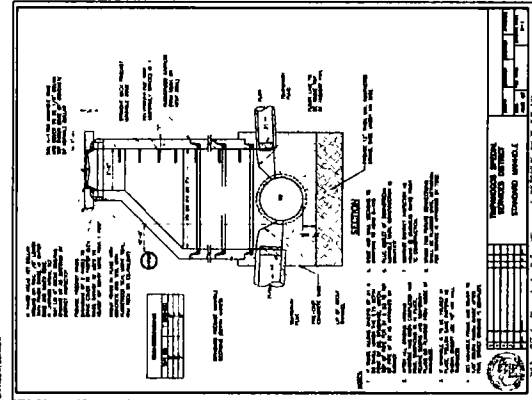


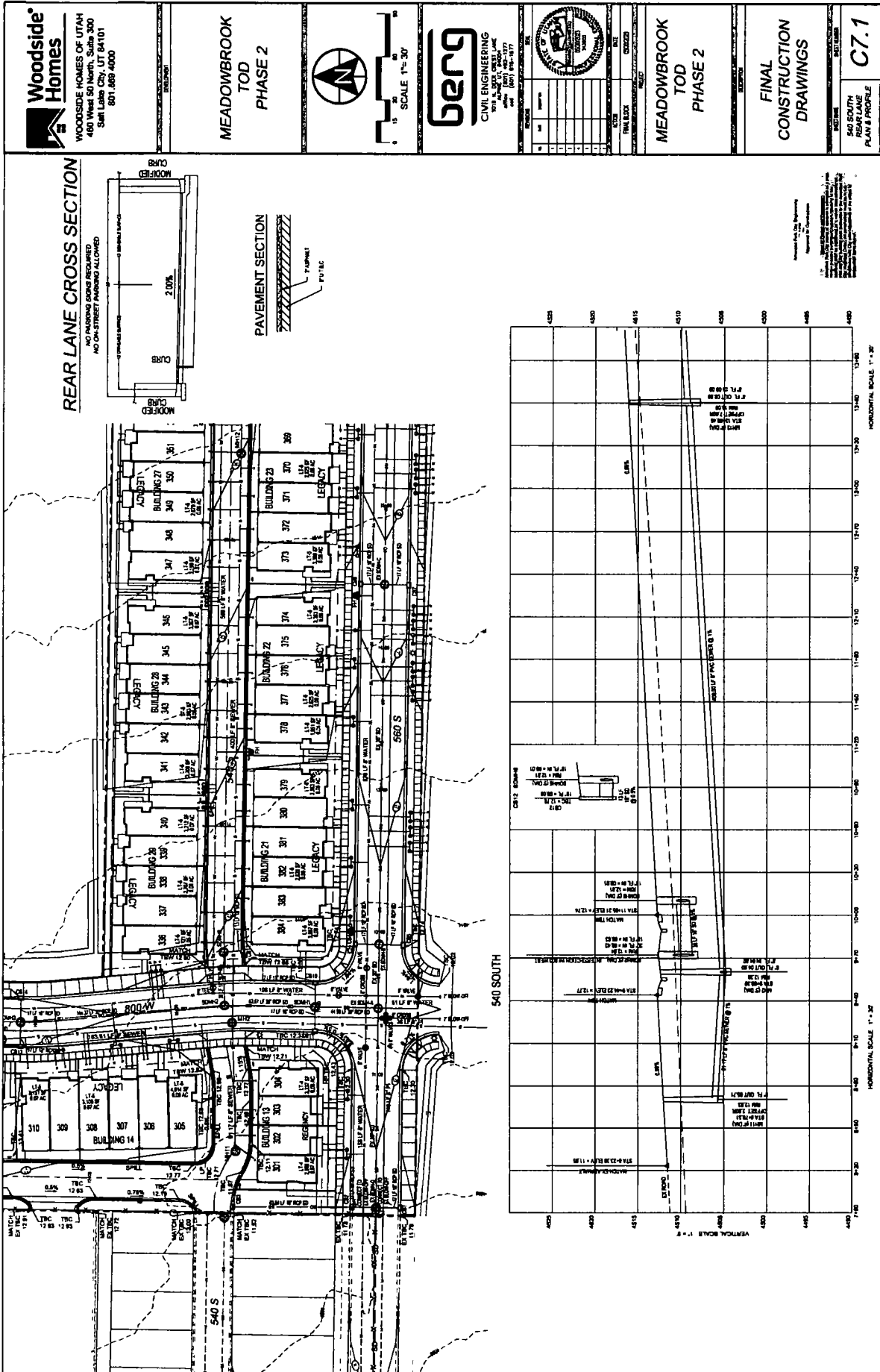
TSSD CONSTRUCTION NOTES:

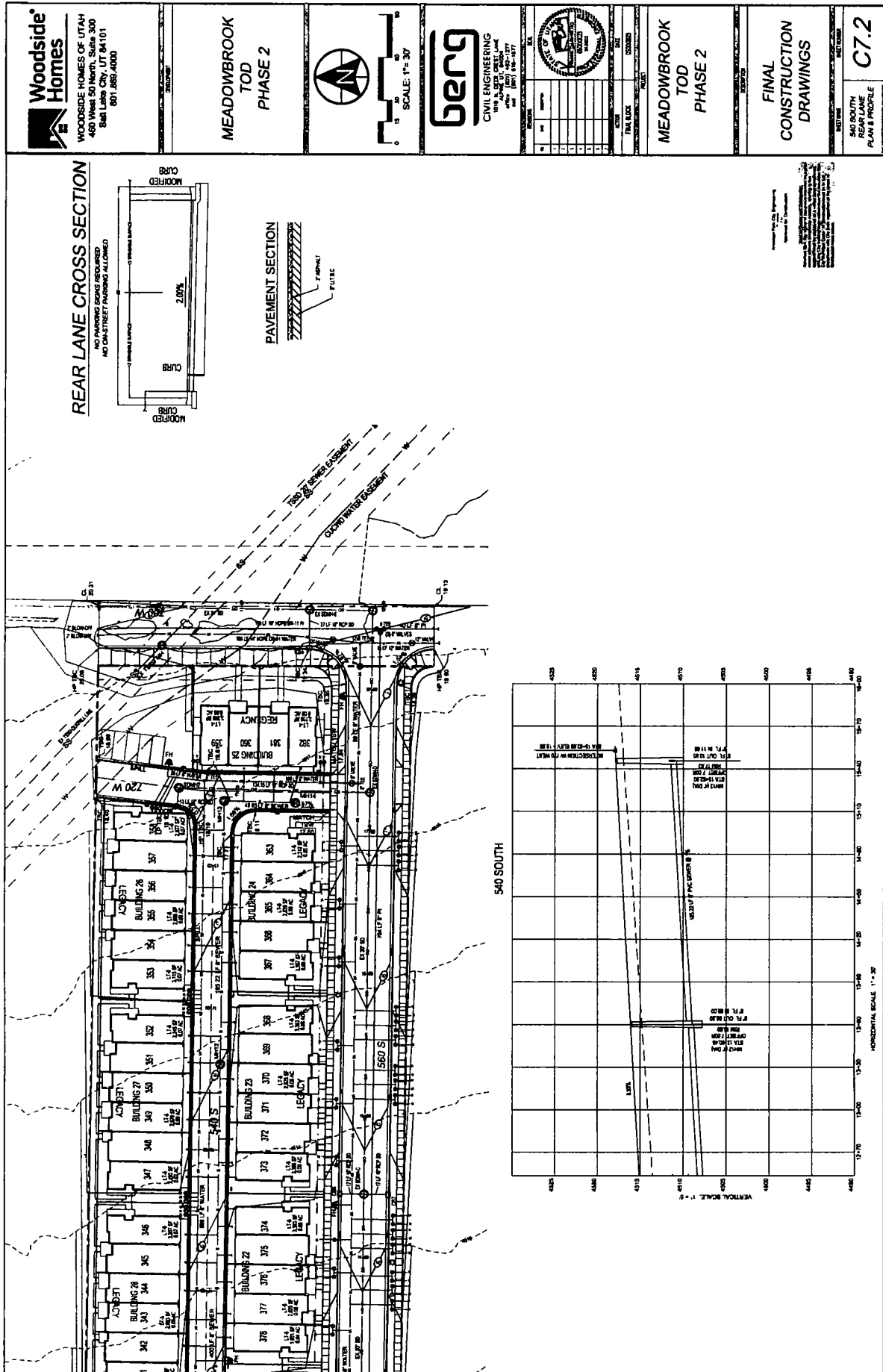
- 1 ALL EXISTING TEST MANHOLES TO BE RAISED TO GRADE AS PER ISSD
2 STANDARD DETAIL D-1
3 ROTATE LID TO LOCATE RING AND COVER TO BE OUTSIDE
4 CURB & GUTTER.
5 COORDINATE WITH ISSD AT TIME OF CONSTRUCTION

CUWCD CONSTRUCTION NOTES.

- [illegible]









WOODSIDE HOMES OF UTAH
4800 West 50 North, Suite 300
Salt Lake City, UT 84101
801.869.4000

MEADOWBROOK
TOD
PHASE 2



SCALE 1" = 30'



CIVIL ENGINEERING
100 S. 200 E. STE. 100
SALT LAKE CITY, UT 84143
801.467.1177
www.berg-engineering.com



NO.	DATE	DESCRIPTION
1	10/1/2023	ISSUED FOR PERMIT
2	10/1/2023	ISSUED FOR CONSTRUCTION
3	10/1/2023	ISSUED FOR RECORD
4	10/1/2023	ISSUED FOR RECORD
5	10/1/2023	ISSUED FOR RECORD
6	10/1/2023	ISSUED FOR RECORD
7	10/1/2023	ISSUED FOR RECORD
8	10/1/2023	ISSUED FOR RECORD
9	10/1/2023	ISSUED FOR RECORD
10	10/1/2023	ISSUED FOR RECORD

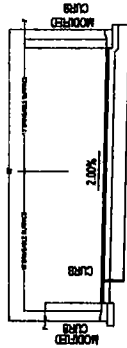
MEADOWBROOK
TOD
PHASE 2

FINAL
CONSTRUCTION
DRAWINGS

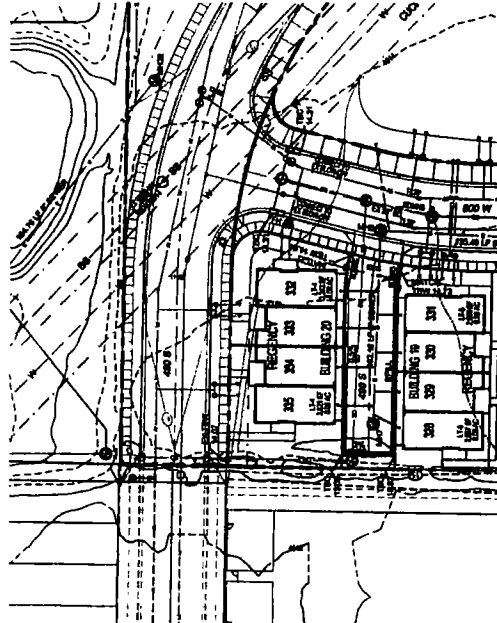
REAR LANE
PLAN & PROFILE
C8.1

REAR LANE CROSS SECTION

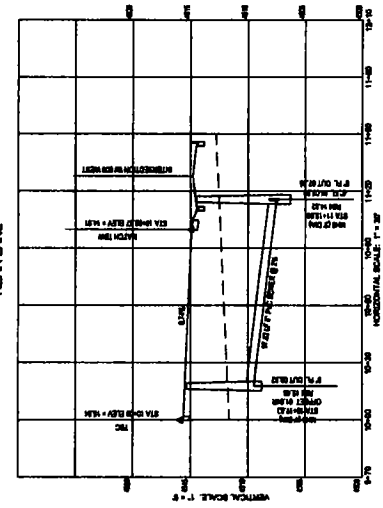
NO PARALLEL SIDES REQUIRED
NO CURB/STREET PAVEMENT ALLOWED



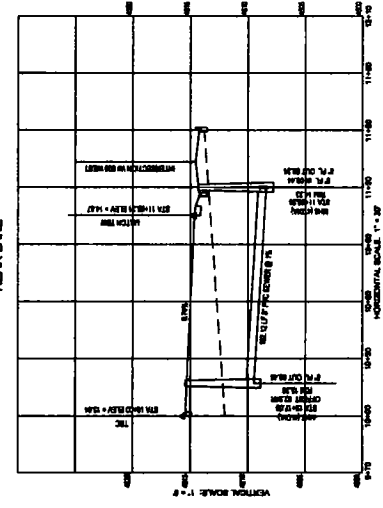
PAVEMENT SECTION

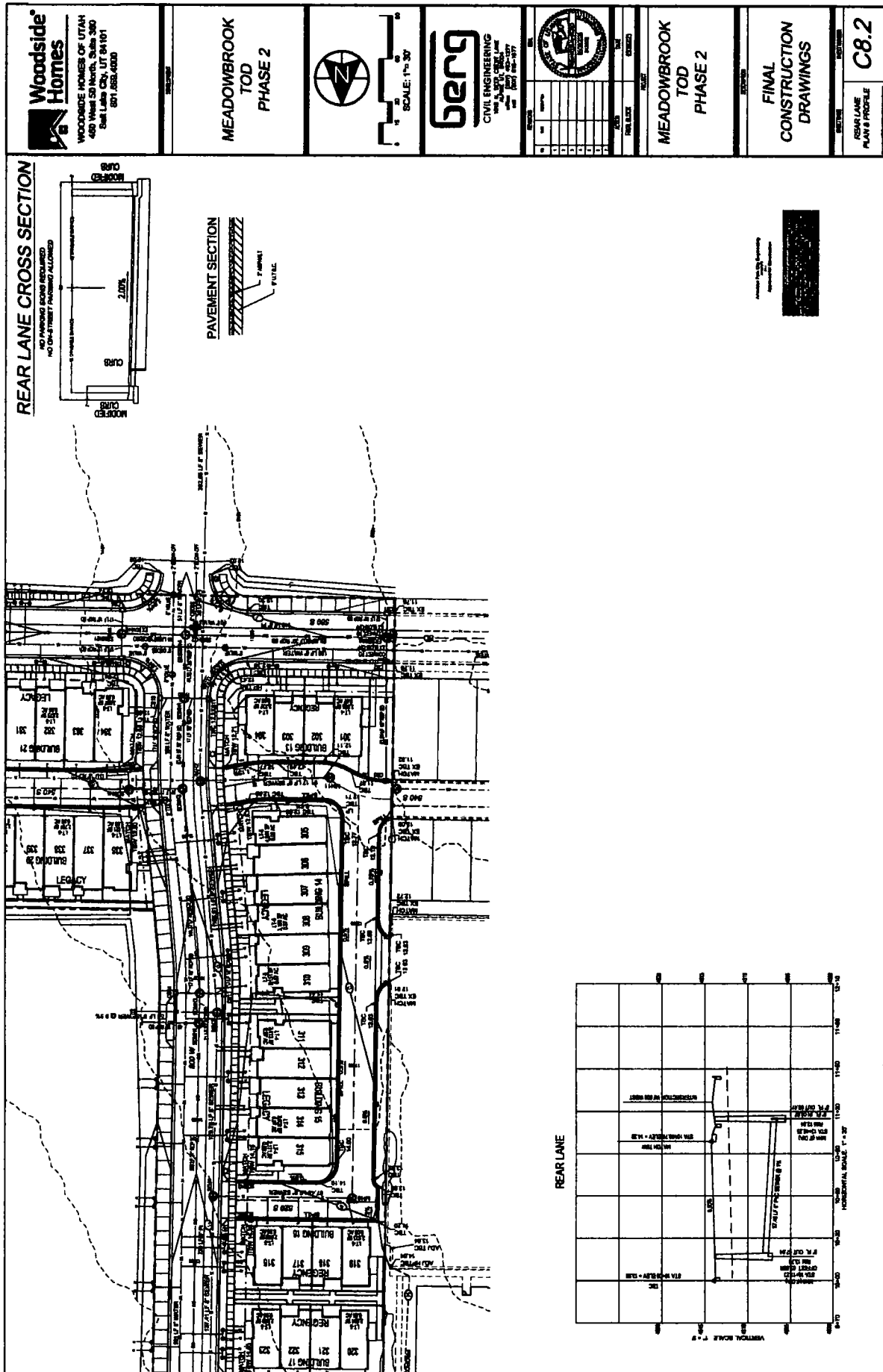


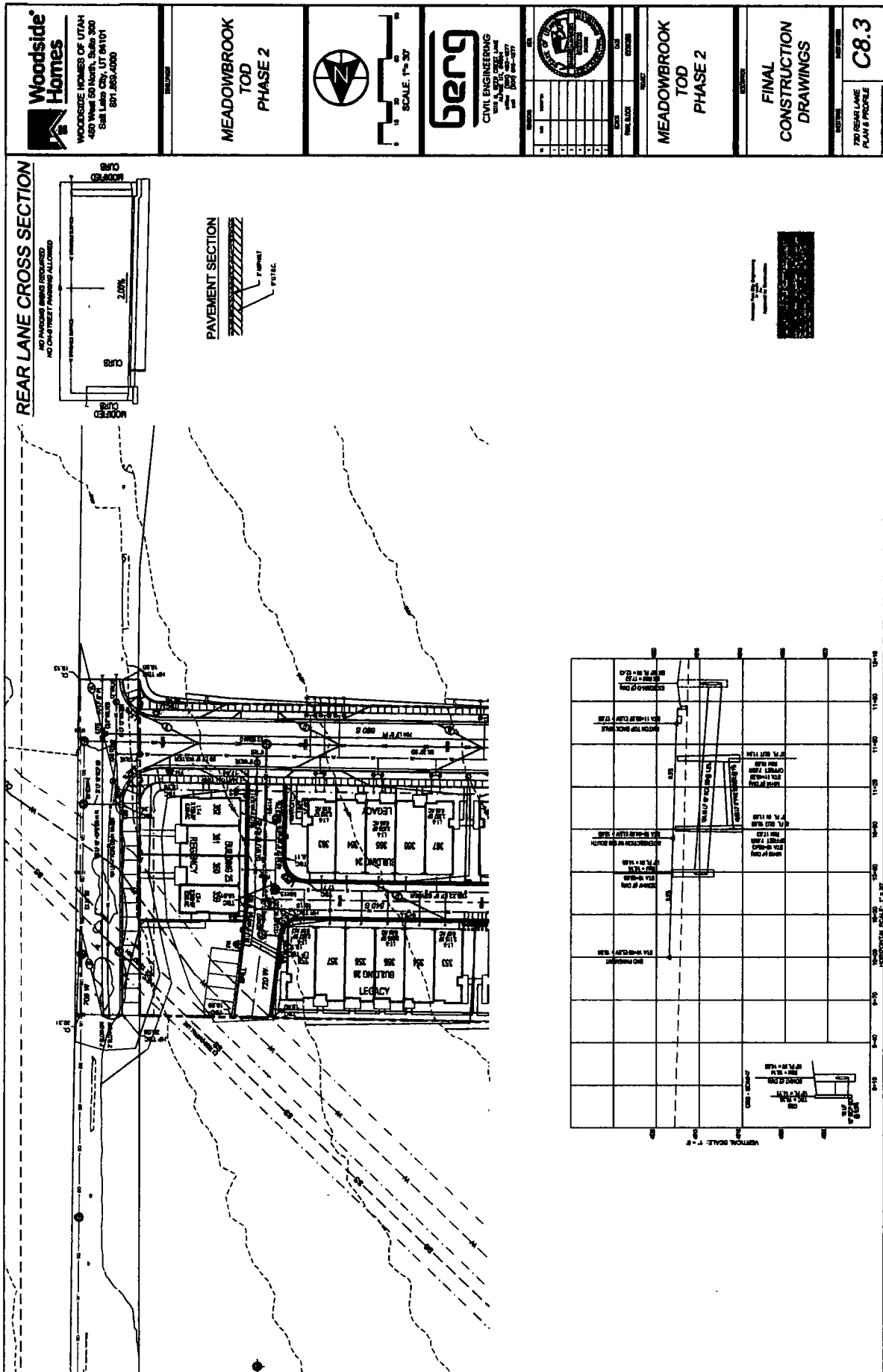
REAR LANE



REAR LANE

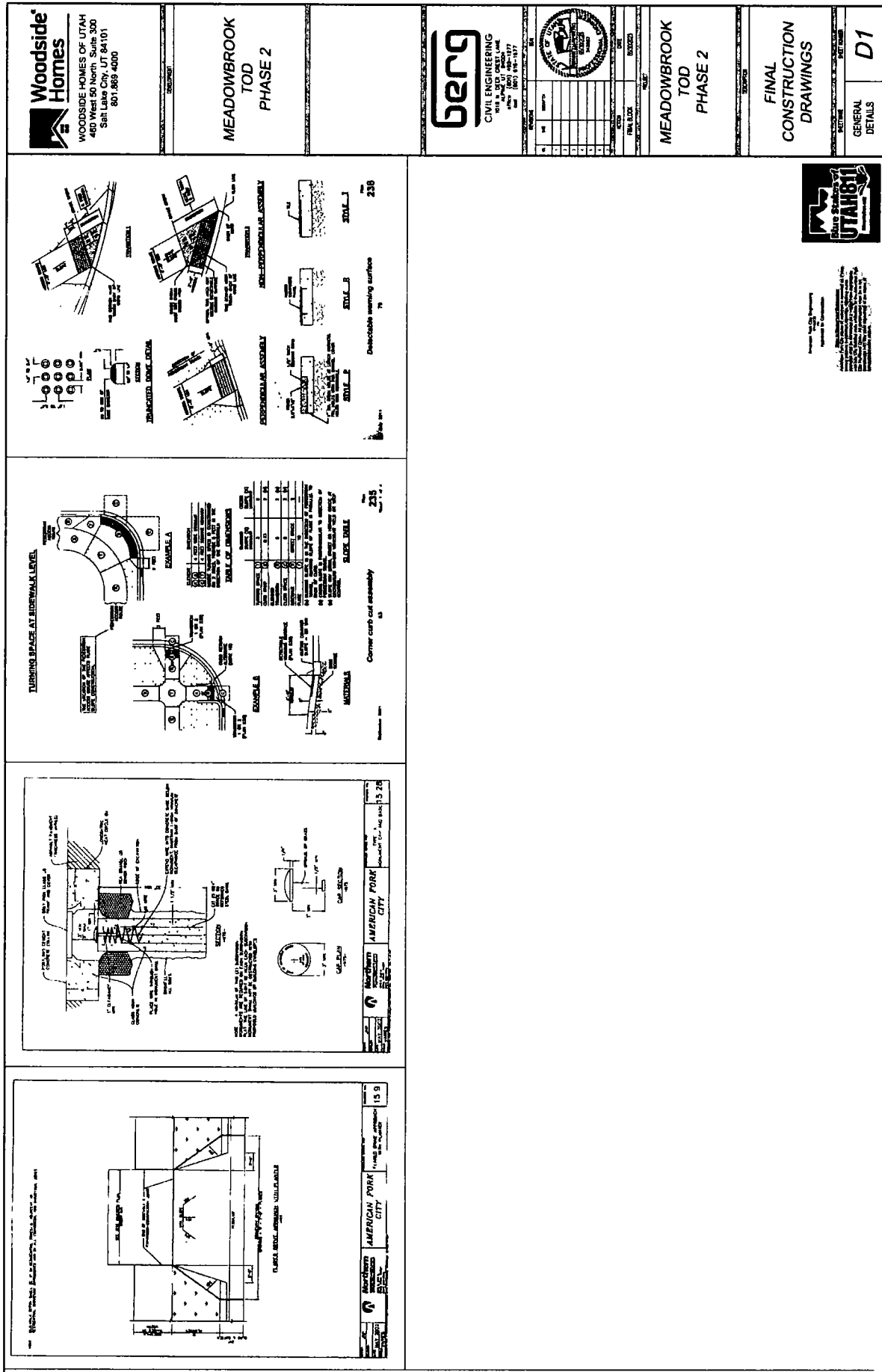






[illegible]

[illegible]



Woodside Homes
WOODSIDE HOMES OF UTAH
460 West 50 North, Suite 300
Salt Lake City, UT 84101
801 889 4000

**MEADOWBROOK
TOD
PHASE 2**

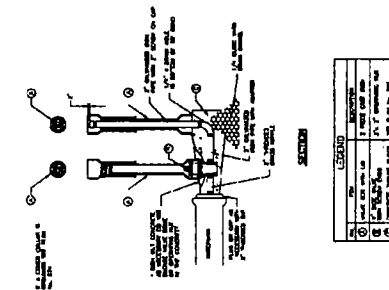
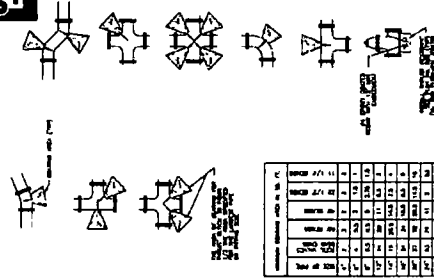
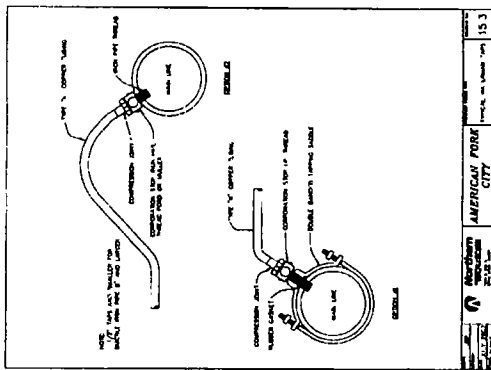
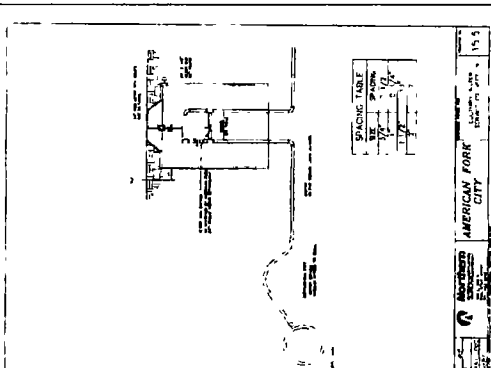
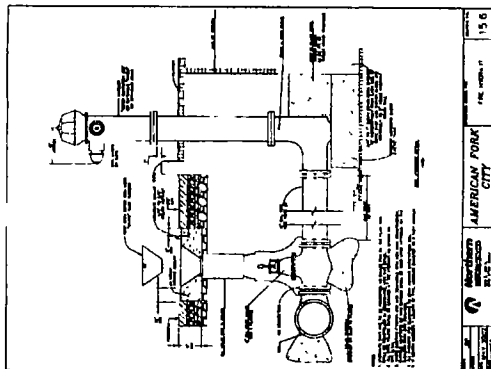
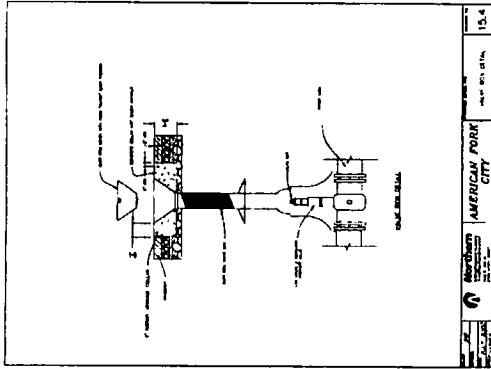
ben
CIVIL ENGINEERING
1115 S. 1200 WEST AVE.
SALT LAKE CITY, UT 84119
801 462-1177
801 462-1177



**MEADOWBROOK
TOD
PHASE 2**

**FINAL
CONSTRUCTION
DRAWINGS**

D2
WATER
DETAILS



- NOTES**
1. CONSTRUCTION: See 2023 edition of AIAA, Section 02 30 00. For details, see separate construction set.
 2. TYPING: Apply type size to the exterior of all construction lines per AIAA, C209.
 3. SPECIAL NOTES: Minimum 1/8" and larger all visible symbols, including assembly.
 4. DIMENSIONS: Note dimensions of combined water assembly with the material name and color to be used.
 5. INSPECTION: Plan to inspect ground level, check, locate, inspect and maintain by CONTRACTOR.
 6. MATERIALS: See 2023 edition of AIAA, Section 02 30 00. Check and select materials 31-33 in a separate plan or assembly to be submitted to owner. Materials to be used in a future construction.

NO.	DESCRIPTION
1	1. 1/2" DIA. 1/4" THICK
2	2. 1/2" DIA. 1/4" THICK
3	3. 1/2" DIA. 1/4" THICK
4	4. 1/2" DIA. 1/4" THICK
5	5. 1/2" DIA. 1/4" THICK
6	6. 1/2" DIA. 1/4" THICK
7	7. 1/2" DIA. 1/4" THICK
8	8. 1/2" DIA. 1/4" THICK
9	9. 1/2" DIA. 1/4" THICK
10	10. 1/2" DIA. 1/4" THICK

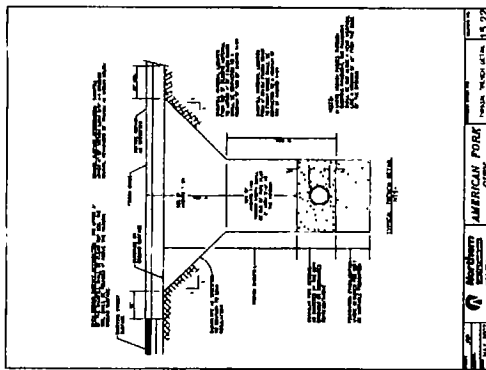
561

Direct bearing sheet

571

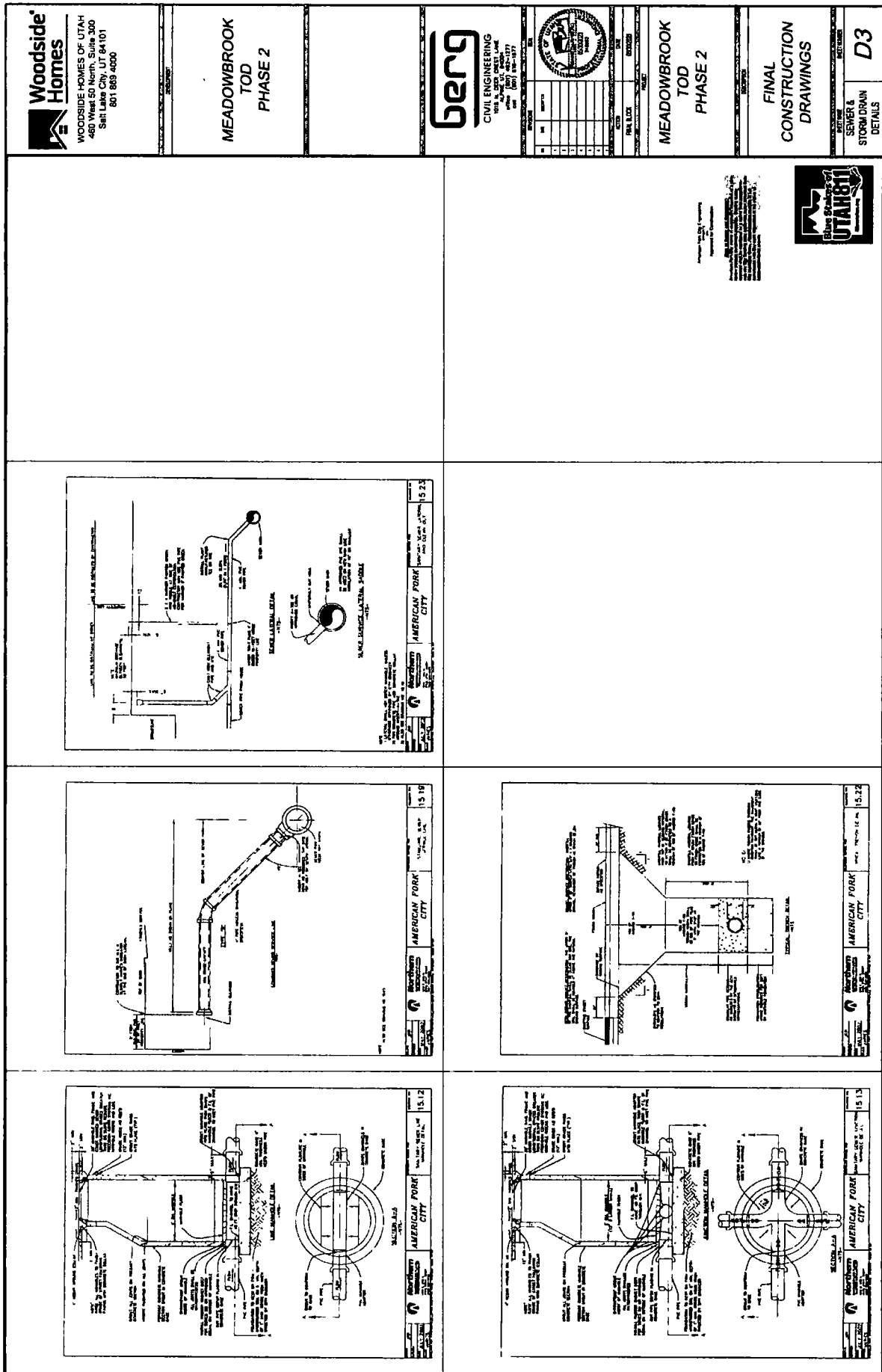
2nd Meadowbrook

15.3



15.3

AMERICAN FORK CITY



[illegible]

Exhibit C

Approved as to form:
Attorney for American Fork City

Exhibit C

Long Term Stormwater Management Plan for:

Meadowbrook

850 West 560 South

American Fork, UT 84006

Woodside Homes

460 West 50 North, Suite 200

Salt Lake City, UT 84101

Jim Clark

801-989-4637

james.clark@woodsidehomes.com

Introduction

This Long Term Stormwater Management Plan (LTSMP) is being implemented in order to protect water quality. Post construction Stormwater controls are required to be installed and maintained under the Utah Pollution Discharge Elimination System and the Clean Water Act to keep water clean. Installing post construction controls will prevent the discharge of pollutants into the local streams, rivers, and lakes. In recent years, contaminated Stormwater from various construction sites and commercial facilities has been polluting water bodies throughout the state of Utah. By properly installing and maintaining post construction Stormwater controls pollutants will be contained and water quality will be improved.

This management plan is designed to prevent pollutants from entering the storm drain system and polluting our waters. This facility is responsible for ensuring that any water discharged from the facility is free of harmful pollutants, thereby assisting in the health and protection of water in our community. This plan will address Stormwater controls at this facility. These controls will be monitored, maintained, and improved if needed to prevent pollutants from being discharged from this facility into the storm drain system or local waters. Additionally, the patrons or employees of this facility will be trained or made aware of the aforementioned issues and controls.

The Utah Lake is impaired. The aim of the LTSMP is to address these impairments as well as other potential pollutants that may be generated on this property.

General Site Use and Description

Meadowbrook is a residential development consisting of phases 1A, 1B, 2, consisting of 369 townhomes and landscaped areas.

A retention pond, *still under design*, is planned to be just south of Phase 1B, Block 5, on the south side of 480 South that will received stormwater runoff from the Phase 1B streets. This basin is designed to hold a total volume of 28,611cf of water at full capacity. This basin is designed to take stormwater from the streets and allow it to filtrate into the grassy ground soils. Maintenance will be outlined in the Surface Controls SOP found in the SOP section in Exhibit B.

Meadowbrook is a growing development that may incorporate more facilities/devices/LIDs in the future, which will be added to this description, SOPs, and Long-Term maps in the future.

Parking, Sidewalk, and flatwork

Any sediment, leaves, debris, spilt fluids, or other waste that collects on our parking lots and sidewalks will be carried by runoff to our storm drain inlets. This waste material will settle in our storm drain system increasing maintenance cost and solid and dissolved waste in our runoff

can pass through our system ultimately polluting the unnamed tributary bordering the site, and eventually end up in Utah Lake.

Maintenance involves regular sweeping, but it can also involve pavement washing to remove stains, slick spots and improve appearance when necessary. Use our Pavement Maintenance and the Pavement Washing SOPs to manage pollutants that collect on our pavements.

Landscaping

Our landscape operations can result in grass clippings, sticks, branches, dirt, mulch, fertilizers, pesticides, and other pollutants to fall or being left on our paved areas. This waste material will settle in our storm drain system increasing maintenance cost and solid and dissolved waste in our runoff can pass through our storm drain system ultimately polluting the unnamed tributary bordering the site, and eventually end up in Utah Lake. It is vital that our paved areas with direct connection to the city storm drain systems remain clean of landscape debris. Use our Landscape Maintenance SOP to prevent this potential pollution source from affecting the unnamed tributary.

Storm Drain System

The storm drain inlets direct all runoff to the American Fork storm drain system except for the Phase 1B streets that drain to a retention basin south of 480 South. This is designed to take stormwater and let it percolate into grassy ground/soil. Also, if the retention basin holds water, it can breed mosquitoes. Use our Storm Drain Maintenance SOP to manage our storm drain system responsibly.

Waste Management

Each home will have their own trash receptacle with lids and are intended to prevent precipitation exposure minimizing liquids that can leak to pavements and from haul trucks. Lids will also prevent the lightweight trash being carried off by wind. Each homeowner will be responsible for making sure their trash bins are in good working order and that trash is picked up whenever it is found around their own homes or on the streets, sidewalks, or gutters in front of their homes. Good waste management systems, if managed improperly, can become the source of the very pollution that they were intended to control. Use our Waste Management SOP to control and manage the solid waste we generate.

Utility System

Our roof top utility system is exposed to our roof drains which drain to our pavements. This heating and air conditioner unit contains oils and other chemicals that can harm the unnamed tributary bordering the site, and eventually end up in Utah Lake if allowed to drain off our property. Liquids and other waste generated by maintenance of this system can be appropriately managed by our Spill Containment and Cleanup SOP.

Snow and Ice Removal Management

Salt is a necessary pollutant and is vital to ensuring safe parking and pedestrian walkways. However, snow removal operations if improperly managed will increase our salt impact on our own vegetation and local water resources. Use our Snow and Ice Removal SOP to minimize our salt impact.

TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage the property. Report any variances to the LTSMP contact listed on the Facility Map. File all training records in Exhibit C.

RECORDKEEPING

Maintain records of operation activities in accordance with SOPs. File all recordkeeping documents in Appendix A.

Mail a copy of the record to the city stormwater division annually.

Facility Maps

Include the overview of the facility with the location of all Long Term Stormwater BMPs



MEADOWBROOK TOD BLOCKS C & D PRELIMINARY PLAT

AMERICAN FORK, UTAH



PREPARED FOR:
WOODSIDE HOMES
400 WEST 100 NORTH, STE. 200
SALT LAKE CITY, UT 84119

DATE:	MARCH 2022
PROJECT:	MEADOWBROOK
DESIGNED BY:	LDG
CHECKED BY:	LDG
REVIEWED BY:	LDG
APPROVED BY:	LDG
DATE:	MARCH 2022
REVISIONS:	CITY REVIEW COMMENTS

Phase 2
BLOCK C
IRRIGATION PLAN
SHEET NUMBER

L11.1

ENT 63747:2023 PG 71 of 133

OVERALL IRRIGATION LEGEND

SYMBOLS

DEFINITIONS



PIPING

1" P

2" P

3" P

4" P

6" P

8" P

10" P

12" P

15" P

18" P

24" P

30" P

36" P

42" P

48" P

54" P

60" P

66" P

72" P

78" P

84" P

90" P

96" P

102" P

108" P

114" P

120" P

126" P

132" P

138" P

144" P

150" P

156" P

162" P

168" P

174" P

180" P

186" P

192" P

198" P

204" P

210" P

216" P

222" P

228" P

234" P

240" P

246" P

252" P

258" P

264" P

270" P

276" P

282" P

288" P

294" P

300" P

306" P

312" P

318" P

324" P

330" P

336" P

342" P

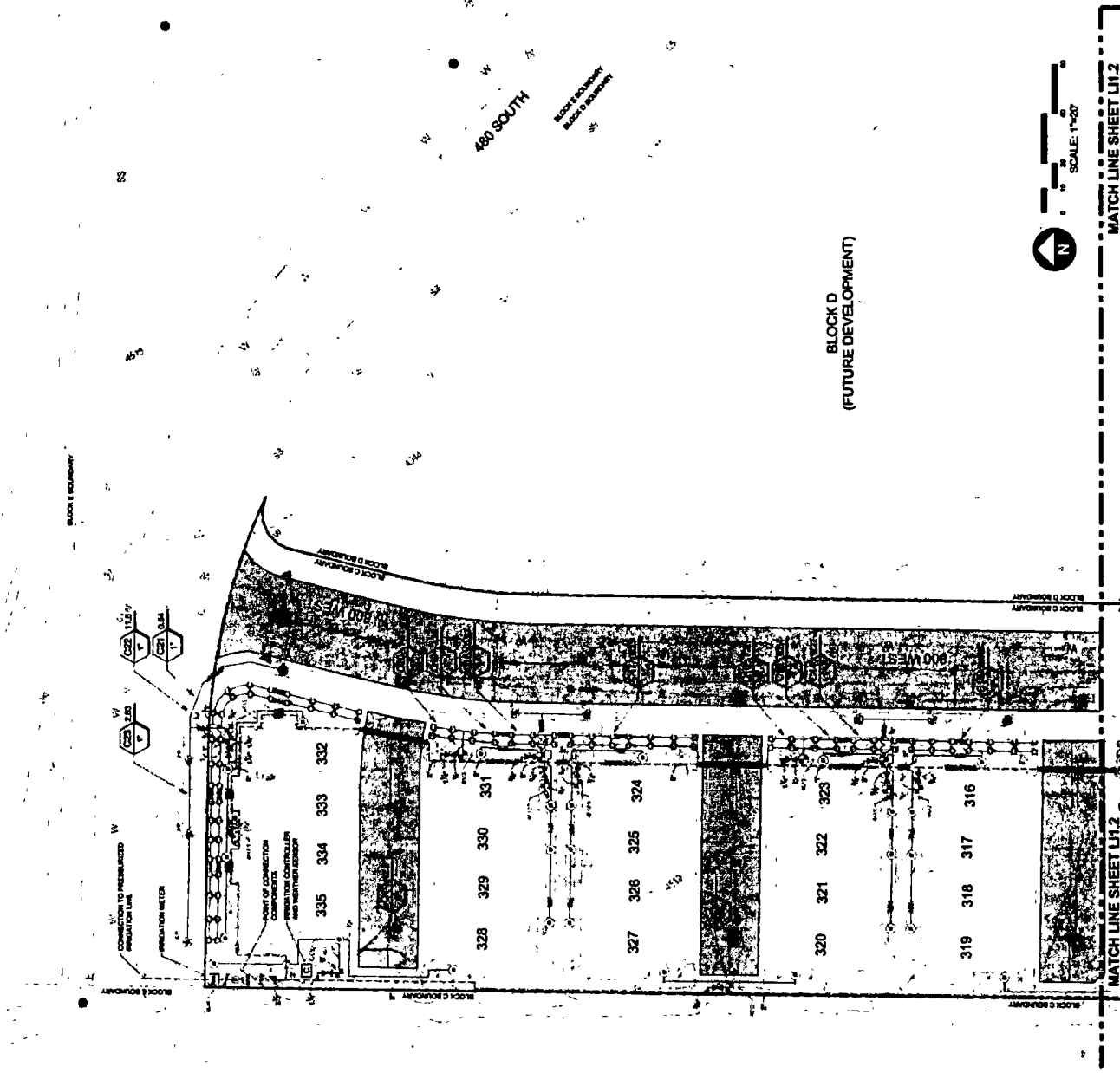
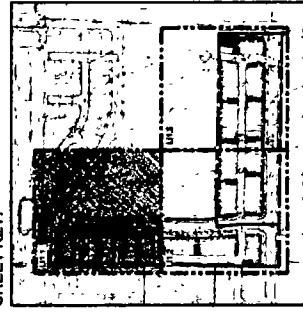
348" P

354" P

360" P

NOTE: THE IRRIGATION BLOCK C AND BLOCK D IRRIGATION SCHEDULED ON SHEET L11.1 FOR IRRIGATION EQUIPMENT, QUANTITIES, AND TYPES, AND HYDRAULIC ANALYSES.

SHEET KEY:

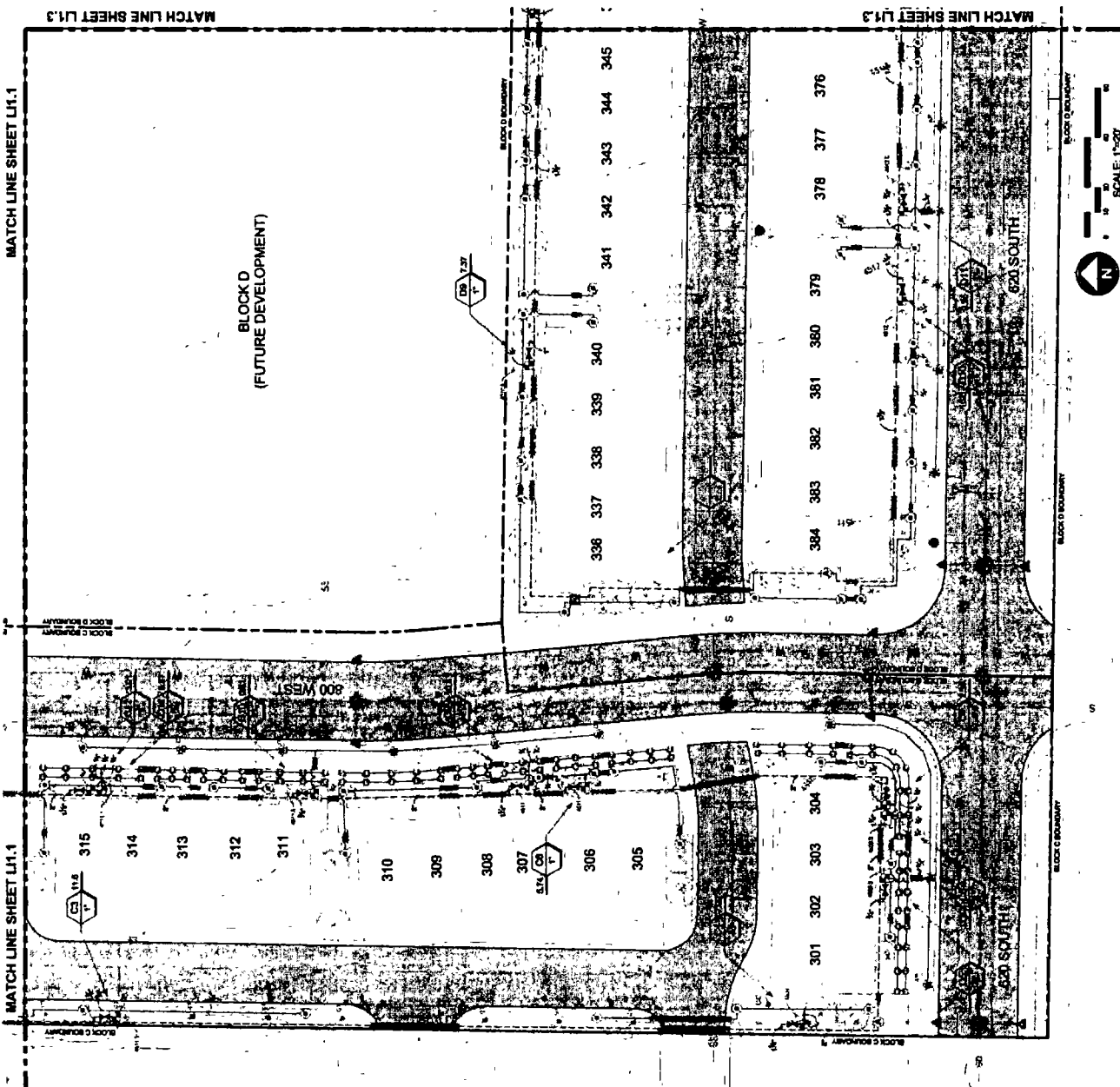


MATCH LINE SHEET L11.2

MATCH LINE SHEET L11.2



-  Landscaped Areas (14)
-  Asphalt or Concrete road or parking (4)
-  Property Boundary (2)
-  Storm Drain Curb Inlet (2)





-  Landscaped Areas (46) ENT 63747-2023 PG 74 of 133
-  Asphalt or Concrete road or parking (4)
-  Property Boundary (1)
-  Storm Drain Curb Inlet (8)

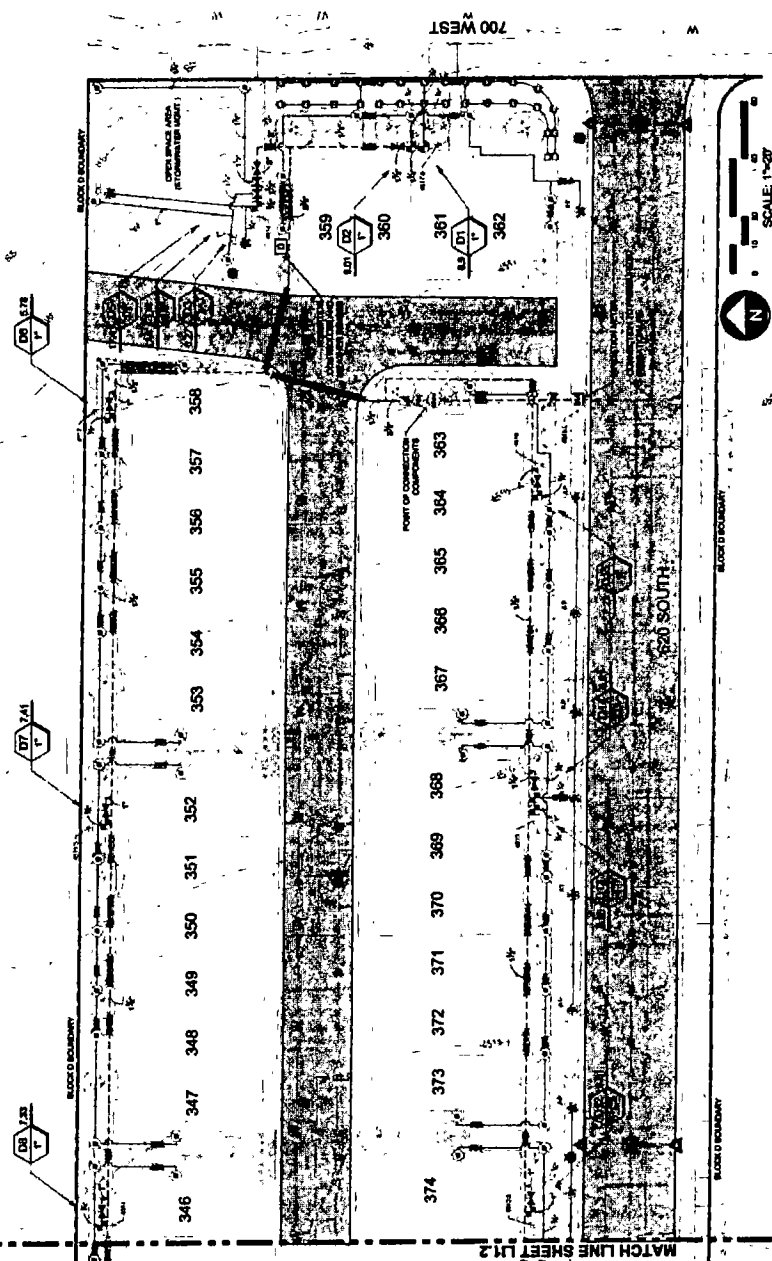
OVERALL IRRIGATION LEGEND

STATION

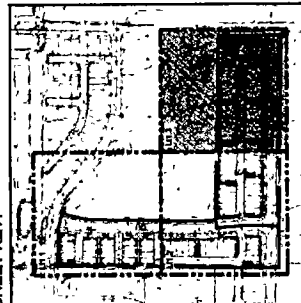
NEW APPLICATION

BLOCK D
(FUTURE DEVELOPMENT)

BLOCK D
(FUTURE DEVELOPMENT)



SHEET KEY:

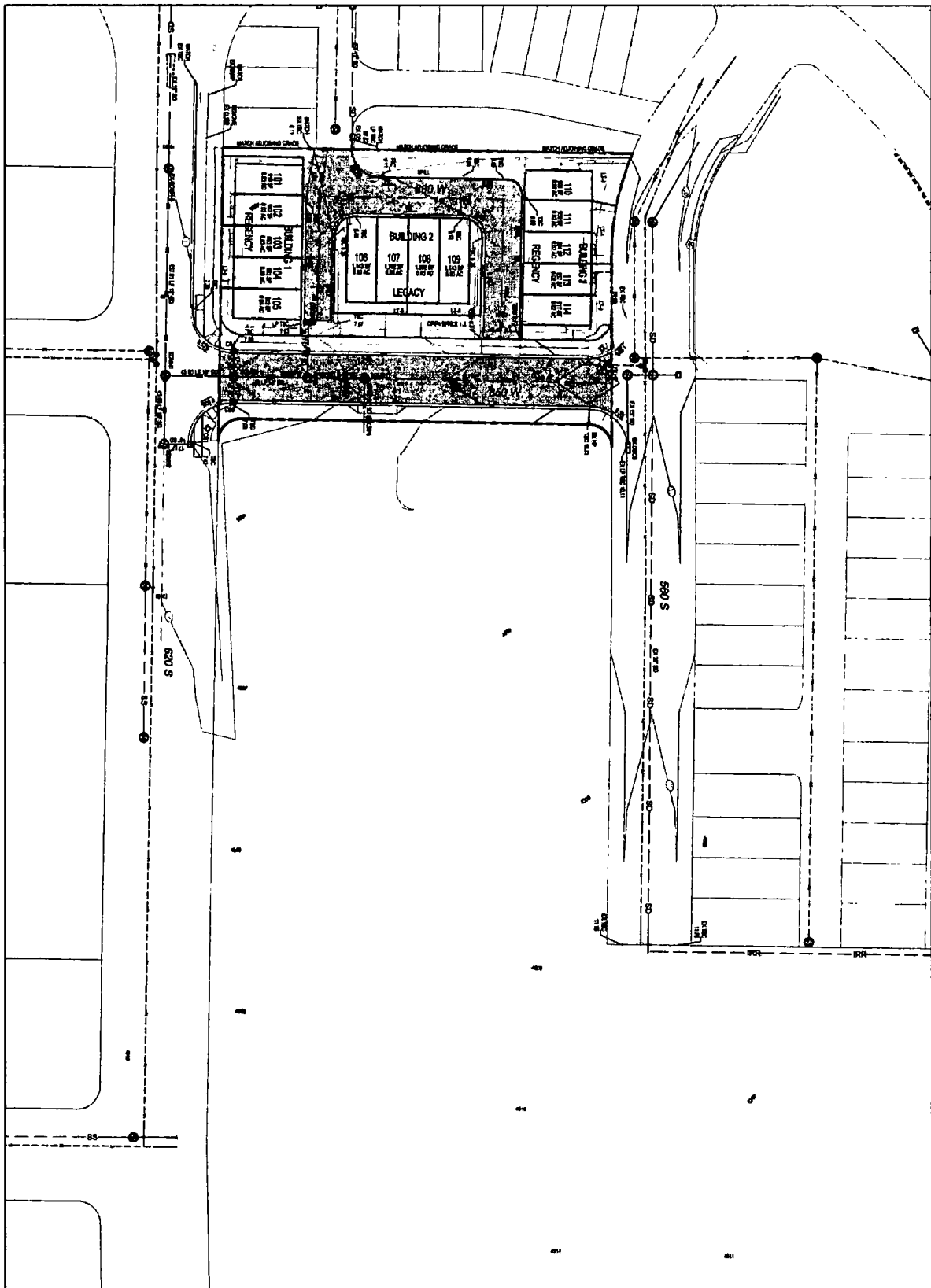


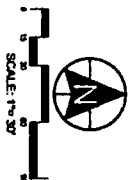
NOTE: SEE MONITORIAL BLOCK C AND BLOCK D REGISTRATION SCHEDULES ON SHEET UN-A FOR REGISTRATION FOR RESIDENTS, CHURCHES AND TOWNS, AND MONITORIAL C ANALYSIS.

[illegible]



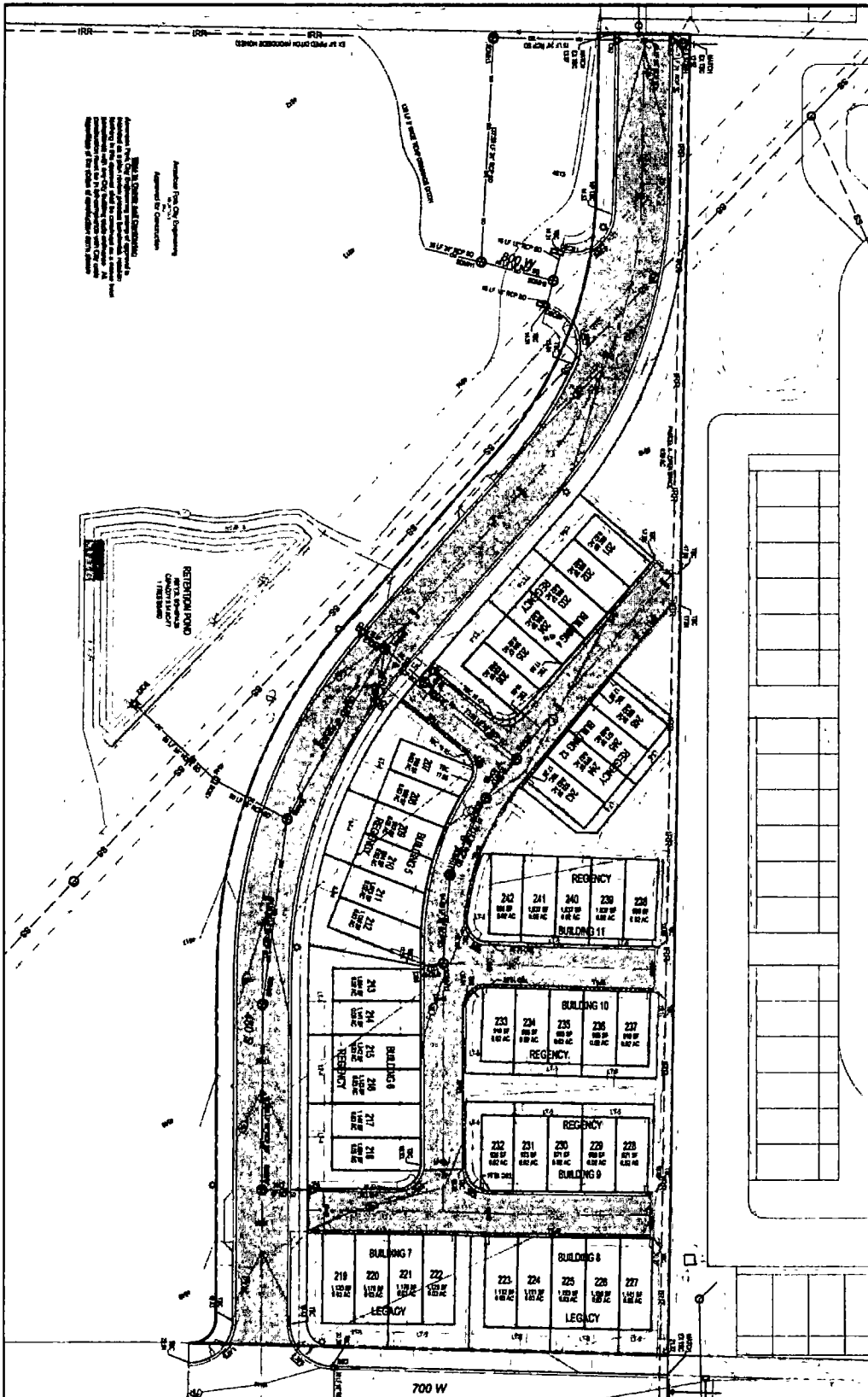
-  Asphalt or Concrete road or parking (2)
-  Landscaped Areas (36)
-  Property Boundary (1)
-  Storm Drain Curb Inlet (4)



 Woodside Homes WOODSIDE HOMES OF UTAH 460 WEST 50 NORTH, SUITE 300 SALT LAKE CITY, UT 84101 801.565.4000	MEADOWBROOK TOD PHASE 1A	 SCALE: 1"=30'	 BERG CIVIL ENGINEERING 1000 S. 2000 WEST, SUITE 100 SALT LAKE CITY, UT 84119 (801) 582-1177 www.berg-engineering.com	MEADOWBROOK TOD PHASE 1A BLOCK 1	FINAL CONSTRUCTION DRAWINGS	GRADING PLAN	C3.1
--	--	--	--	--	---	--------------------------------	--------------------



- ENT 63747-2023 PG 78 of 133
-  Asphalt or Concrete road or parking (2)
 -  Landscaped Areas (19)
 -  Property Boundary (1)
 -  Storm Drain Curb Inlet (4)



CUMCUD CONSTRUCTION NOTES:

1. CONTRACTOR SHALL MAINTAIN EXISTING CURBS AND SIDEWALKS AND PROTECT EXISTING UTILITIES.
2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
3. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
5. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
6. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
7. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
8. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
9. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
10. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.

TSSD CONSTRUCTION NOTES:

1. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
3. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
5. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
6. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
7. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
8. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
9. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
10. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.

GRADING NOTE:

ALL PROPOSED GRADING SHALL BE MAINTAINED AND PROTECTED.

Woodside Homes
WOODSIDE HOMES OF UTAH
400 West 50 North, Suite 300
Salt Lake City, UT 84101
801.553.4000

Beng
CIVIL ENGINEERING
1000 N. 2000 W. SUITE 100
SALT LAKE CITY, UT 84119
801.553.4000

SCALE 1" = 50'

**MEADOWBROOK
TOD
PHASE 1B
BLOCK 5**

**FINAL
CONSTRUCTION
DRAWINGS**

**GRADING
PLAN**

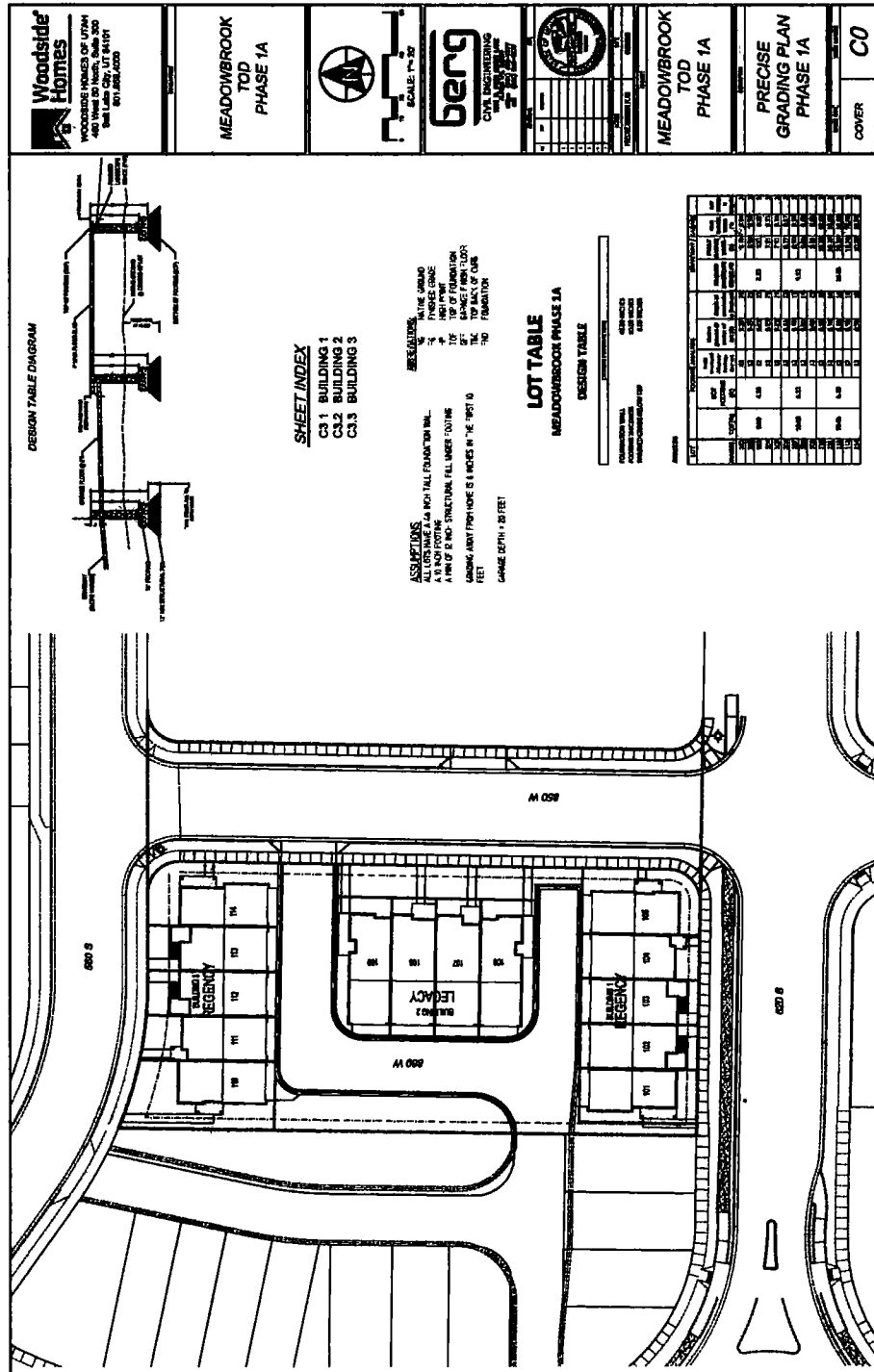
C3.1

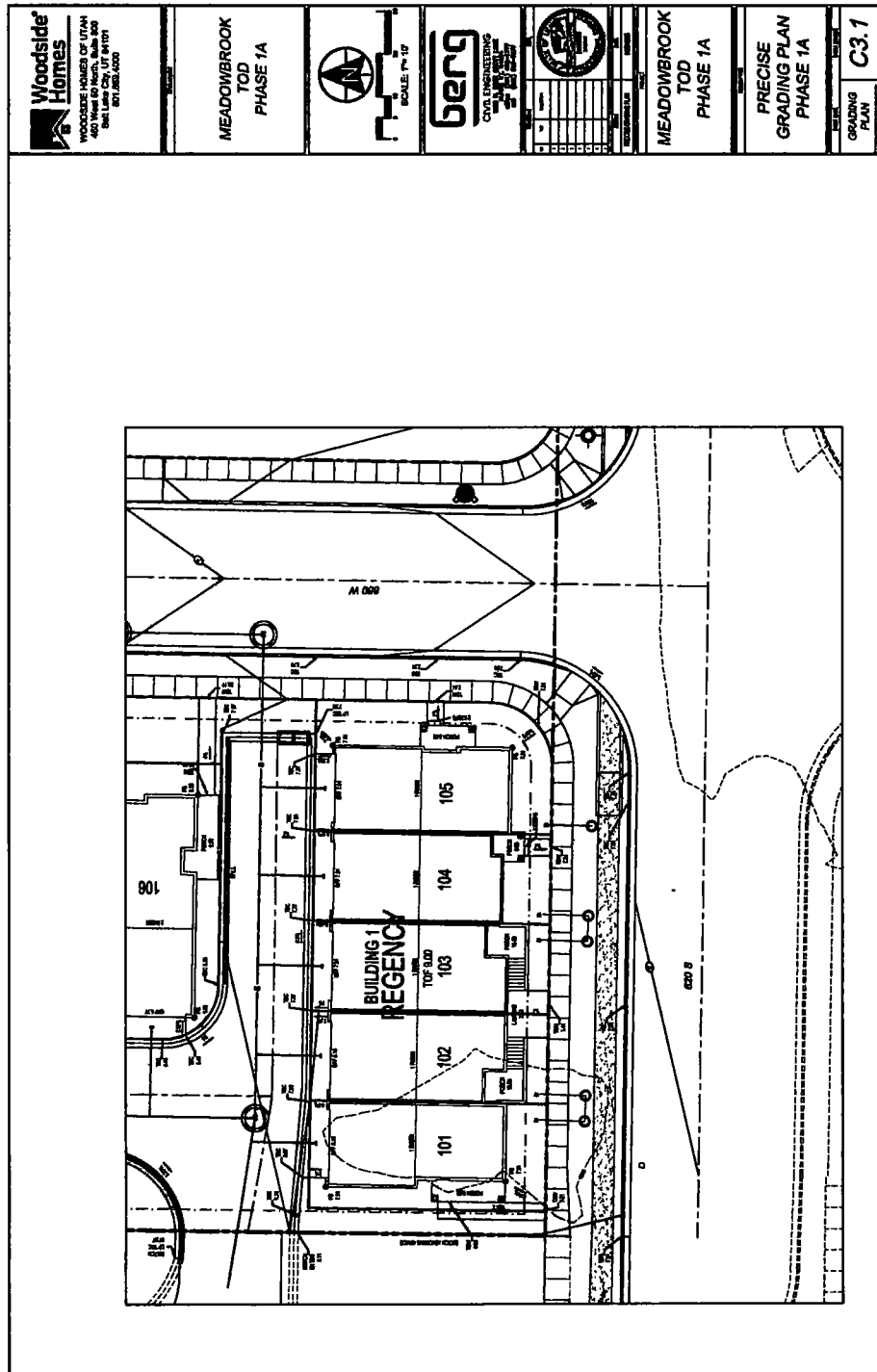


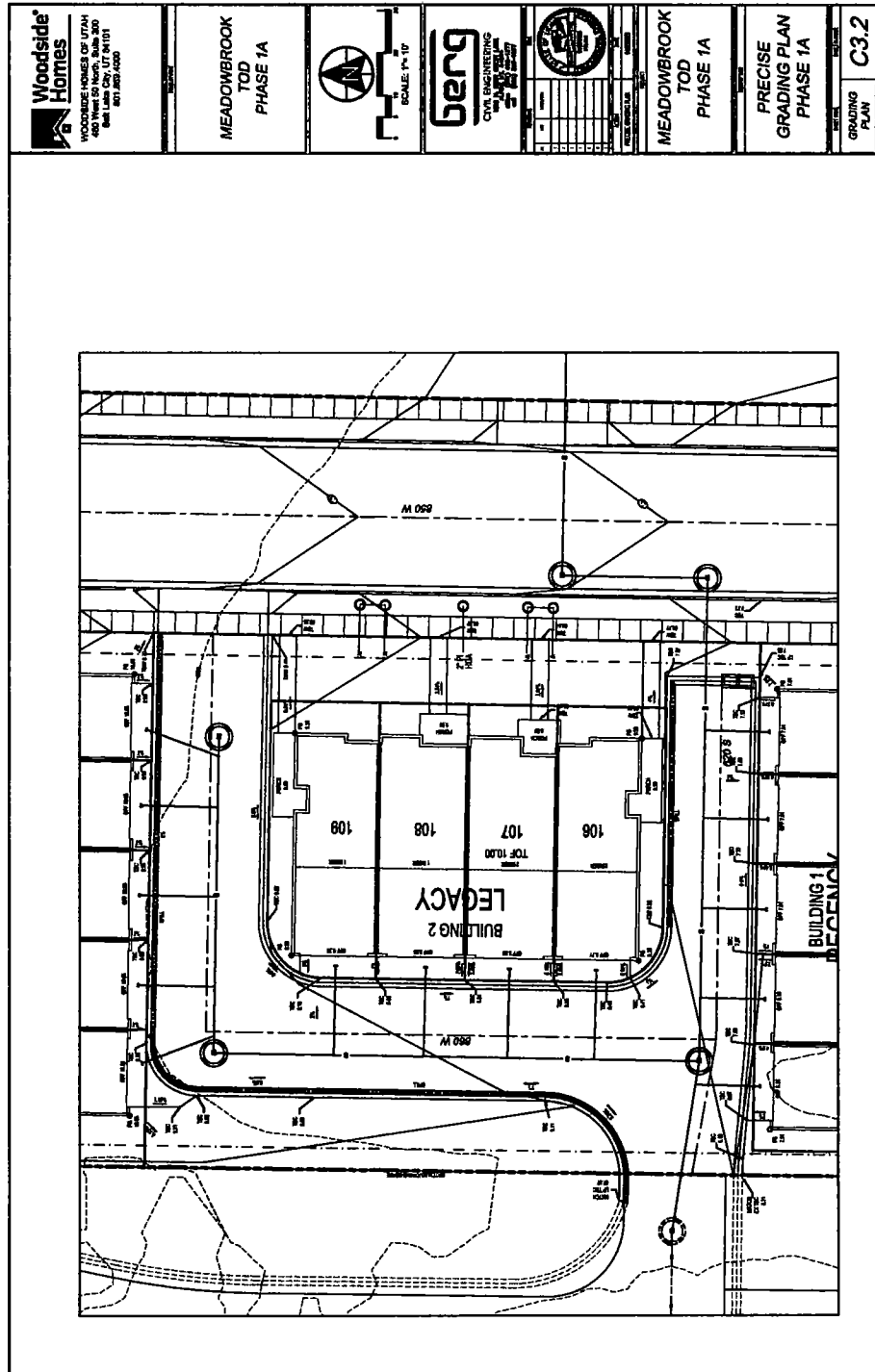
- Asphalt or Concrete road or parking (3)
- Cobbled Spillway (1)
- Retention Basin (1)
- Landscaped Areas (8)
- Property Boundary (2)
- Outlet (1)
- Rip Rap (1)
- Storm Drain Curb Inlet (6)
- UNT 63747:2023 PG 80 of 133

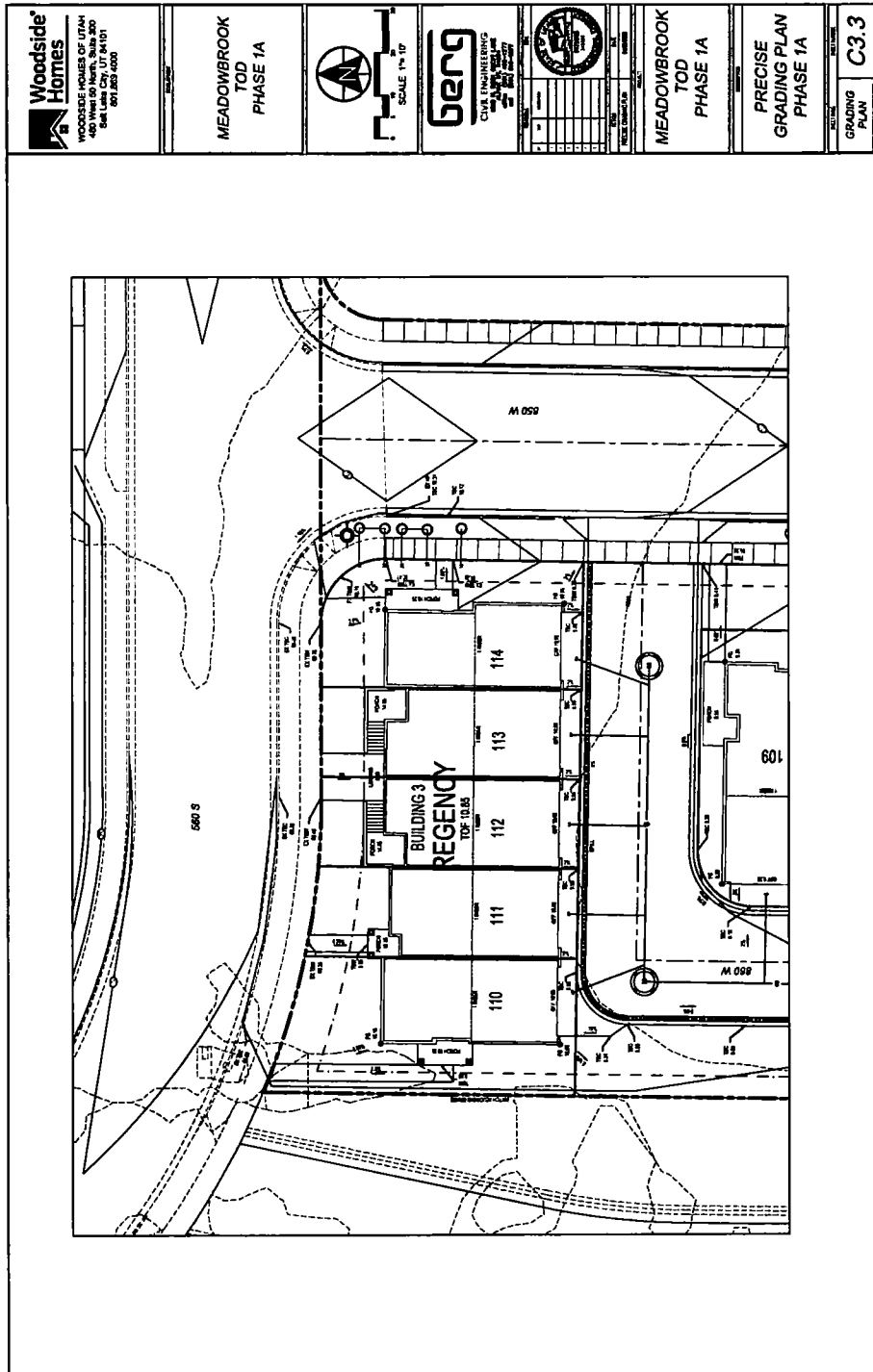
Long Term Stormwater BMP Details

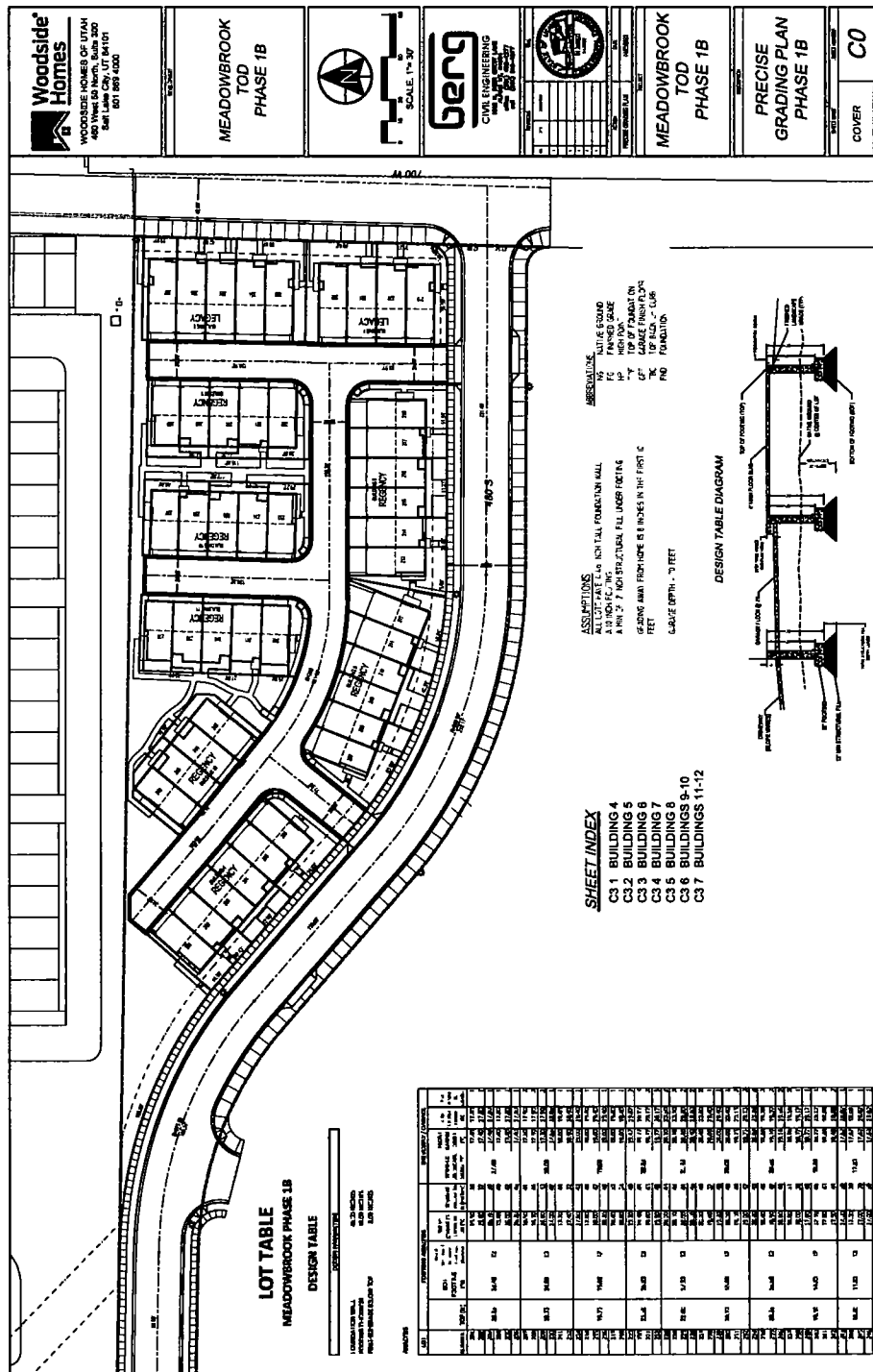
Include all details of the Long Term Stormwater BMPs

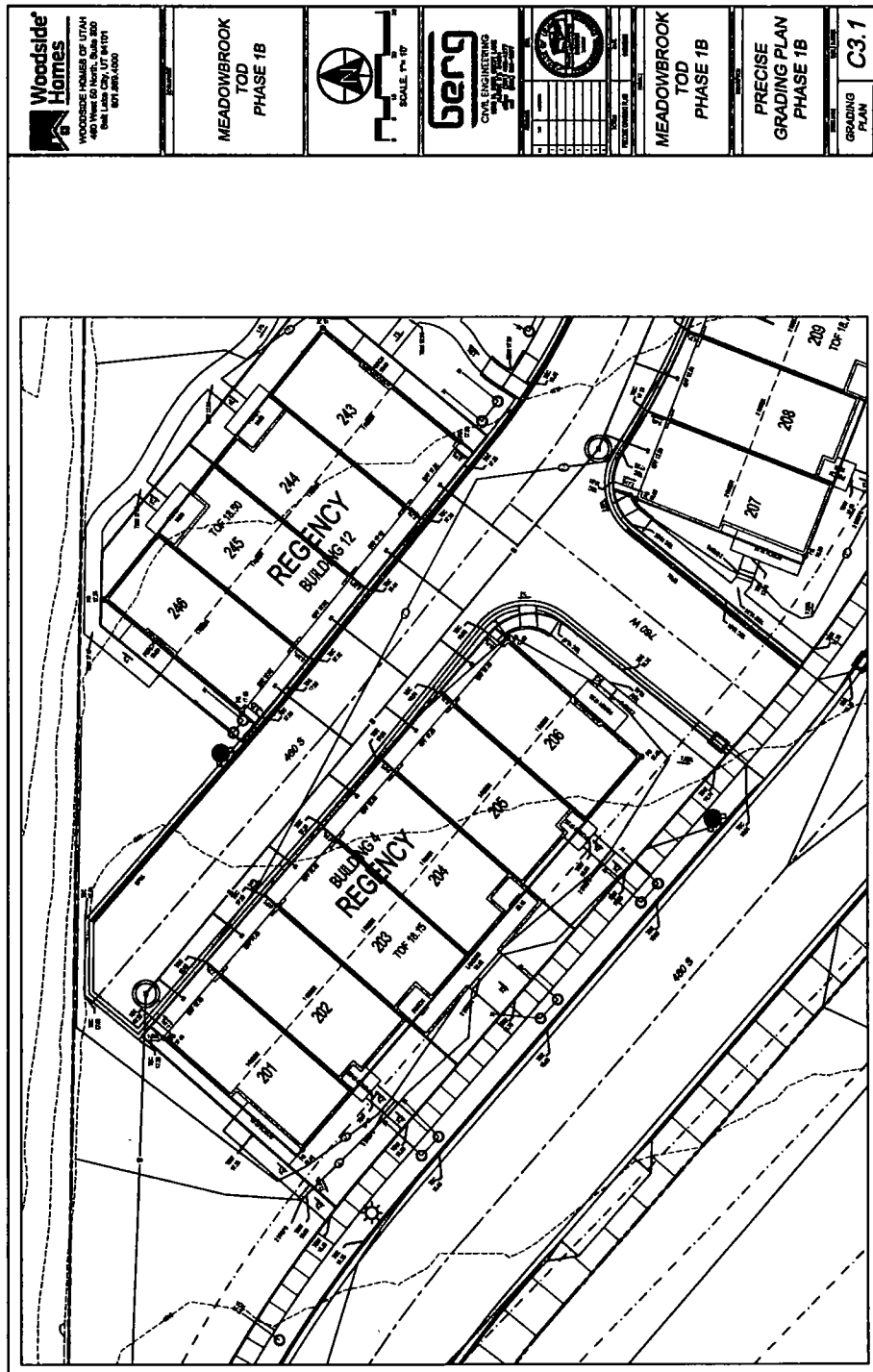


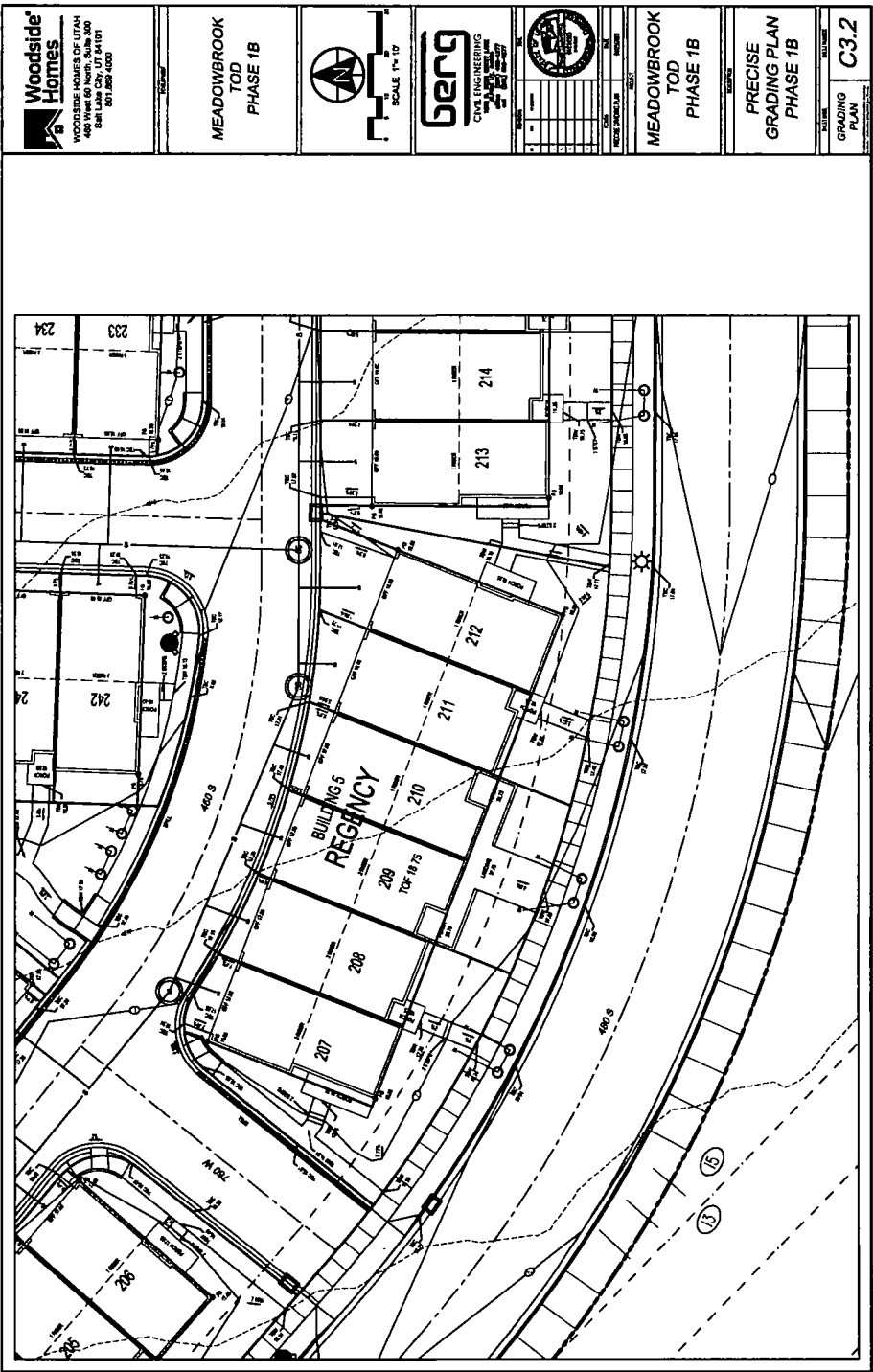


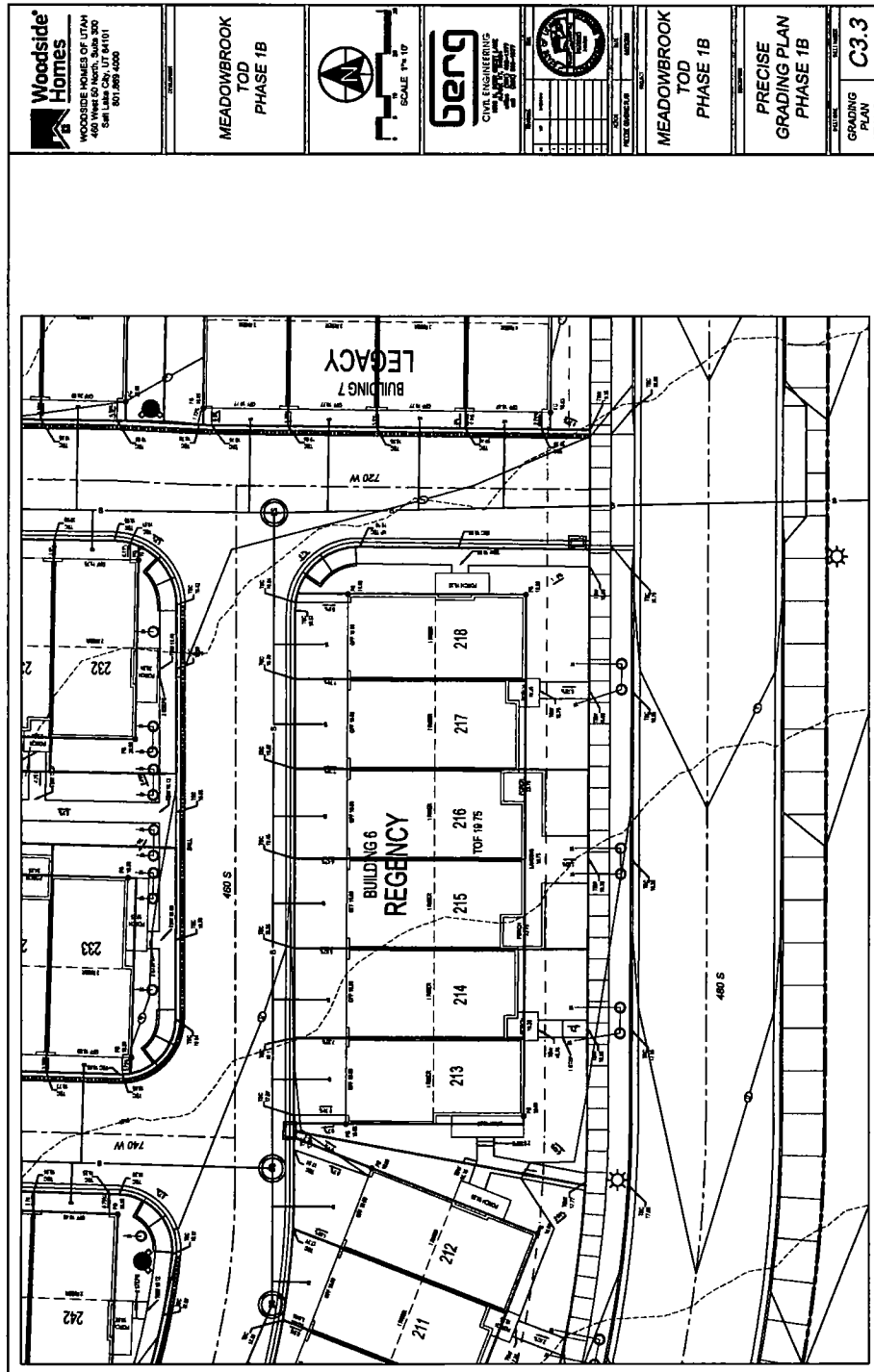






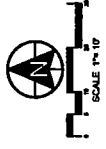






Woodside Homes
WOODSIDE HOMES OF UTAH
450 West 50 North, Suite 300
Salt Lake City, UT 84101
801.589.4000

MEADOWBROOK
TOD
PHASE 1B



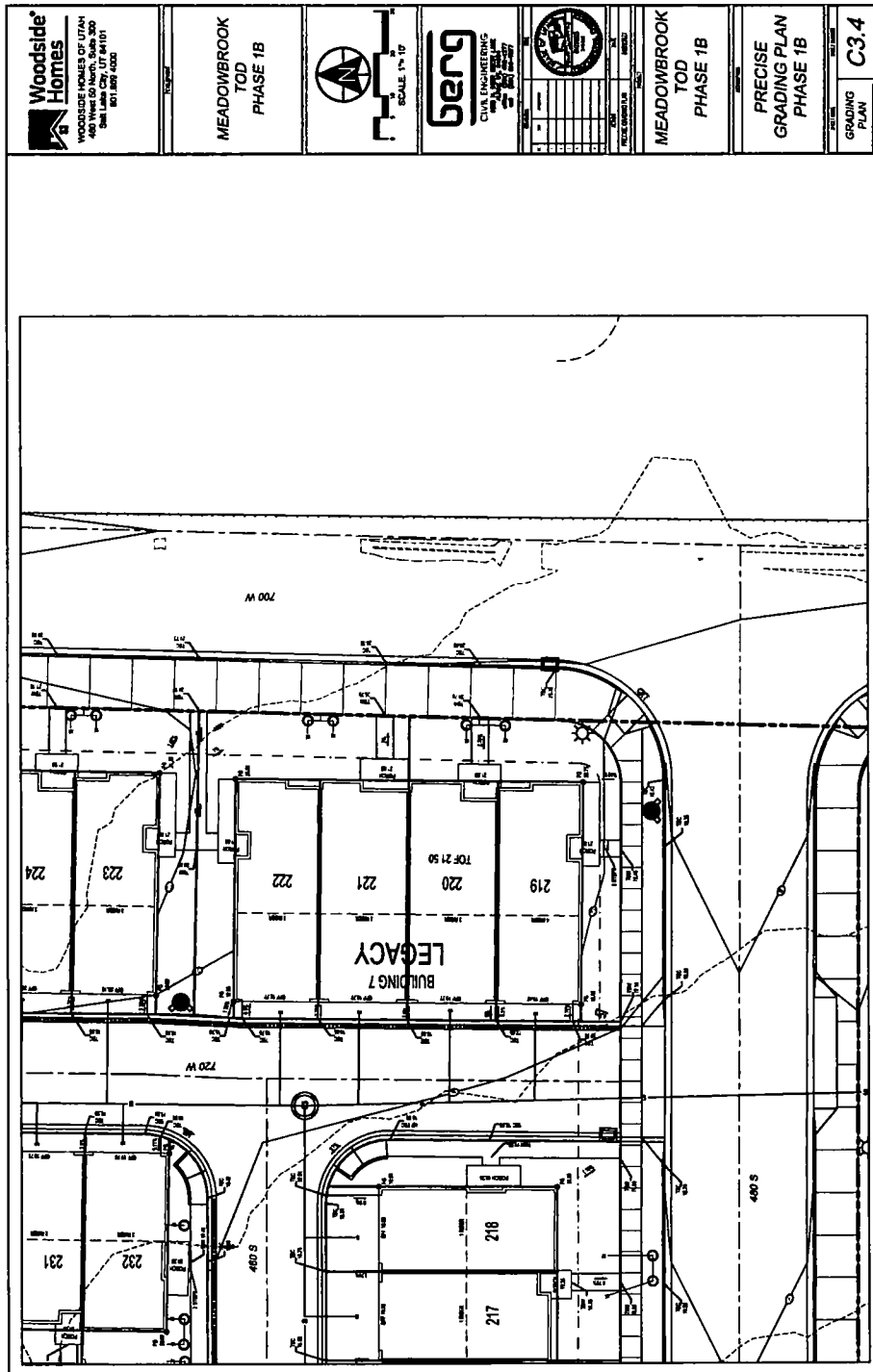
berg
CIVIL ENGINEERING
ARCHITECTURE
PLANNING
LANDSCAPE ARCHITECTURE



MEADOWBROOK
TOD
PHASE 1B

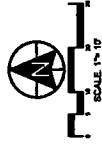
PRECISE
GRADING PLAN
PHASE 1B

GRADING
PLAN
C3.3



Woodside Homes
WOODSIDE HOMES OF UTAH
460 West 50 North, Suite 300
Salt Lake City, UT 84101
801.588.4000

MEADOWBROOK
TOD
PHASE 1B



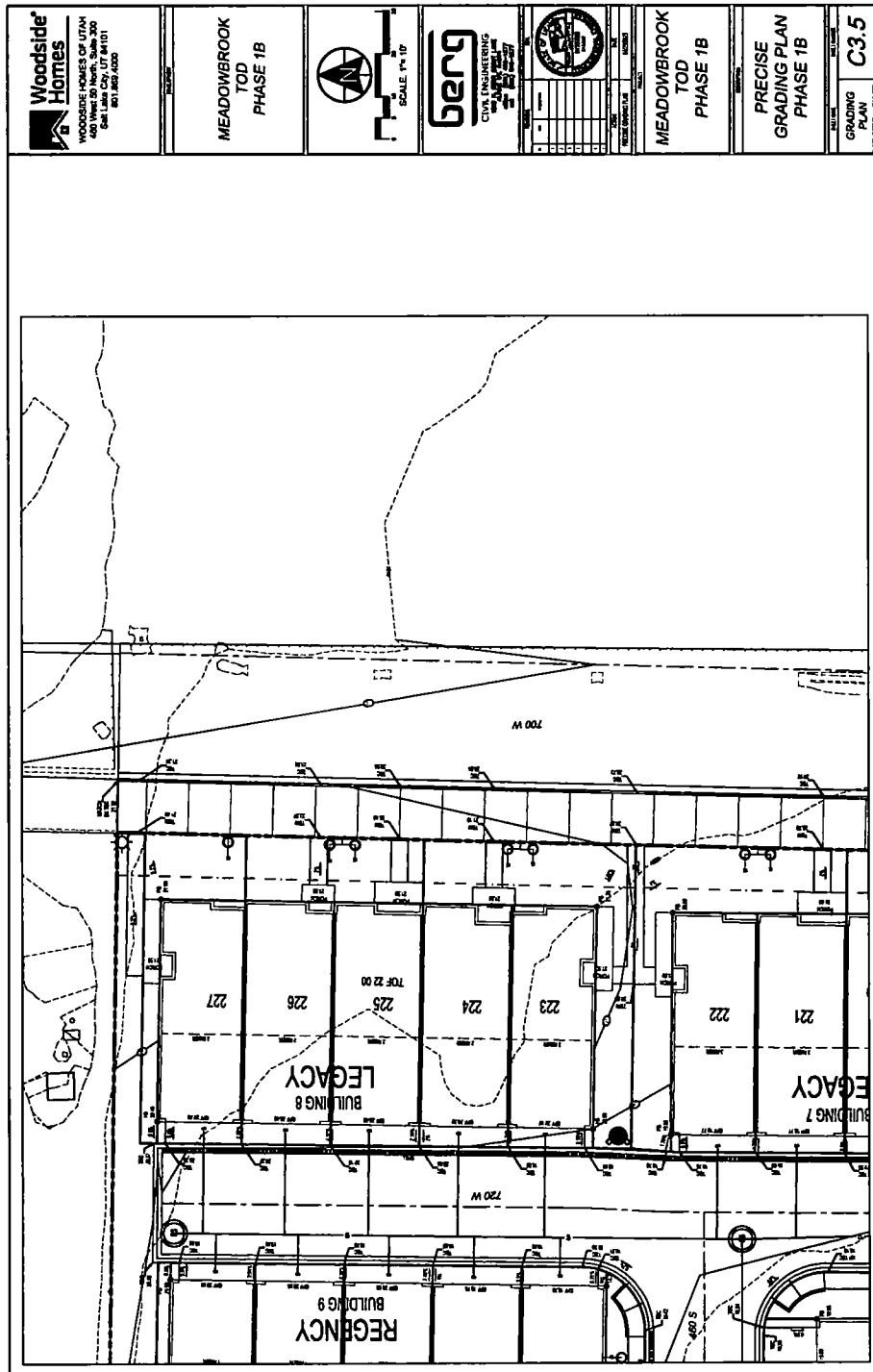
berg
CITY ENGINEERING
PLANNING & DESIGN
1000 W. 1000 S.
SALT LAKE CITY, UT 84101
801.466.8800

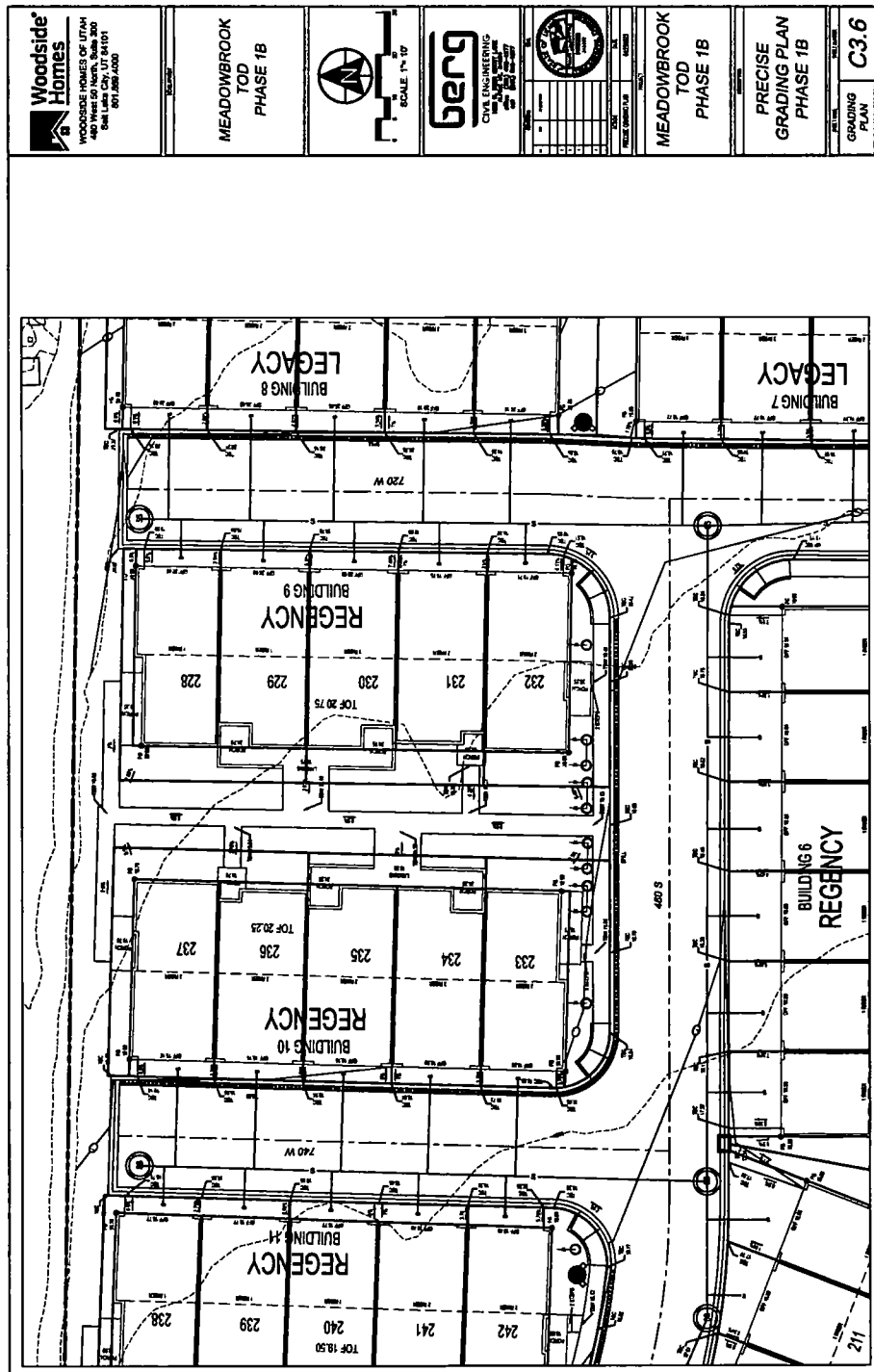


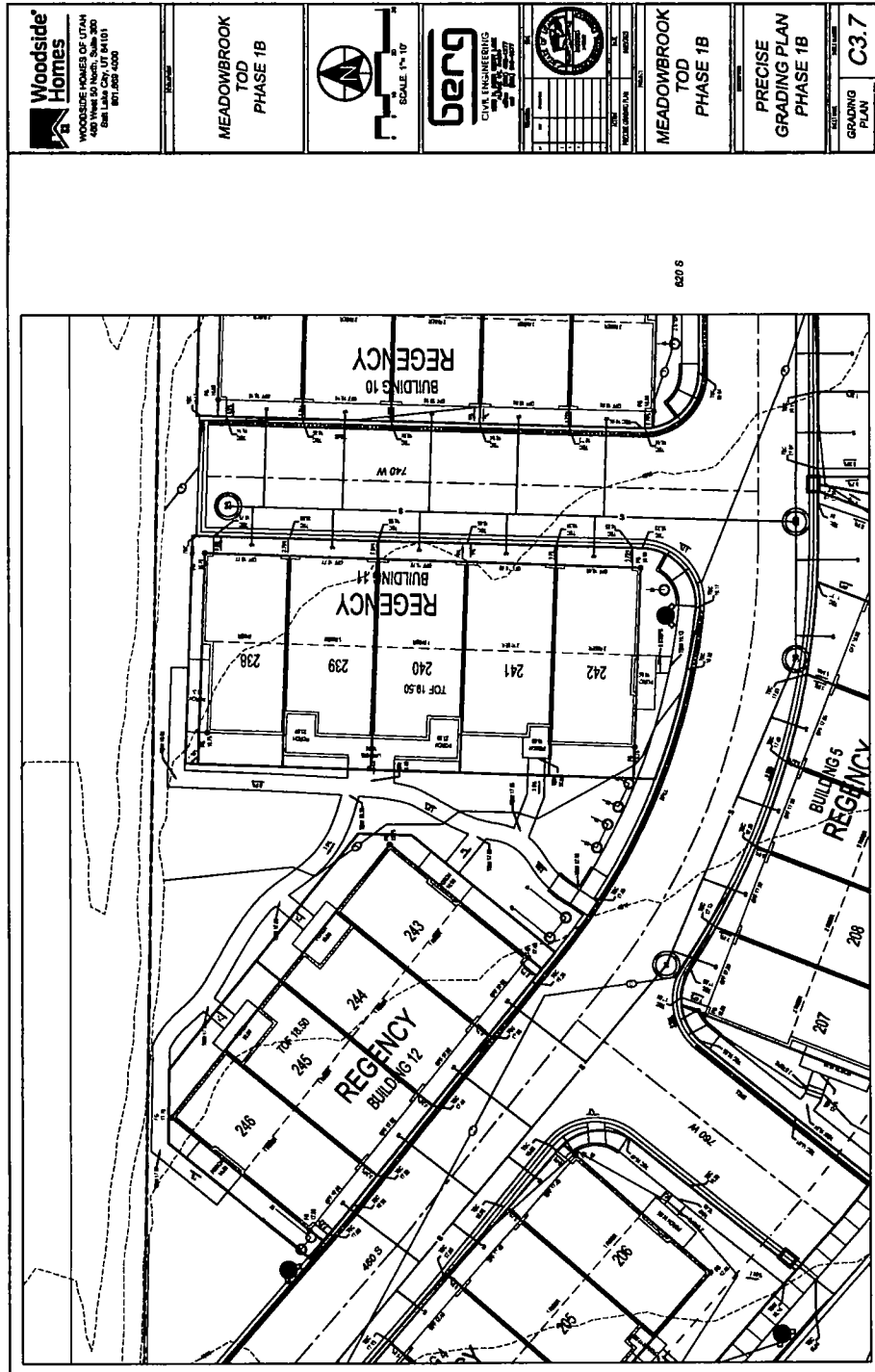
MEADOWBROOK
TOD
PHASE 1B

PRECISE
GRADING PLAN
PHASE 1B

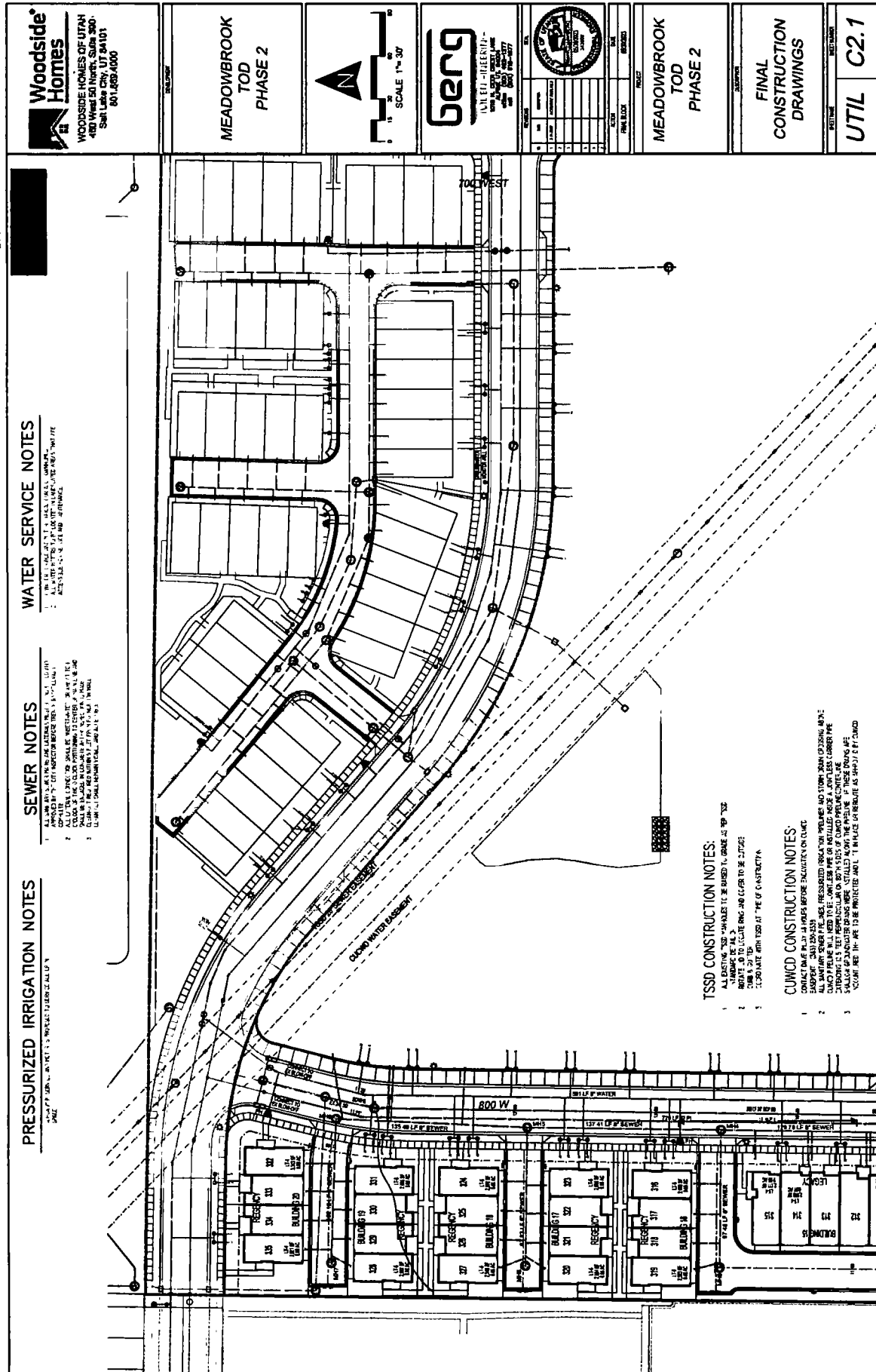
GRADING
PLAN
C3.4

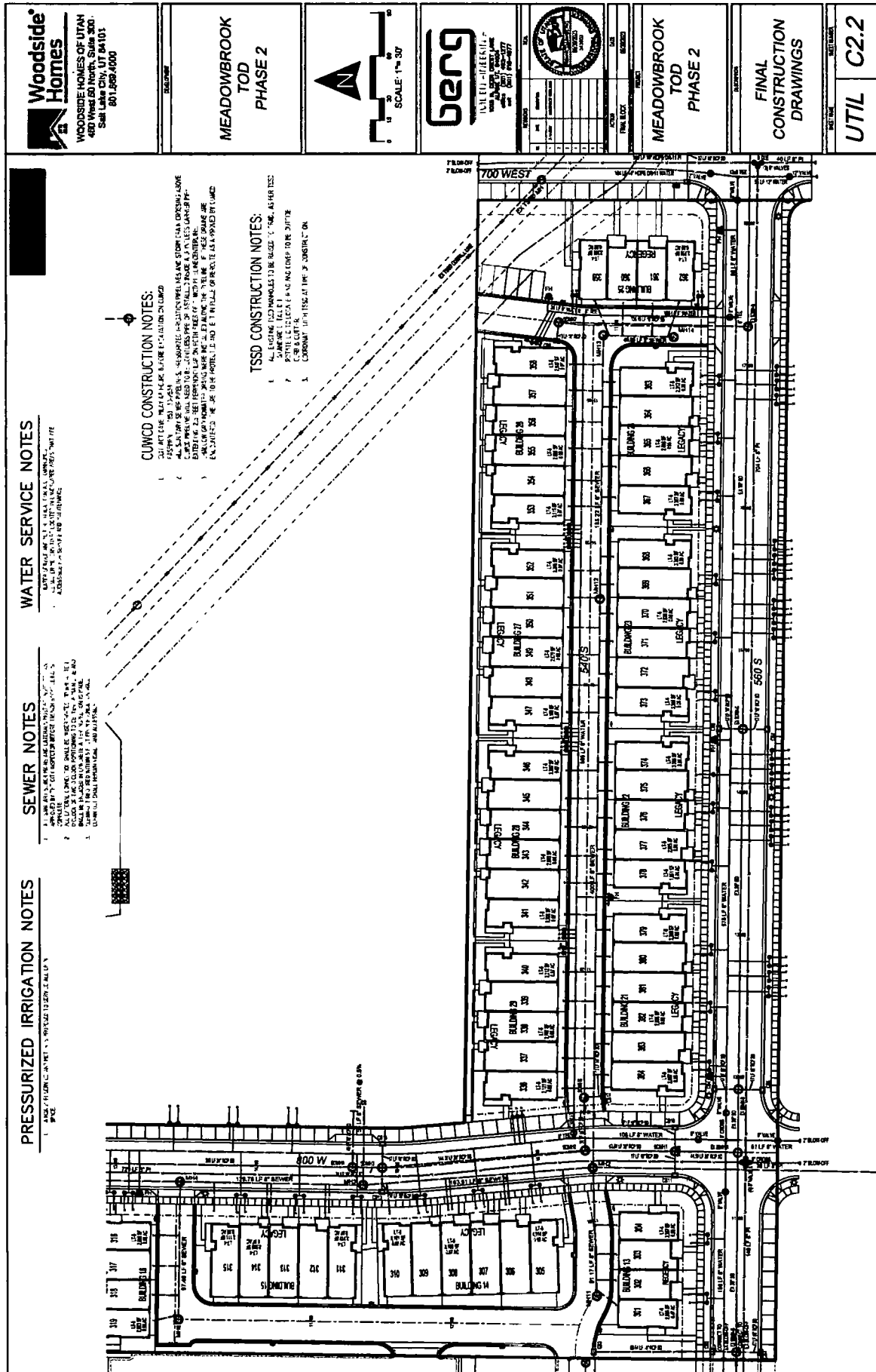






[illegible]





WOODSIDE HOMES OF UTAH
4600 West 50 North, Suite 300
Salt Lake City, UT 84101
801.859.4000

MEADOWBROOK TOD PHASE 2

FINAL CONSTRUCTION DRAWINGS

C3.1

BERG
PAUL E. BERG, INC.
1000 S. 1000 E., SUITE 100
SALT LAKE CITY, UT 84143
(801) 466-1177

TSSD CONSTRUCTION NOTES:

1. ALL EXISTING TIES UNABLE TO BE RAISED TO GRADE AS PER TSD STANDARD DETAIL D-1.
2. TIES SHALL BE LOCATED 18" AND COVER TO BE OUTSIDE CURB LAYOUT.
3. COORDINATE WITH TSD AT TIME OF CONSTRUCTION.

CIVIL CONSTRUCTION NOTES:

1. CONTACT DAVE MAY AN HOUR BEFORE EXCAVATION ON CANVOS EASEMENT. (PAGE 20) CANVOS.
2. CANVOS SHALL BE PROTECTED BY 18" AND COVER TO BE OUTSIDE CURB LAYOUT. CANVOS SHALL BE PROTECTED BY 18" AND COVER TO BE OUTSIDE CURB LAYOUT.
3. EXCAVATION SHALL BE PROTECTED AND LEFT IN PLACE OR REBUILT AS APPROVED BY CANVOS.

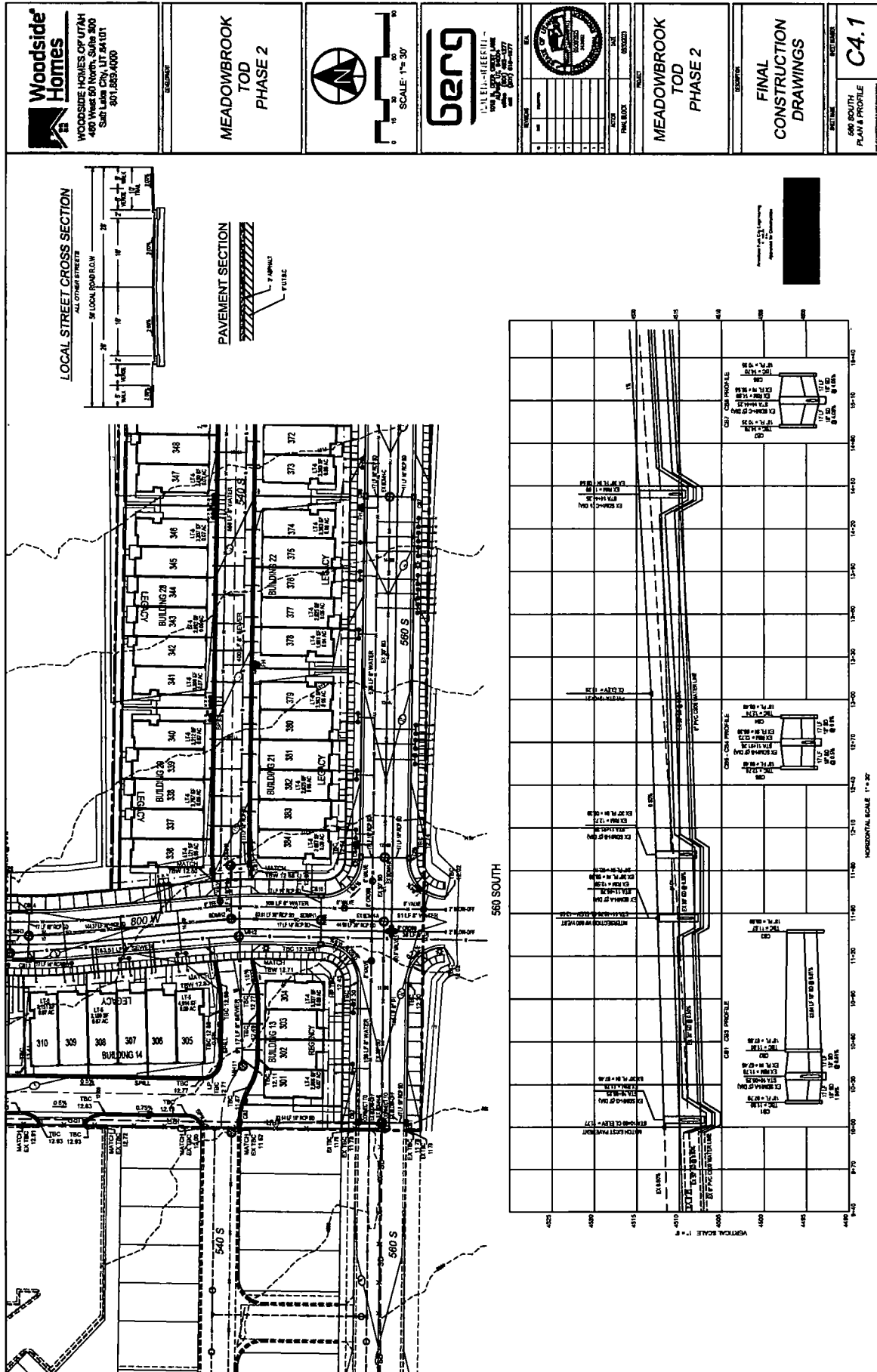
MEADOWBROOK TOD PHASE 2

FINAL CONSTRUCTION DRAWINGS

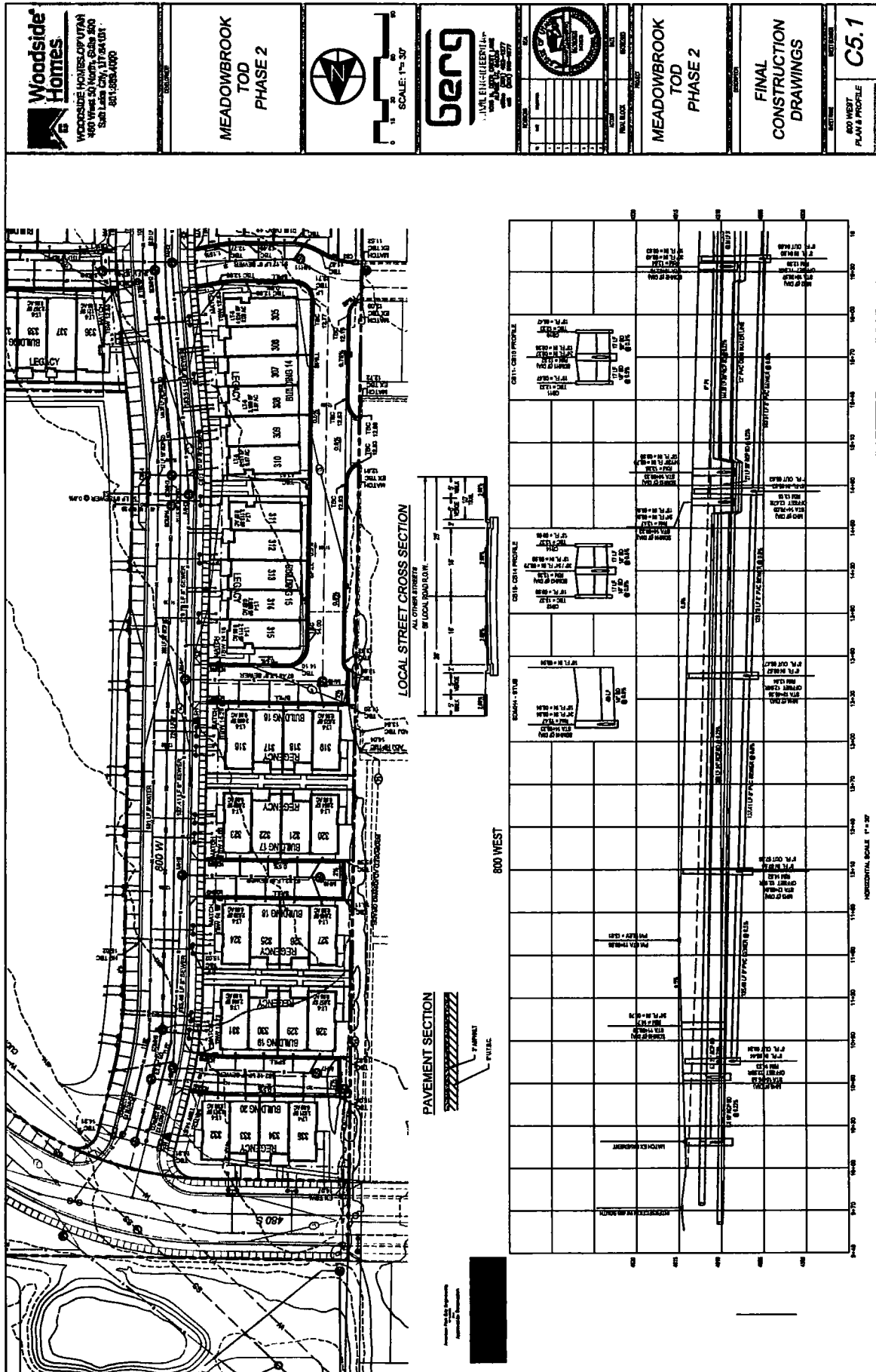
C3.1

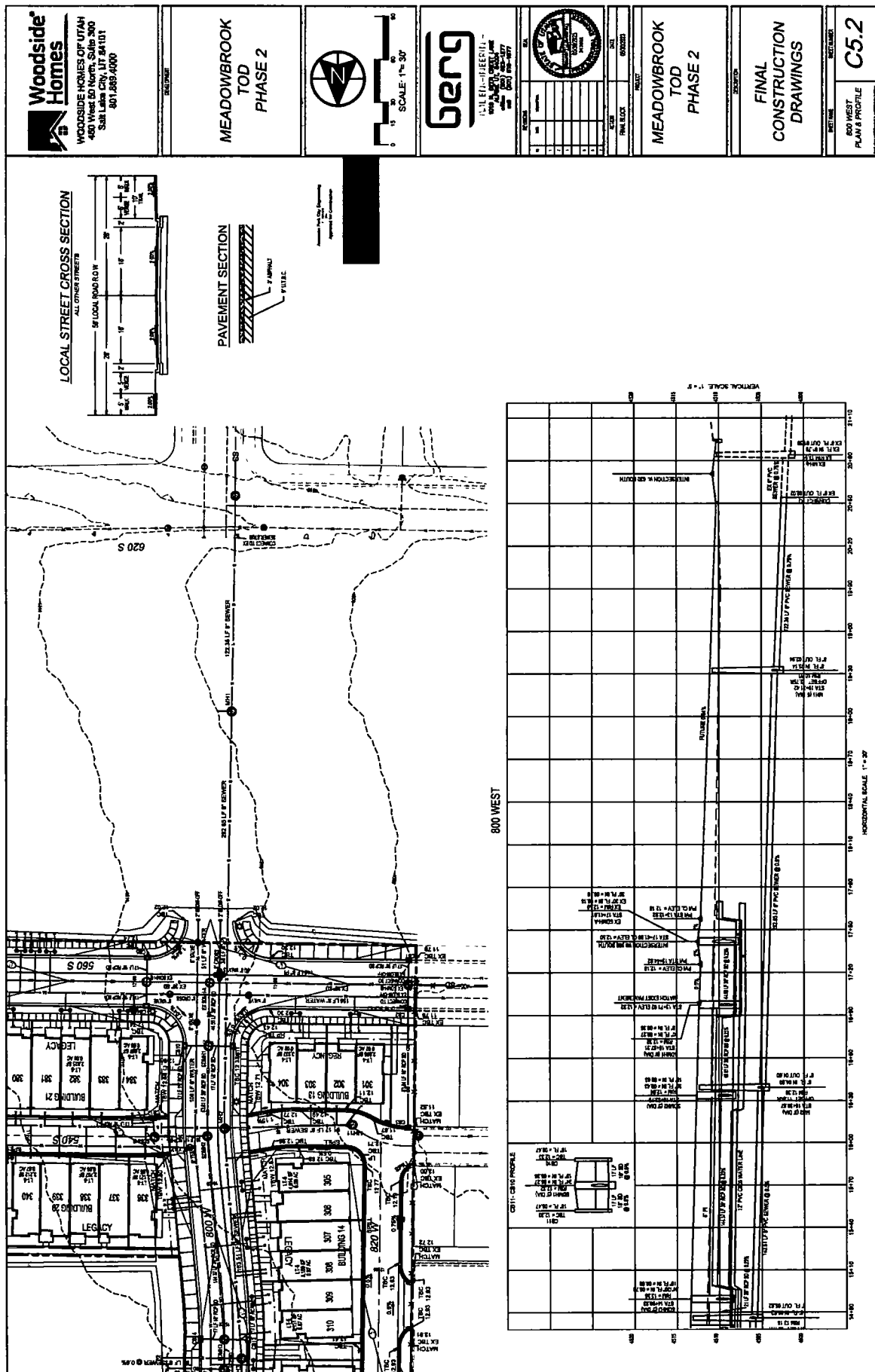
BERG
PAUL E. BERG, INC.
1000 S. 1000 E., SUITE 100
SALT LAKE CITY, UT 84143
(801) 466-1177

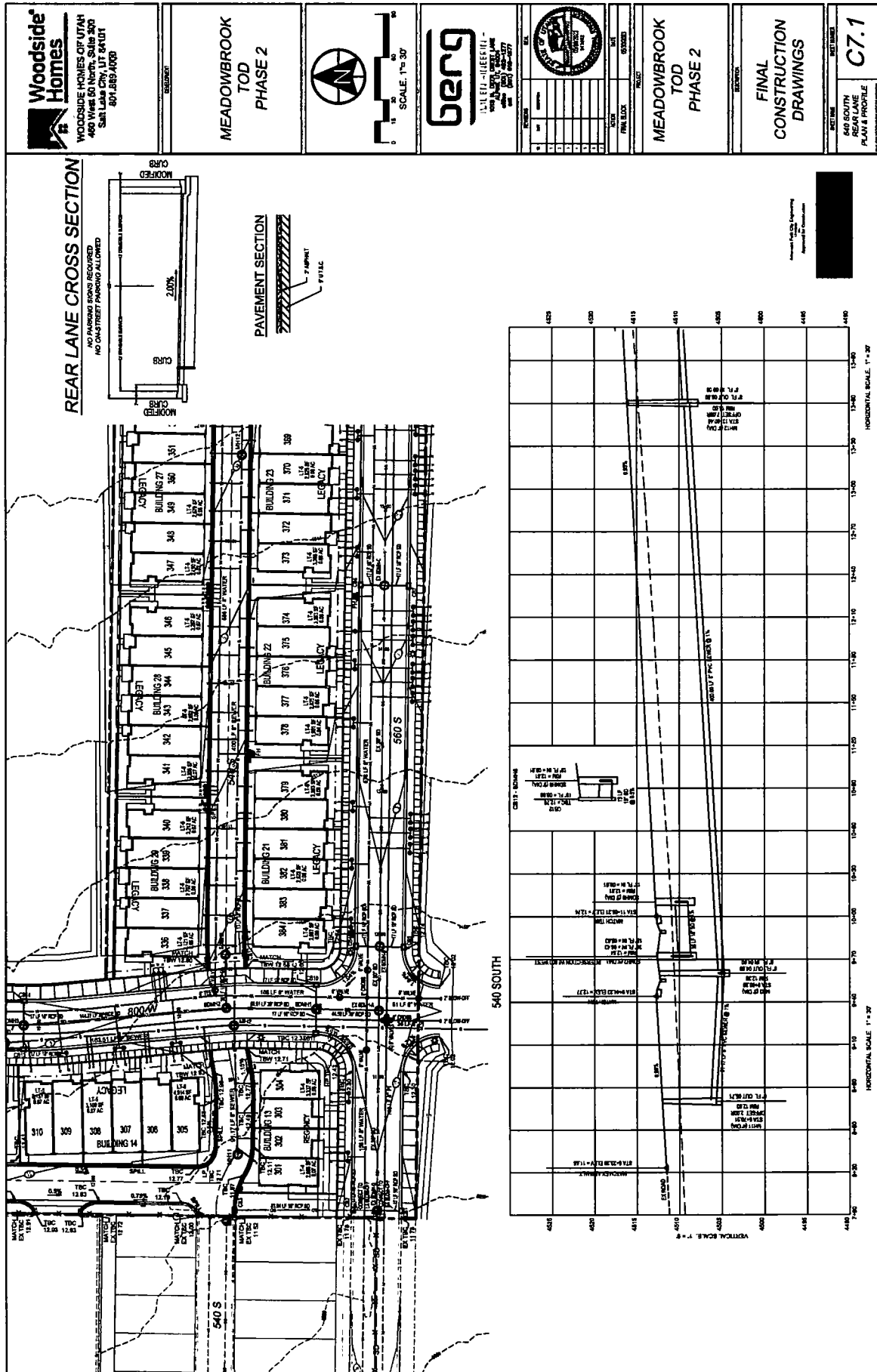
[illegible]

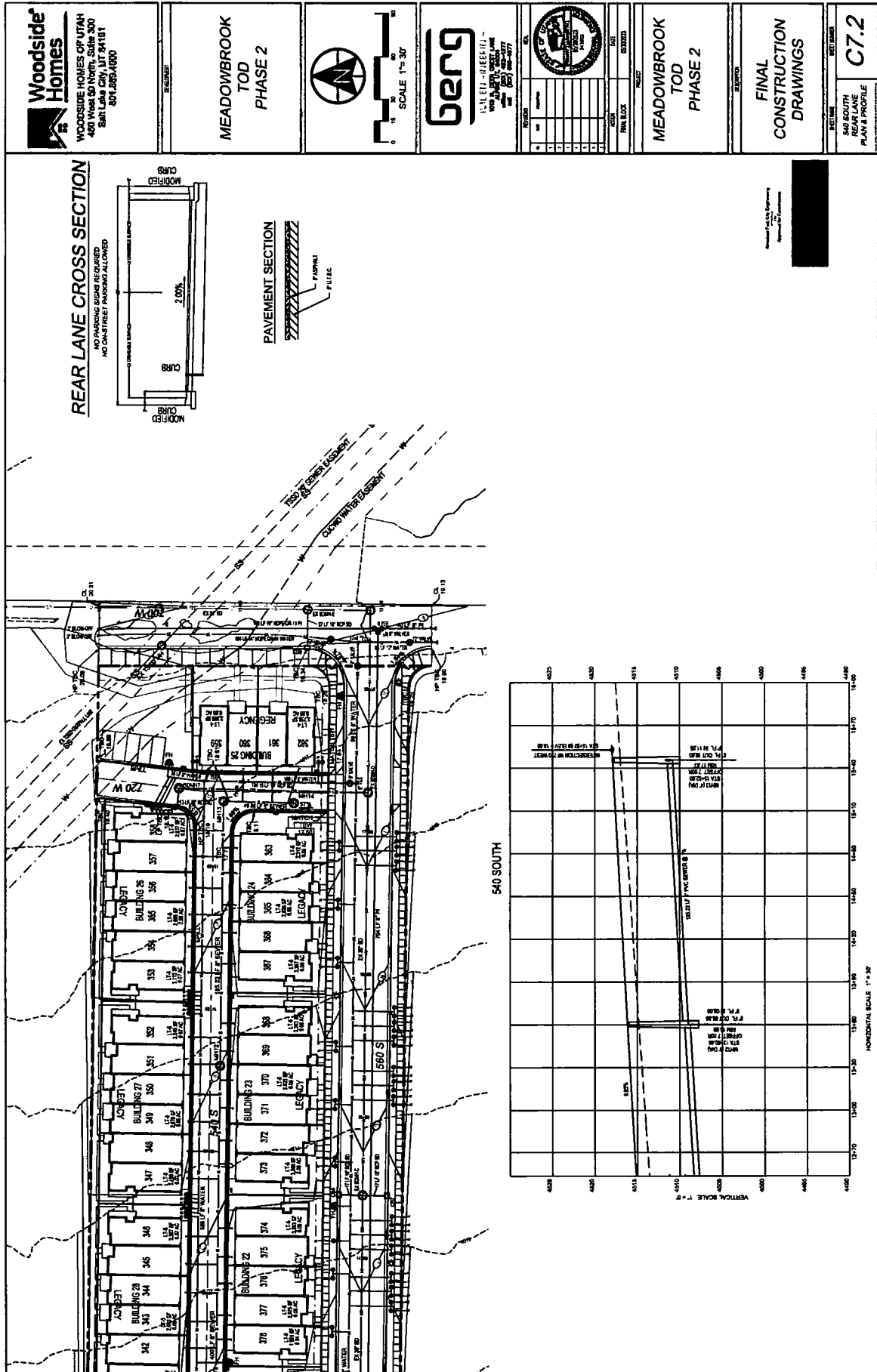


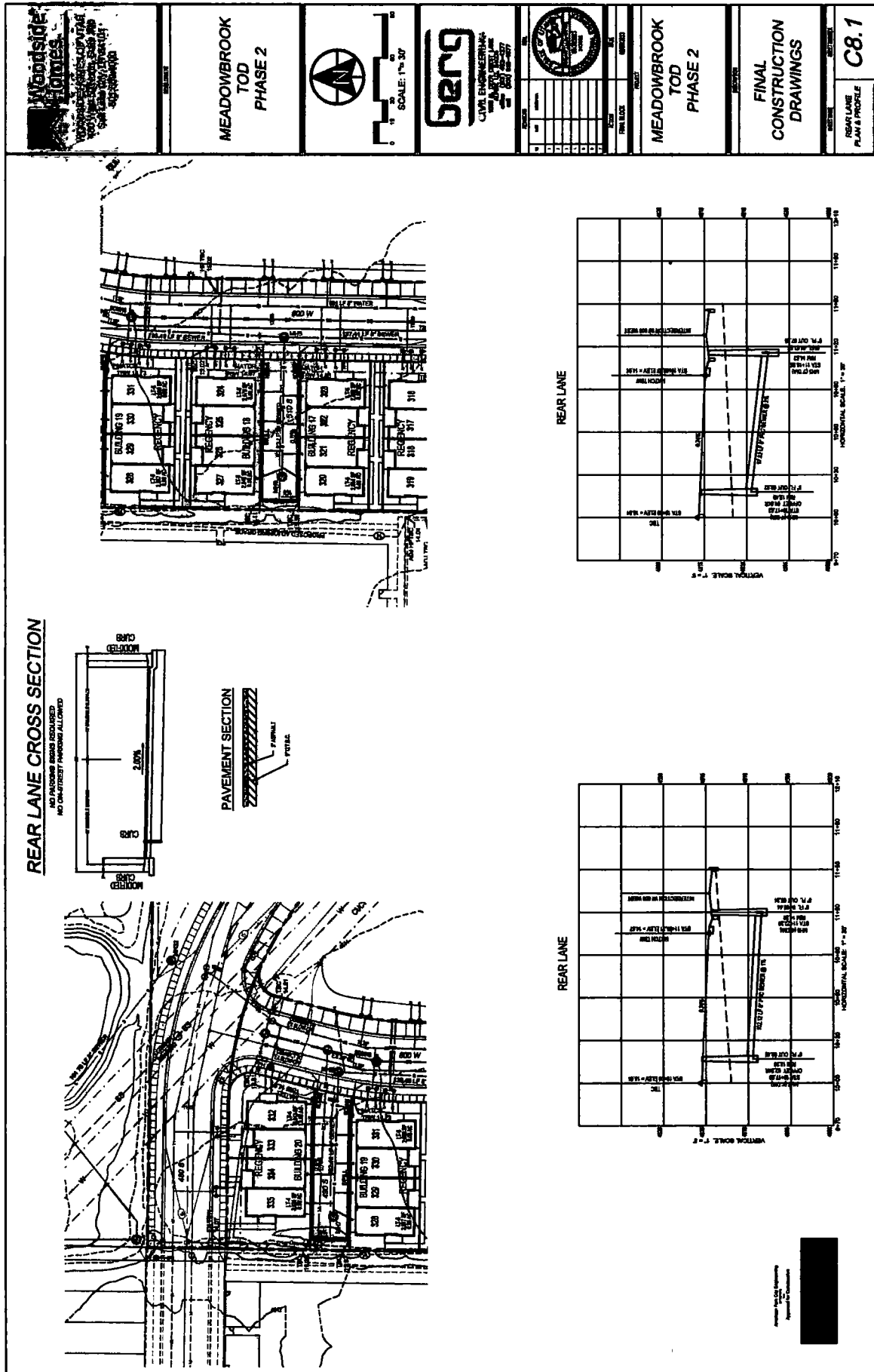
[illegible]

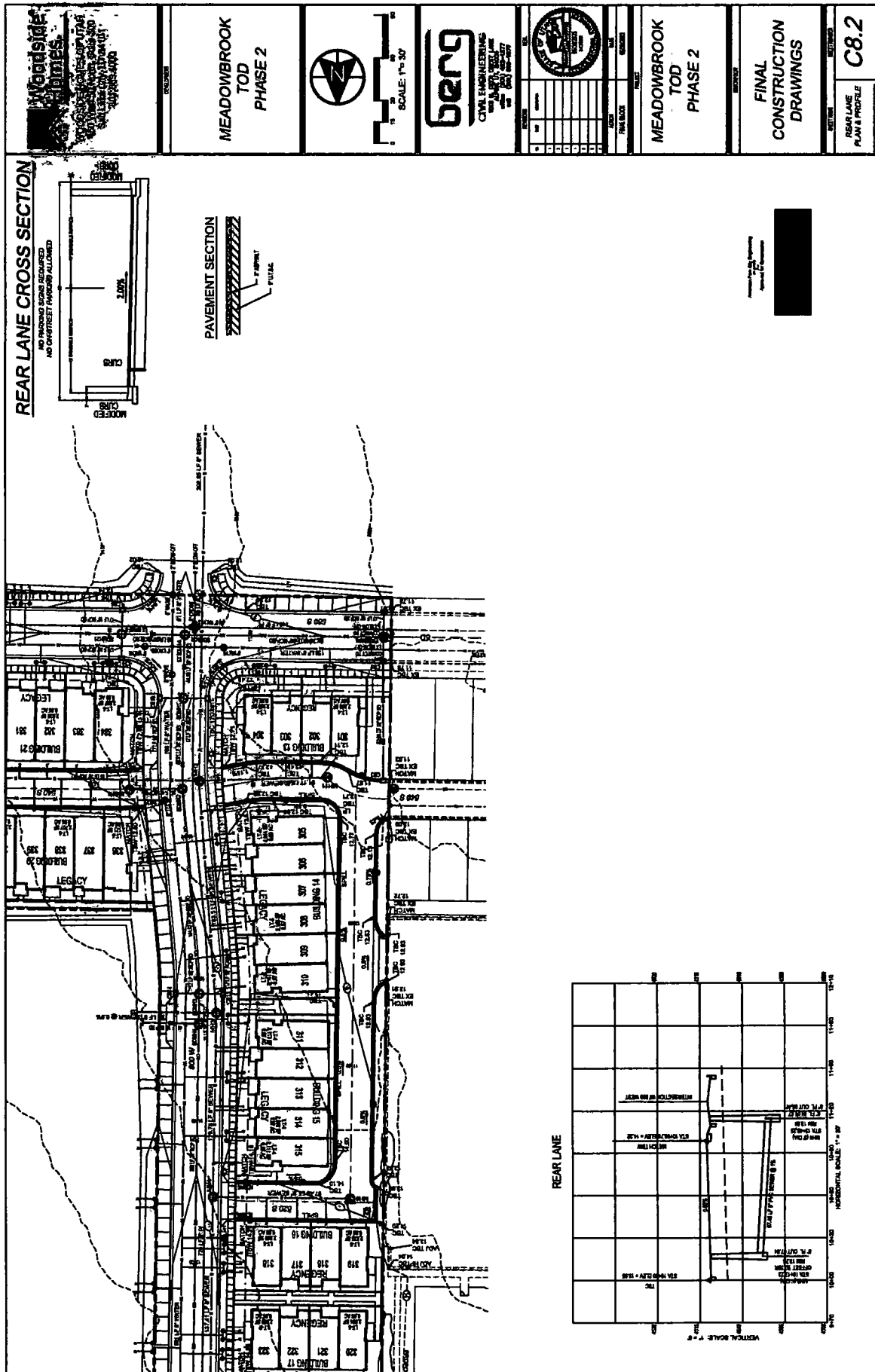


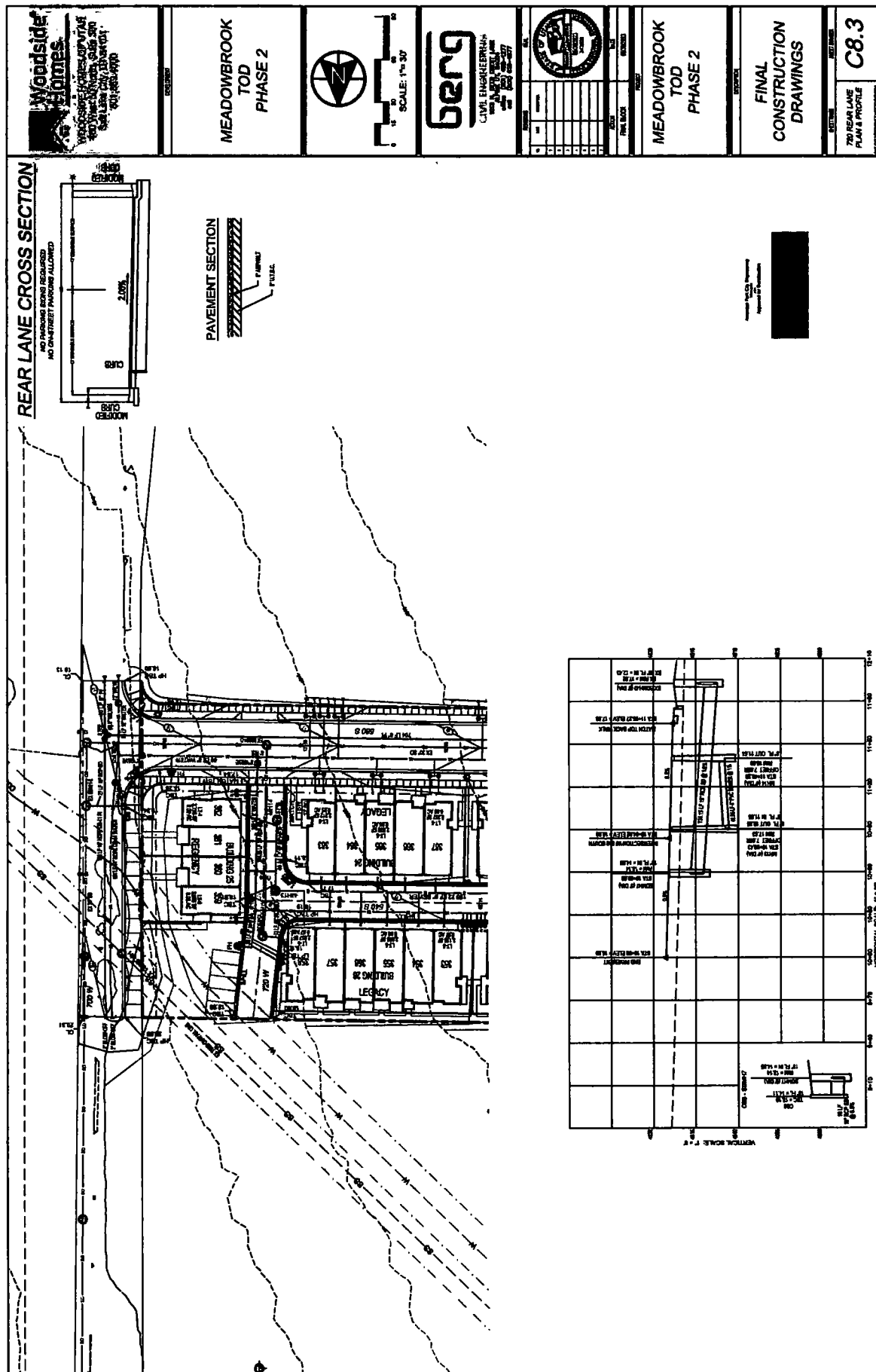


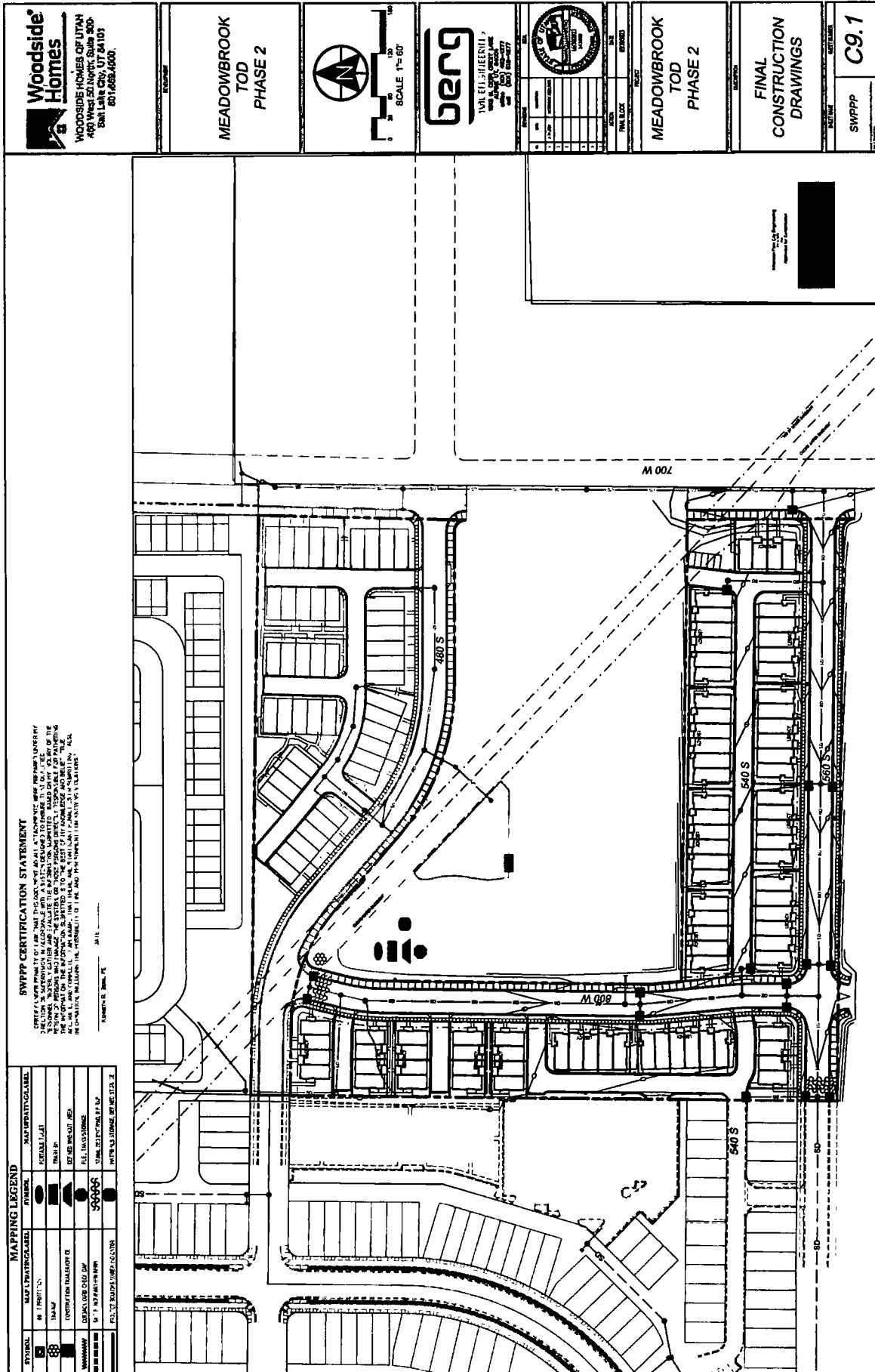






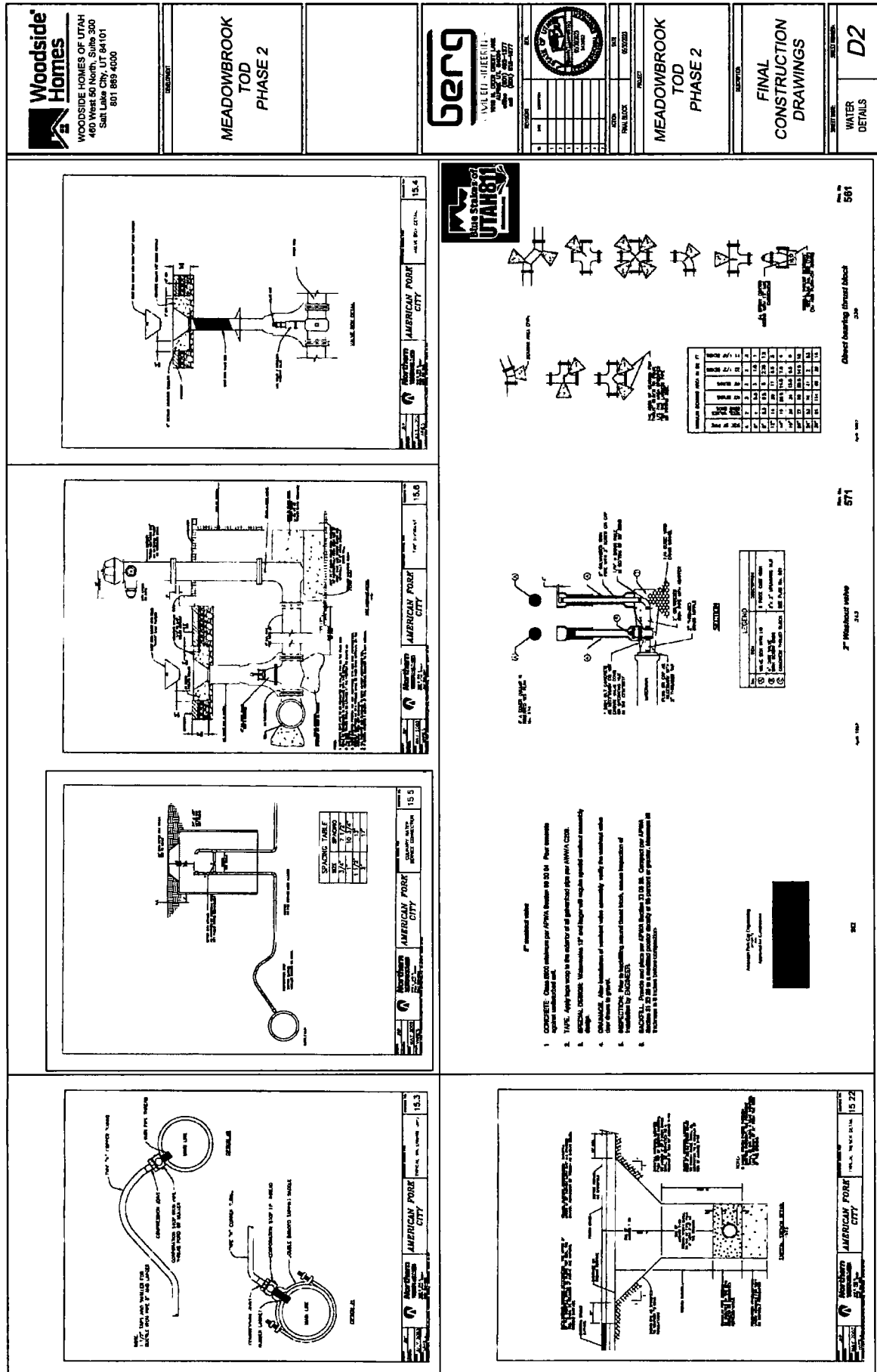






[illegible]

Woodside Homes WOODSIDE HOMES OF UTAH 460 West 50 North, Suite 300 Salt Lake City, UT 84101 801 889 4000	MEADOWBROOK TOD PHASE 2	berg ARCHITECTS 1000 N. 1000 E. UNIT 100 SALT LAKE CITY, UT 84143 801 466-1000	STATE OF UTAH PROFESSIONAL ENGINEER NO. 12345 EXPIRATION DATE 12/31/2024	MEADOWBROOK TOD PHASE 2	FINAL CONSTRUCTION DRAWINGS	SHEET NO. D1
MEADOWBROOK TOD PHASE 2 - PLAN VIEW MEADOWBROOK TOD PHASE 2 - SECTION VIEW						
MEADOWBROOK TOD PHASE 2 - PLAN VIEW MEADOWBROOK TOD PHASE 2 - SECTION VIEW						
MEADOWBROOK TOD PHASE 2 - PLAN VIEW MEADOWBROOK TOD PHASE 2 - SECTION VIEW						
MEADOWBROOK TOD PHASE 2 - PLAN VIEW MEADOWBROOK TOD PHASE 2 - SECTION VIEW						



- 1. CONCRETE** - Cast 4000 psi concrete per ASTM Specification 318. Place concrete in 4" lifts. Finish with a broom finish.
- 2. TYPIC** - Apply type 100 to the exterior of all precast concrete pipe per ASTM C1311.
- 3. SPECIAL CONCRETE** - Minimum 12" and 4000 psi concrete with rebar reinforcement.
- 4. DRAINAGE** - After installation of precast water assembly, verify the finished grade.
- 5. INSULATION** - Place 2" of 15 lb. EPS insulation under the precast water assembly.
- 6. BACKFILL** - Backfill and compact per ASTM Specification D1557. Compact per ASTM Specification D1557 to 95% in a minimum number of lifts. Backfill to 18" above the precast water assembly.

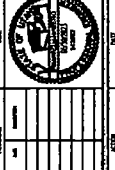
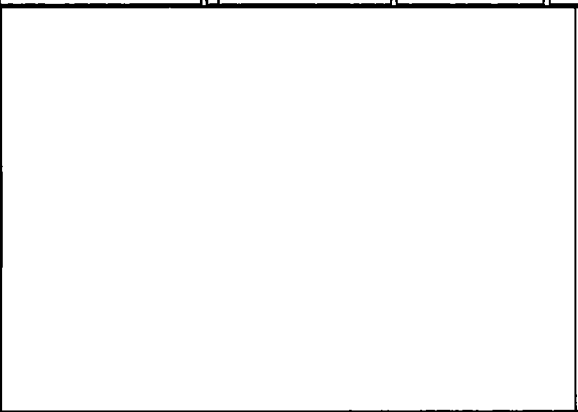
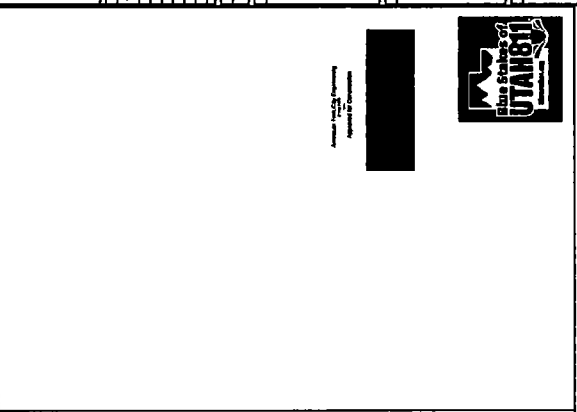
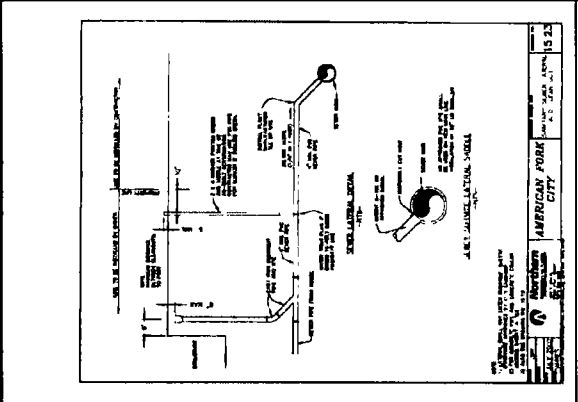
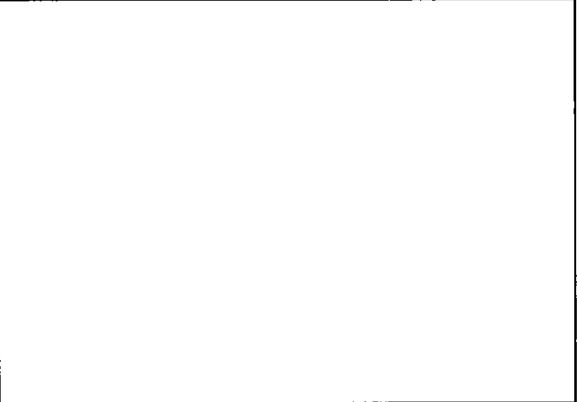
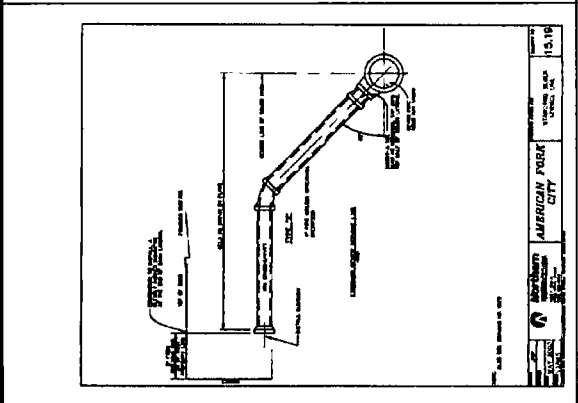
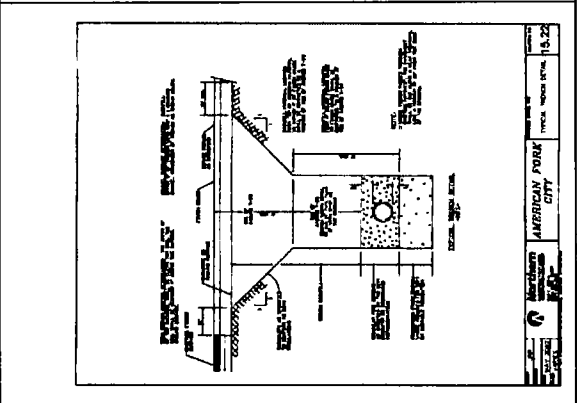
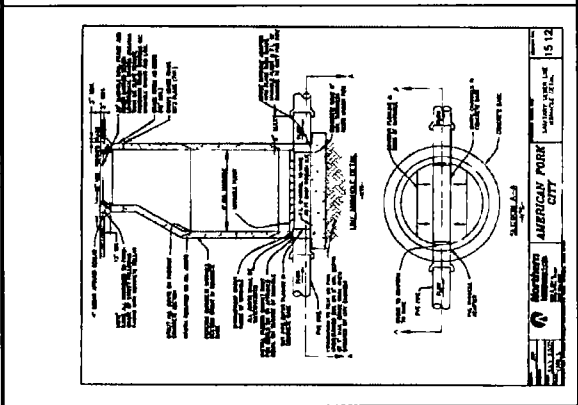
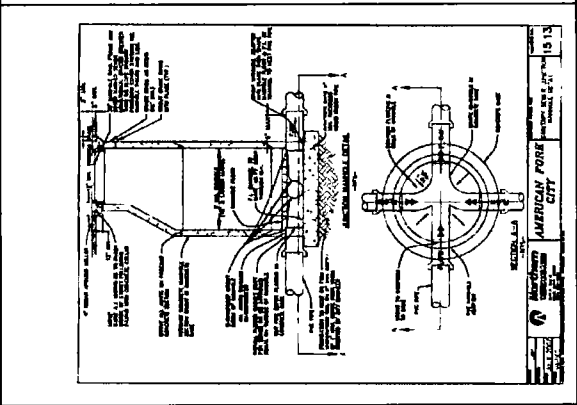
TABLE 15.10 - 15.12

ITEM	QTY	UNIT	PRICE
1. PRECAST CONCRETE PIPE	1	LINEAL FOOT	150.00
2. PRECAST CONCRETE MANHOLE	1	PIECE	100.00
3. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
4. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
5. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
6. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
7. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
8. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
9. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
10. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
11. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
12. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00

TABLE 15.10 - 15.12

ITEM	QTY	UNIT	PRICE
1. PRECAST CONCRETE PIPE	1	LINEAL FOOT	150.00
2. PRECAST CONCRETE MANHOLE	1	PIECE	100.00
3. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
4. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
5. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
6. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
7. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
8. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
9. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
10. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
11. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00
12. PRECAST CONCRETE RAINWATER DRAIN	1	PIECE	50.00

AMERICAN POKE CITY

 WOODSIDE HOMES OF UTAH 460 West 50 North, Suite 300 Salt Lake City, UT 84101 801 889 4000	MEADOWBROOK TOD PHASE 2		 berg INVESTMENT SERVICES 1000 S. 1000 E. SUITE 100 SALT LAKE CITY, UT 84143 (801) 466-8877		MEADOWBROOK TOD PHASE 2	FINAL CONSTRUCTION DRAWINGS	D3
							

[illegible]

SOPs: Facility Long Term Stormwater BMPs Information

SOPs are necessary to operate and maintain the property in order to control and prevent pollutants from contaminating water resources.

Include descriptions of the Long Term Stormwater SOPs

Pavement Maintenance Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Purpose and Selection:

- a) Reduce stormwater pollution by sweeping and removing pollutants that will be carried to City stormwater systems during stormwater runoff or by non-stormwater runoff.
- b) The sweeper is intended for removing material that collects on pavements by use and the natural degradation of pavements, i.e.. material that collects, drops from vehicles and the natural erosion and breaking up of pavements.

2. Regular Procedure:

- a) Remain aware of debris and sweep minor debris is needed by hand.
- b) Generally sweeping machinery should be used during autumn when leaves fall is heavy and early spring after winter thaw. Sometimes sweeping machinery will be necessary when accumulations are spread over a large area of the pavement.
- c) Manage outside activities that leave waste or drain pollutants on our pavements. This involves outside functions including but not limited to: Yard sales, yard storage, fund raisers, etc. Do not allow car wash fund raisers or other activities that allow detergents or other pollutants to be washed into the storm drain systems. Residents are allowed to wash their own cars.

4. Disposal Procedure:

- a) Service contractors dispose at licensed facilities
- b) Dispose of hand collected material in dumpster

5. Training:

- a) Annually and at hire

Landscape Maintenance Operations

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes to routine operations must be amended in this SOP.

Rule: Prevent any solids, liquids, or any lightweight material from being carried away from the construction or maintenance envelop by wind or water. It is not permitted to blow onto streets or paved areas where runoff could carry away clipping and fertilizers into storm drain systems.

1. Application:

- a) This SOP should provide sufficient direction for many of the general landscaping operations, e.g., fertilizer and pesticide applications, mowing, weeding, tree trimming, digging, sprinkler repairs, varying landscape cover management, etc.

2. Maintenance Procedure:

- a) Grooming
 - Lawn Mowing – Immediately following operation sweep or blow clippings onto vegetated ground. It is not permitted to blow onto streets or paved areas where runoff could carry away clipping and fertilizers into storm drain systems.
 - Fertilizer Operation – Prevent overspray. Sweep or blow fertilizer onto vegetated ground immediately following operation.
 - Pesticide Operations – Prevent overspray, use spot treatment, sweep, or blow dry pesticide onto vegetated ground immediately following pesticide operations.
- b) Remove or contain all erodible or loose material prior forecast wind and precipitation events before any non-stormwater will pass through and over the project site and at end of work period. Light weight debris and landscape materials can require immediate attention when wind is expected.
- c) Landscape project materials and waste can usually be contained or controlled by operational best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement
 - Avoiding multiple day staging of landscaping backfill and spoil on pavements, instead...

- Haul off spoil as generated or daily – dispose waste at the **North Pointe Solid Waste Special Service District**
- Scheduling work when weather forecasts are clear.

d) Cleanup:

- Use dry cleanup methods, e.g., square nose shovel and broom and it is usually sufficient when no more material can be swept onto the square nosed shovel.
- Power blowing tools

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP (see SOP below), unless superseded by specific SOPs for the operation.

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

5. Training:

- a) Annually and at hire
- b) Landscape Service Contractors must have equal or better SOPs.

Storm Drain Maintenance Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Procedure:

- a) Inspect for need:
 - 1. Clean storm drain boxes and pipes that contain 2" or more of sediment and debris according to the Inspection/Maintenance Schedule in Exhibit C
 - 2. Remove debris by vacuum with North Pointe Solid Waste Special Service District operated machinery.
 - 3. When accumulations are mostly floating debris this material can be removed with a net.
 - 4. Inspect standing water for mosquito larvae and contact the Utah County Health Department - Mosquito Abatement when necessary.

2. Disposal Procedure:

- a) Dispose of waste collected by machinery at regulated facilities.
- b) Floating materials and floating absorbent materials may be disposed in dumpster when dried out. Dry dirt and slurry may also be disposed in the dumpster.
- c) Disposal of hazardous waste
 - 1. Dispose of hazardous waste at regulated disposal facilities, see Waste Management and Spill Control SOP
- d) Disposal of waste collected from sanitary sewer devices at regulated facilities.

3. Training:

- a) Annually and at hire

Pavement Washing Operations

General:

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

1. Procedure:

- a) Prevent waste fluids and any detergents if used from entering storm drain system. The following methods are acceptable for this operation.
 - Dam the inlet using a boom material that seals itself to the pavement and pick up the wastewater with shop-vacuum or absorbent materials.
 - Collect wastewater with shop-vacuum simultaneous with the washing operation.
 - Collect wastewater with vacuum truck or trailer simultaneous with the washing operation.
- b) This procedure must not be used to clean the initial spills. First apply the Spill Containment and cleanup SOP.

2. Disposal Procedure:

- a) Small volumes can usually be drained to the local sanitary sewer. Contact the Timpanogos Special Service District.
- b) Large volumes must be disposed at regulated facilities.

2. Pavement Cleaning Frequency:

- a) There is no regular pavement washing regimen. Pavement washing is determined by conditions that warrant it, including but not limited to prevention of slick or other hazardous conditions or restore acceptable appearance of pavements. Owner/Maintainer management will educate residents, so they understand their responsibilities for spills that occur i.e.: how and when to report spills, and the resources available for their use to clean up spills such as a spill kit on site.

3. Training:

- a) Annually and at hire

Snow and Ice Removal Management

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes to routine operations must be amended in this SOP.

1. Application:

- a) Parking and sidewalk winter management operations.

2. De-Icing Procedure:

- a) Do not store or allow salt or equivalent compounds and chemicals to be stored on outside paved surfaces.
- b) Minimize salt use by varying salt amounts relative to hazard potential.
- c) Sweep excessive piles left by the spreader on parking lots and sidewalks. Dispose of excess per the Waste Management Operations SOP above.
- d) Watch forecast and adjust salt amounts when warmups are expected the same day.
- e) Determine the best sites for snow storage and notify the snow removal contractor where these sites are.
- f) Inspect snow storage sites immediately after snow melting has occurred for any debris and pollutants that need to be cleaned up per the Waste Management Operations SOP above.
- g) Do not push snow into public streets.

3. Training:

- a) Annually and at hire.
- b) Require snow and ice service contractors to follow the stronger between this SOP and their company SOPs.

General Construction Maintenance

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

Rule: Prevent any solids, *liquids or any lightweight material from being carried away from the construction or maintenance envelop by wind or water.

***liquids - including culinary water and irrigation water that are polluted with material that will damage the environment.**

1. Application:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., building maintenance, curb/sidewalk/flatwork, overlay/patching, landscape renovations, misc. maintenance/repairs, etc.

2. Construction Procedure:

- a) Remove or contain all erodible or loose material prior to forecast wind and precipitation events or before non-stormwater will pass through the project site. For light weight debris maintenance can require immediate attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- b) Project materials and waste can be contained or controlled by operational or structural best management practices.
 - Operational; including but not limited to:
 - Strategic staging of materials eliminating exposure, such as not staging on pavement
 - Avoiding multiple day staging of backfill and spoil
 - Haul off spoil as generated or daily
 - Schedule work during clear forecast
 - Structural; including but not limited to:
 - Inlet protection, e.g., wattles, filter fabric, drop inlet bags, boards, planks
 - Gutter dams, e.g., wattles, sandbags, dirt dams
 - Boundary containment, e.g., wattles, silt fence
 - Dust control, e.g., water hose,
 - Waste control, e.g., construction solid or liquid waste containment, dumpster, receptacles

- c) Inspection often to ensure the structural best management practices are in good operating condition and at least prior to the workday end. Promptly repair damaged best management practices achieving effective containment.
- d) Cleanup:
 - Use dry cleanup methods, e.g., square nose shove and broom.
 - Wet methods are allowed if wastewater is prevented from entering the stormwater system, e.g., wet/dry vacuum, disposal to our landscaped areas.
- e) Cleanup Standard:
 - When a broom and a square nosed shovel cannot pick any appreciable amount of material.

3. Waste Disposal:

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.
- b) Never discharge waste material to storm drains

4. Equipment:

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

5. Training:

- a) Annually and at hire.

Spill Control

General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes to routine operations must be amended in this SOP.

1. Rational:

- a) All properties are susceptible to spills whether it is a result of operations or by customers. Insufficient response, inadequate containment materials and improper spill cleanup methods will result in pollutants in our waterways. Once the pollutants reach our storm drain system, or even the detention pond, they are difficult and expensive to remove.

2. Containment Procedure:

- a) Priority is to dam and contain flowing spills.
- b) Use spill kits booms if available or use any material available; including but not limited to, nearby sand, dirt, landscaping materials, etc.
- c) Hazardous or unknown waste material spills
 1. Critical Emergency constitutes large quantities of flowing uncontained liquid that will affect areas with people or reach storm drain systems. Generally, burst or tipped tanks. Call HAZMAT, DWQ, Utah County Health Department, American Fork City.
 2. Minor Emergency constitutes a spill that has reached a storm drain but is no longer flowing. Call Utah County Health Department, American Fork City
 3. Spills that are contained on the surface and do not meet the criteria for Critical and minor emergencies may be managed by the responsible implementation of this SOP.
 4. Contact Numbers:
HAZMAT - 911
DWQ – 801-231-1769, 801-536-4123
Utah County Health Department – 801-851-3000
American Fork City – 801-763-3040

3. Cleanup Procedure:

- a) NEVER WASH SPILLS TO THE STORM DRAIN SYSTEMS.
- b) Clean per SDS requirements but generally most spills can be cleaned up according to the following:
 - Absorb liquid spills with spill kit absorbent material, sand or dirt until liquid is sufficiently converted to solid material.

- Remove immediately using dry cleanup methods, e.g., broom and shovel, or vacuum operations.
- Cleanup with water and detergents may also be necessary depending on the spilled material. However, the waste from this operation must be vacuumed or effectively picked up by dry methods. See Pavement Washing SOP.
- Repeat process when residue material remains.
- Notify employees where spill kits are located on site.

4. Disposal:

- a) Follow SDS requirements but usually most spills can be disposed per the following b. & c.
- b) Generally, most spills absorbed into solid forms can be disposed to the dumpster and receptacles. Follow the Waste Management SOP.
- c) Generally Liquid waste from surface cleansing processes may be disposed to the sanitary sewer system after the following conditions have been met:
 - Dry cleanup methods have been used to remove the bulk of the spill and disposed per the Waste Management SOP.
 - The liquid waste amounts are small and diluted with water. This is intended for spill cleanup waste only and never for the disposal of unused or spent liquids.

5. Documentation:

- a) Document all spills in Appendix C.

6. SDS sheets:

- a) SDS Manual is filed in break room.

7. Materials:

- a) Generally, sand or dirt will work for most clean-up operations and for containment. However, it is the responsibility of the owner to select the absorbent materials and cleanup methods that are required by the SDS Manuals for chemicals used by the company.

8. Training:

- a) Annually and at hire.

Exhibit C: Inspections/Maintenance

Inspection documentation will be located in Appendix A

The Owner listed below will be responsible for the inspections and maintenance.

Owner Company: Woodside homes
 Owner Address: 460 West 50 North, Suite 200
 Salt Lake City, UT 84101
 Owner Contact Person: Jim Clark
 Title: Project Manager
 Telephone Number: 801-989-4637
 Email: james.clark@woodsidehomes.com

1. Long Term Stormwater BMPs need to be inspected by a qualified person during installation to ensure the control is properly installed. This will be performed by a qualified person from the City or a design engineer.

List below the schedule for inspections of each of the BMPs listed in Exhibit B:

List of BMPs	Describe the inspection and maintenance schedule
Planting and Cleaning and Vegetation	Weekly during winter months, and once annually in the spring during cleanup (after termination of snow conditions)
Winter Snow and Ice Controls and Salt Storage	Weekly during winter months, and once annually in the spring during cleanup (after termination of snow conditions)
Mulches and Soils	Twice Annually
Leaves – Autumn Cleanup	Once annually, in the fall (prior to cold weather conditions)
Storm Inlets	Twice Annually
HVAC	Twice Annually
Roof/Gutter Cleaning	Twice Annually

Inspection Report

Site Name:		Date of Evaluation					
Site Address:							
FACILITY CONTACT INFORMATION							
	NAMES			PHONE		E- MAIL ADDRESS	
SITE CONTACT:							
INSPECTOR CONTACT:							
Controls Inspected:							
Business Type (Circle One): Commercial, HOA, Public Institution, Industrial							
Are SOP's for Stormwater Post Construction Inspections implemented and available for review?						YES NO	
Circle Answer							
Orifice Required for site YES		NO		Orifice Size:		Hooded outlet cover (snout) Required for site YES NO	
Circle Answers							
Items Inspected	Checked		Maintenance Required?		Is there excessive accumulation?		Observations and Remarks
	Yes	No	Yes	No	Yes	No	
1. Site Drawings							(Current site drawings, i.e., LTSMP updated with any changes)
2. Operator Awareness for LTSMP							(Is there an active LTSMP available and does the operator have access to this Plan?)
3. Documentation							(Is there documentation which demonstrates maintenance and compliance with LTSMP, etc.?)
4. Dumping Evidence							(Is there evidence of stains, piles, or smells near waterways or inlets, etc.?)
5. Spill Evidence							
6. General Site Exposure							(Are there existing stockpiles, uncovered unmaintained equipment, etc.?)
7. Other Pollution Sources							
8. Stormwater Storage condition and capacity (detention/retention ponds)							
9. Inlets and catch basins							
10. Conveyance System							
11. Manholes							
12. Parking/Pavement							
13. Waste Collection							
14. Landscaping							
15. Pre-Treatment devices							
16. Sumps							
17. Flow Control devices							
18. Flood Control Storage							
19. Surface LID Systems							
20. Site Specific SOP Items							
21. Other							
Notes:							
Print Name:					Date:		
Signature:					Title or Position		

BMP Measurement Log

These logs are for BMPs that depend on measurement for cleanout and for Stormwater capacity.

Control Name and Number	Date	Inspection Method	Result

Common Pollutants from Stormwater Discharges

Pollutants	Sources	Consequences of Pollutant
Sediment	Erosion of soils that are not stabilized.	Destruction of aquatic habitat for fish and plants, transportation of attached oils, nutrients and other chemical contamination, increased flooding. Sediment can transport other pollutants that are attached to it including nutrients, trace metals, and hydrocarbons. Sediment is the primary component of total suspended solids (TSS), a common water quality analytical parameter.
Nutrients (Phosphorus, Nitrogen Potassium, Ammonia)	Fertilizers; Plant Debris (grass clippings, leaves); Animal Waste; Sediment	Harmful algal blooms, reduced oxygen in the water, changes in water chemistry and pH. Nutrients can result in excessive or accelerated growth of vegetation, resulting in impaired use of water in lakes and other receiving waters.
Hydrocarbons (Petroleum Products, Benzene, Toluene, Ethyl benzene, Xylene)	Oils; Gasoline; Diesel Fuel; Antifreeze; Plant and Animal Oils;	These pollutants are toxic to humans and wildlife at very low levels. Carcinogenic. Teratogenic.
Heavy Metals	Manufacturing; Industrial Wastes; Vehicles and Equipment; Storage; Batteries; Paints	Metals including lead, zinc, cadmium, copper, chromium, and nickel are commonly found in storm water. Metals are of concern because they are toxic to all life at very low levels. Carcinogenic. Teratogenic
Toxic Chemicals (Chlorides) – including Pesticides & Herbicides, Detergents, Soaps	Industrial Chemicals; Pesticides; Herbicides; Detergents; Soaps;	Chemicals are of concern because they are toxic to all life at very low levels. Carcinogenic. Teratogenic.
Trash, Debris, Solids	Wastes	Aesthetically unpleasant. Risk of decay product toxicity. Risk of aquatic animal entrapment or ingestion and death.
Pathogens – Bacteria and Viruses	Animal Waste; Human Waste	Human health risks due to disease and toxic contamination of aquatic life.
Salt	Salt Piles; Car Washing; Snow Removal	Salt can infiltrate into groundwater and contaminate it. Vegetation is damage or killed by salt causing oxygen to be taken out of the water. Aquatic life can be killed or have stunted growth due to salt. Salt also traps food and nutrients preventing fish and animal life from accessing those nutrients
Temperature (Thermal Pollution)	Industrial Wastewater; Removal of Vegetation near streams; lack of vegetation surrounding roads and parking lots	High water temperatures can kill or harm cold water fish. This occurs by slowing of metabolism in fish which causes malnutrition; oxygen depletion in the water; forced migration of the aquatic life

Amendment Log

Date	Description of the Amendment	LTSMP Section	Amendment Prepared by

Training Log

Date	Description of the Training	Attendees Name

Exhibit D: Annual report

[illegible]

Appendix A: Recordkeeping Documents

Include documents/records in this section

Exhibit D

Facility Operation and Maintenance Inspection Report for Storm Drain Facilities

Inspector Name:		Subdivision Name:			
Inspection Date:		Address:			
Frequency of inspection		☐ Weekly		☐ Monthly	
		☐ Quarterly		☐ Annual	
Item Inspected	Checked		Maintenance		Observations and Remarks
	Yes	No	Req'd	Not Req'd	
Pond Facilities					
1	Landscaping maintenance				
2	Remove sedimentation				
3	Remove debris				
4	Repair side slopes				
5	Repair rip-rap protection				
6	Repair control structure				
7	Cleaning of outfall				
8	Removal of floatable debris				
9	Maintenance of inlets				
10	Maintenance of outlets				
Storm drain system					
1	Remove sediment from catch basins				
2	Cleaning storm drain pipes				
3	Maintenance of drainage swales				
4	Remove sediment from manholes				
5	Remove sediment from sumps				
6	Repair oil/ water separator				
7	Repair sand filters				
Parking lot and roads maintenance					
1	Sweeping of parking lot				
2	Sweeping of streets				
3	Cleaning of garbage enclosure				
4	Cleaning of non-hazardous spills				
5	Managing fertilizer use				
6	Managing pesticide use				
7	Removal of grass after lawn mowing				

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information provided is to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

BY: Date:
Site Inspector

Approved as to form:
Attorney for American Fork City