

**FIRST AMENDMENT TO STRAWBERRY RANCH  
DEVELOPMENT AGREEMENT  
(PHASE 1A & 1B)**

This First Amendment to Strawberry Ranch Development Agreement (“First Amendment”) is entered into this 1<sup>st</sup> day of NOVEMBER 2023, by and between BFR Investment Company LLC (“Developer”), LLC, a Utah limited liability company and Wasatch County, a political subdivision of the State of Utah (hereinafter called the “County”) (collectively, the “Parties”).

WHEREAS, the Parties entered into the Strawberry Ranch Development Agreement (the “DA”) on April 25, 2017, which is recorded as Entry #464011 on May 29, 2019, Book 1253 and Pages 578-910 in the recorder’s office of Wasatch County;

WHEREAS, the DA covers all four phases of the Strawberry Ranch Development, the Strawberry Phase, the Willow Creek Phase, the Lost Bear Phase, and the Beaver Canyon Phase; and

WHEREAS, this First Amendment is only applicable to a portion of the Strawberry Phase, which portion of the Strawberry Phase is called Phase 1A and 1B throughout this First Amendment; and

WHEREAS, BFR Investment Company, LLC is the owner of Phase 1A and 1B and, without altering any of the obligations already existing under the DA, agrees to the additional obligations, responsibilities and clarifications contained in this First Amendment as they apply to Phase 1A and 1B; and

WHEREAS, the legal description of Phase 1A and 1B, which is the portion of the DA to which this First Amendment applies, is attached as Exhibit Ad1-A; and

WHEREAS, the Wasatch County Council or the Wasatch County legislative body granted final approvals on the Strawberry Phase 1A and 1B on 16 Aug 2023, subject to conditions, which final approval included a vacation or plat amended to the Strawberry Ranch Phase 1A plat, which was recorded in the Wasatch County Recorder’s office as Entry 464011, Book 1253 and Pages 578-910 and has not been altered from that recording prior to the more recent final approvals.

WHEREAS, it is not the intent of this Amendment to alter the overarching obligations agreed to by all parties in the DA that apply to all phases of the development, but to clarify and designate additional detail and obligations that are associated solely and specifically with Phases 1A and 1B; and

WHEREAS; if there is any conflict with the language in the DA regarding Phases 1A and 1B, the more specific language in this First Amendment shall control;

NOW, THEREFORE, in consideration of the mutual promises, covenants, and provisions set forth herein, the receipt and adequacy of which are hereby acknowledged, the Parties agreement as follows:

### AGREEMENT

**A. Phase 1A and 1B Final Plans:** The parties adopt the Final Plans attached as Exhibit Ad1-B, and modify any portion of the DA that is not compatible with AD1-B, only to the extent that the DA contradicts Exhibit Ad1-B. Additional detail on the Final Plans were included in the approved applications, which is not all contained in AD1-B. Developer shall build Phases 1A and 1B in accordance with the Final Plans. The trails shown in Exhibit D to the DA and other exhibits are hereby modified to show the trail locations shown in Exhibit AD1-B, only to the extent that the DA contradicts the trails Exhibit Ad1-B.

**B. Clarification to Section 3.1(b)(1) and Exhibit K:** Section 3.1(b)(1) requires the Developer to comply with any and all conditions imposed by the Planning Commission or the County Legislative Body during the permitting and approval process, and Exhibit K contains the minutes from the master plan and preliminary approvals. The party's hereby add Exhibit Ad1-C as the minutes of the final approval of the Phases 1A and 1B plats, and modify any portion of the DA that is not compatible with AD1-C, only to the extent that the DA contradicts Exhibit Ad1-C.

**C. Clarification to Section 3.1 (b)(4).** Section 3.1(b)(4) of the DA references Exhibit B for the affordable housing obligations of the Project. Exhibit B to the DA and a related Exhibit C, which may not be referenced in the main body of the DA, which Exhibit B and Exhibit C are recorded as Entry # 464011 Bk 1253 Pgs 0611-0612, include affordable housing obligations that would apply to Phases 1A and 1B. Those Exhibits B and Exhibit C are hereby superseded and replaced by Exhibit Ad1-D to this First Amendment for Phases 1A and 1B. The fee in lieu for .65 AUE that was paid with the recording of Phase 1A will count towards the fee in lieu for Phases 1A and 1B, which fee in lieu must be paid prior to recording either the Phases 1A and 1B plats.

**D. Amendment to Section 3.1 (b)(8) and Exhibit G.** Section 3.1(b)(8) shall be modified by replacing the first paragraph as follows: "**Construction and Maintenance of Recreational Facilities:** Developer shall construct certain recreational facilities and resort amenities in conjunction with the Project in accordance with the schedule in Exhibit G and should be done concurrently with each phase." The second paragraph of Section 3.1(b)(8) shall remain, without amendment. Exhibit G shall be modified for Phase 1A and 1B as follows:

- a. Phase 1a: Rental Cabins, all associated trails public and private, trailhead kiosk, trailhead parking area, connection to the Narrows trail.
- b. Phase 1b: Welcome Center/Activity Center and Convenience Store, Rental Cabins, Pavilions, Reunion Lodge #1.

**E. Effectiveness.** Except as modified hereby, the DA shall remain in full force and effect. On or after the effective date of this First Amendment, each reference in the DA to "this

Agreement,” “hereunder,” “hereof,” “herein” or words of like import shall mean and be a reference to the DA as amended by this First Amendment.

~ Signature pages follow ~

**WASATCH COUNTY:**

**Attest:**

By: \_\_\_\_\_  
Dustin Grabau, Wasatch County Manager

\_\_\_\_\_  
Wasatch County Clerk Auditor's Office

STATE OF UTAH            )  
  ss:  
COUNTY OF WASATCH    )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2023, by Dustin Grabau, who executed the foregoing instrument in his capacity as the Wasatch County Manager and by \_\_\_\_\_, who executed the foregoing instrument in for the Wasatch County Clerk Auditor's office.

\_\_\_\_\_  
NOTARY PUBLIC

Residing at: \_\_\_\_\_

**BFR INVESTMENT COMPANY, LLC:**

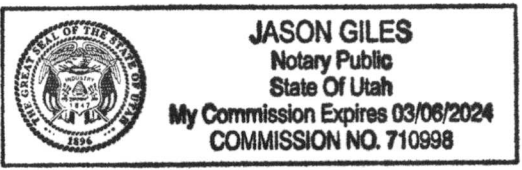
By: \_\_\_\_\_  
Burke Roney, Manager

STATE OF UTAH            )  
  ss:  
COUNTY OF WASATCH    )

The foregoing instrument was acknowledged before me this 01 day of November, 2023, by Burke Roney, who executed the foregoing instrument in his capacity as Manager of BFR Investment Company, LLC, a Utah limited liability company.

\_\_\_\_\_  
NOTARY PUBLIC

Residing at: 104 E. 600 S. Heber City, UT 84032

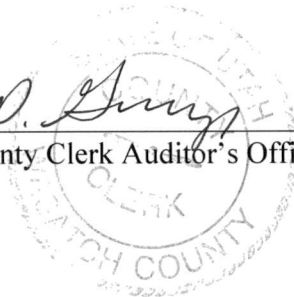


WASATCH COUNTY:

Attest:

By: [Signature]  
Dustin Grabau, Wasatch County Manager

[Signature]  
Wasatch County Clerk Auditor's Office



STATE OF UTAH            )  
  ss:  
COUNTY OF WASATCH    )

The foregoing instrument was acknowledged before me this 14 day of November, 2023, by Dustin Grabau, who executed the foregoing instrument in his capacity as the Wasatch County Manager and by Dustin Grabau, who executed the foregoing instrument in for the Wasatch County Clerk Auditor's office.



[Signature]  
NOTARY PUBLIC

Residing at: \_\_\_\_\_

BFR INVESTMENT COMPANY, LLC:

By: \_\_\_\_\_  
Burke Roney, Manager

STATE OF UTAH            )  
  ss:  
COUNTY OF WASATCH    )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2023, by Burke Roney, who executed the foregoing instrument in his capacity as Manager of BFR Investment Company, LLC, a Utah limited liability company.

\_\_\_\_\_  
NOTARY PUBLIC  
Residing at: \_\_\_\_\_

STRAWBERRY RANCH PHASE 1A AMENDED  
BOUNDARY LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17. TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN, SAID PARCEL BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE UINTAH NATIONAL FOREST BOUNDARY WHICH IS NORTH 317.33 FEET AND WEST 332.06 FEET FROM A FOUND UNITED STATES BUREAU OF RECLAMATION MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN (BASIS OF BEARINGS FOR THIS DESCRIPTION IS N88°57'56"E BETWEEN A FOUND U.S. B.O.R. MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER AND A FOUND U.S. FORESTRY SERVICE MONUMENT REPRESENTING THE NORTHEAST CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN),

AND RUNNING THENCE WEST 169.96 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 460.00 FEET, AND FROM WHICH POINT A RADIAL LINE BEARS S73°34'03"E; THENCE 28.12 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 03°30'08", WITH A CHORD BEARING AND DISTANCE OF S14°40'53"W 28.11 FEET; THENCE N77°04'11"W 206.62 FEET; THENCE N63°23'57"W 120.54 FEET; THENCE S76°11'17"W 406.62 FEET; THENCE N56°50'44"W 130.16 FEET TO THE FOREST SERVICE BOUNDARY; THENCE ALONG THE FOREST SERVICE BOUNDARY THE FOLLOWING SEVEN (7) COURSES: (1) N00°12'34"W 260.01 FEET; (2) N89°03'54"E 329.84 FEET; (3) N00°13'38"W 324.03 FEET; (4) N89°07'01"E 329.65 FEET; (5) N00°16'20"W 323.71 FEET; (6) N89°10'24"E 329.58 FEET; (7) S00°17'24"E 970.10 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 14.167 ACRES, OR 617,130 SQUARE FEET.

10-9590  
21-4252  
21-4253  
21-4254  
21-4242  
21-4243  
21-4244  
21-4245  
21-4246  
21-4247  
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21-4250  
21-4251

STRAWBERRY RANCH PHASE 1B  
BOUNDARY LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17, THE NORTHEAST QUARTER OF SECTION 19, AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN. SAID PARCEL BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE UINTAH NATIONAL FOREST BOUNDARY WHICH IS NORTH 290.13 FEET AND WEST 509.15 FEET FROM THE FOUND BUREAU OF RECLAMATION MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN (BASIS OF BEARINGS FOR THIS DESCRIPTION IS N88°57'56"E BETWEEN THE FOUND B.O.R. MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER AND THE FOUND U.S. FORESTRY SERVICE MONUMENT REPRESENTING THE NORTHEAST CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN),

SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 460.00 FEET AND FROM WHICH POINT A RADIAL LINE BEARS S77°04'11"E; THENCE 132.33 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 16°28'55", WITH A CHORD BEARING AND DISTANCE OF S04°41'21"W 131.87 FEET; THENCE S03°33'06"E 80.81 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 660.00 FEET; THENCE 292.79 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°25'05", WITH A CHORD BEARING AND DISTANCE OF S09°09'26"W 290.40 FEET; THENCE S21°53'35"W 167.75 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 340.00 FEET; THENCE 403.45 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 67°59'18", WITH A CHORD BEARING AND DISTANCE OF S55°53'13"W 380.19 FEET; THENCE S89°52'52"W 50.40 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 320.00 FEET; THENCE 276.65 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 49°32'03", WITH A CHORD BEARING AND DISTANCE OF S65°06'51"W 268.12 FEET; THENCE S40°20'49"W 112.27 FEET; THENCE N49°39'11"W 80.00 FEET; THENCE S41°02'08"W 163.37 FEET TO THE KESSLER PROPERTY BOUNDARY RECORDED AS ENTRY # 423253; THENCE ALONG SAID BOUNDARY N47°47'41"W 312.09 FEET; THENCE N24°05'40"W 107.70 FEET; THENCE N56°34'23"W 115.84 FEET; THENCE N32°57'41"E 532.87 FEET TO THE FOREST SERVICE BOUNDARY; THENCE ALONG SAID BOUNDARY THE FOLLOWING TWO (2) COURSES; (1) N88°56'53"E 234.21 FEET; (2) N00°12'34"W 388.72 FEET TO THE STRAWBERRY MOUNTAIN RESORT PHASE 1A AMENDED BOUNDARY THE FOLLOWING FOUR (4) COURSES; (1) S56°50'44"E 130.16 FEET; (2) N76°11'17"E 406.62 FEET; (3) S63°23'57"E 120.54 FEET; (4) S77°04'11"E 206.62 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 22.648 ACRES, OR 986,543 SQUARE FEET.

10-9590

21-7371

21-7372

**EXHIBIT Ad1-A – Legal Descriptions for Phase 1a and Phase 1b**



**NOTES**

**PUBLIC UTILITY EASEMENTS**

ALL EXISTING AND PROPOSED UTILITY EASEMENTS ARE SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY EASEMENTS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY EASEMENTS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN.

**ZONING INFORMATION**

ZONING FOR THIS SUBDIVISION IS CONTROLLED BY THE STRAWBERRY RANCH PHASE 1A ZONING ORDINANCE. THE ZONING FOR THIS SUBDIVISION IS CONTROLLED BY THE STRAWBERRY RANCH PHASE 1A ZONING ORDINANCE.

**OPEN SPACE EASEMENTS**

ALL OPEN SPACE EASEMENTS ARE SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL OPEN SPACE EASEMENTS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL OPEN SPACE EASEMENTS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN.

**COMMON AREA**

ALL COMMON AREAS ARE SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL COMMON AREAS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL COMMON AREAS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN.

**RESERVATION OF COMMON AREA**

ALL COMMON AREAS ARE RESERVED FOR THE USE OF THE COMMON AREA. THE COMMON AREA IS RESERVED FOR THE USE OF THE COMMON AREA. THE COMMON AREA IS RESERVED FOR THE USE OF THE COMMON AREA.

**OPEN SPACE EASEMENTS**

ALL OPEN SPACE EASEMENTS ARE SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL OPEN SPACE EASEMENTS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN. THE LOCATION OF ALL OPEN SPACE EASEMENTS IS SHOWN ON SHEETS 1 & 2 OF THIS PLAN.



**PLAT NOTES**

1. THE TOTAL AREA OF THIS PLAT IS 10.00 ACRES.
2. THE TOTAL AREA OF THIS PLAT IS 10.00 ACRES.
3. THE TOTAL AREA OF THIS PLAT IS 10.00 ACRES.
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10. THE TOTAL AREA OF THIS PLAT IS 10.00 ACRES.

**STRAWBERRY RANCH PHASE 1A AMENDED**  
AN AMENDMENT TO STRAWBERRY RANCH PHASE 1A (ENTRY #484010)  
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 4 SOUTH, RANGE 10 WEST, JARVIS SPECIAL WARRANTY

PROJECT: C21-033  
SHEET: 1 OF 3  
ISSUE DATE: 09/17/2023

STRAWBERRY RANCH PHASE 1A AMENDED

**BOUNDARY DESCRIPTION**

A CERTAIN OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 4 SOUTH, RANGE 10 WEST, JARVIS SPECIAL WARRANTY... BOUNDARY DESCRIPTION... THE BOUNDARY DESCRIPTION IS AS FOLLOWS...

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THE SURVEY WAS ESTABLISHED AS 3 POINTS OF TRIANGULATION... BASIS OF BEARINGS... THE BASIS OF BEARINGS IS AS FOLLOWS...

**SURVEYORS CERTIFICATE**

I, THE SURVEYOR, HAVE PERSONALLY EXAMINED THE PLAT AND THE FIELD NOTES... SURVEYORS CERTIFICATE... I, THE SURVEYOR, HAVE PERSONALLY EXAMINED THE PLAT AND THE FIELD NOTES...

DATE	APPROVED BY	OFFICE
APPROVED AS TO FORM	APPROVED AS TO FORM	APPROVED AS TO FORM
APPROVED AS TO SUBSTANCE	APPROVED AS TO SUBSTANCE	APPROVED AS TO SUBSTANCE
APPROVED AS TO BEARINGS	APPROVED AS TO BEARINGS	APPROVED AS TO BEARINGS
APPROVED AS TO AREA	APPROVED AS TO AREA	APPROVED AS TO AREA
APPROVED AS TO CORNER	APPROVED AS TO CORNER	APPROVED AS TO CORNER
APPROVED AS TO EASEMENTS	APPROVED AS TO EASEMENTS	APPROVED AS TO EASEMENTS
APPROVED AS TO RESERVATIONS	APPROVED AS TO RESERVATIONS	APPROVED AS TO RESERVATIONS
APPROVED AS TO OTHER MATTERS	APPROVED AS TO OTHER MATTERS	APPROVED AS TO OTHER MATTERS





**EXHIBIT Ad1-B –Phase 1a and Phase 1b Final Plans**

**NOTES**

**PUBLIC UTILITY EASEMENTS:**  
 All existing utility easements are shown on the site plan and shall be preserved in accordance with the applicable utility company's rules and regulations. The applicant shall coordinate with the utility companies to ensure that all easements are properly located and marked.

**PROPERTY CORNER NOTES:**  
 The project is located on the corner of Section 11, Township 4N, Range 10W, and the corner of Section 20, Township 4N, Range 10W.

**ZONING INFORMATION:**  
 The project is located in the City of Denver, Colorado, and is subject to the City of Denver's zoning regulations. The project is currently zoned R-1 (Single-Family Residential).

**STORM DRAINAGE EASEMENTS:**  
 The project shall provide for storm drainage easements in accordance with the City of Denver's storm drainage regulations. The applicant shall coordinate with the City of Denver to ensure that all easements are properly located and marked.

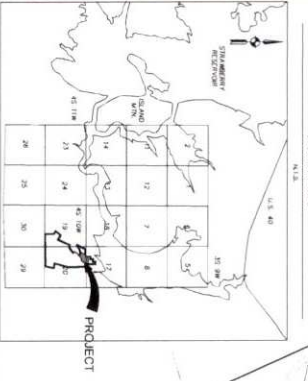
**LIMITED COMMON AREA:**  
 The project shall provide for limited common areas in accordance with the City of Denver's regulations. The applicant shall coordinate with the City of Denver to ensure that all easements are properly located and marked.

**RESERVATION OF COMMON AREA:**  
 The project shall provide for the reservation of common areas in accordance with the City of Denver's regulations. The applicant shall coordinate with the City of Denver to ensure that all easements are properly located and marked.

**OPEN SPACE EASEMENTS:**  
 The project shall provide for open space easements in accordance with the City of Denver's regulations. The applicant shall coordinate with the City of Denver to ensure that all easements are properly located and marked.

**PLAT NOTES**

1. THE PROJECT IS LOCATED ON THE CORNER OF SECTION 11, TOWNSHIP 4N, RANGE 10W, AND THE CORNER OF SECTION 20, TOWNSHIP 4N, RANGE 10W.
2. THE PROJECT IS CURRENTLY ZONED R-1 (SINGLE-FAMILY RESIDENTIAL) BY THE CITY OF DENVER.
3. THE PROJECT SHALL PROVIDE FOR STORM DRAINAGE EASEMENTS IN ACCORDANCE WITH THE CITY OF DENVER'S STORM DRAINAGE REGULATIONS.
4. THE PROJECT SHALL PROVIDE FOR LIMITED COMMON AREAS IN ACCORDANCE WITH THE CITY OF DENVER'S REGULATIONS.
5. THE PROJECT SHALL PROVIDE FOR THE RESERVATION OF COMMON AREAS IN ACCORDANCE WITH THE CITY OF DENVER'S REGULATIONS.
6. THE PROJECT SHALL PROVIDE FOR OPEN SPACE EASEMENTS IN ACCORDANCE WITH THE CITY OF DENVER'S REGULATIONS.
7. THE PROJECT SHALL PROVIDE FOR UTILITY EASEMENTS IN ACCORDANCE WITH THE APPLICABLE UTILITY COMPANIES' RULES AND REGULATIONS.
8. THE PROJECT SHALL PROVIDE FOR ALL EASEMENTS TO BE PROPERLY LOCATED AND MARKED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.
9. THE PROJECT SHALL PROVIDE FOR ALL EASEMENTS TO BE PROPERLY MAINTAINED AND PRESERVED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.
10. THE PROJECT SHALL PROVIDE FOR ALL EASEMENTS TO BE PROPERLY RECORDED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.



**PROJECT**  
 C214033  
 SHEET  
 1 OF 2  
 DATE  
 09/15/2023

**OWNER**  
 Strawberry Ranch LLC

**DESIGNER**  
 Strategic Engineering Group Inc.

**SCALE**  
 1" = 100'

**PROJECT**



**STRAWBERRY RANCH PHASE 1B**

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 4N, RANGE 10W, AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4N, RANGE 10W, SHERMAN COUNTY, COLORADO.

**PUBLIC TRAIL EASEMENT LEGAL DESCRIPTION**

A TRAIL EASEMENT IS GRANTED TO THE PUBLIC FOR THE USE AND ENJOYMENT OF A PUBLIC TRAIL... THE TRAIL SHALL BE 10 FEET WIDE AND SHALL BE LOCATED IN ACCORDANCE WITH THE CITY OF DENVER'S TRAIL REGULATIONS...

**BOUNDARY DESCRIPTION**

A PART OF THE CORNER OF SECTION 11, TOWNSHIP 4N, RANGE 10W, AND THE CORNER OF SECTION 20, TOWNSHIP 4N, RANGE 10W... THE BOUNDARY BETWEEN THE PROJECT AND THE ADJACENT PROPERTY IS DESCRIBED AS FOLLOWS...

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THE SEVERAL CORNERS OF SECTION 11, TOWNSHIP 4N, RANGE 10W, AND THE CORNER OF SECTION 20, TOWNSHIP 4N, RANGE 10W... THE BEARINGS ARE AS FOLLOWS...

**SURVEYORS CERTIFICATE**

I, THE SURVEYOR, HAVE PERSONALLY EXAMINED THE RECORDS OF THE PUBLIC RECORDS... I HAVE FOUND THAT THE RECORDS ARE CORRECT AND COMPLETE...

**OWNERS DEDICATION AND CONSENT TO RECORD**

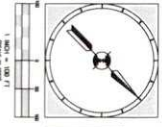
WE, THE OWNERS OF THE SEVERAL CORNERS OF SECTION 11, TOWNSHIP 4N, RANGE 10W, AND THE CORNER OF SECTION 20, TOWNSHIP 4N, RANGE 10W... WE HEREBY DEDICATE AND CONSENT TO RECORD THE PUBLIC TRAIL EASEMENT...

**ACKNOWLEDGEMENT**

I, THE COUNTY CLERK, DO HEREBY ACKNOWLEDGE THAT THE FOREGOING INSTRUMENT WAS FILED WITH ME... I HAVE FOUND THAT THE INSTRUMENT IS CORRECT AND COMPLETE...

STATE OF COLORADO	COUNTY OF SHERMAN
PLANNING COMMISSION	PUBLIC WORKS
SPECIAL SERVICE DISTRICT	PLANNING OFFICE
FIRE MARSHAL	WATER BOARD
HEALTH DEPARTMENT	FINANCING
GENERAL	GENERAL





**LEGEND**

ADJACENT PROPERTY  
 EXISTING LOT LINES  
 EXISTING EASEMENTS  
 EXISTING RIGHTS-OF-WAY  
 EXISTING DRAINAGE  
 EXISTING UTILITIES  
 EXISTING SURFACE  
 EXISTING VEGETATION  
 EXISTING FLOODPLAIN

**CONSTRAINT LEGEND**

SIGNAL	COMMENT	REMARKS
---	NO. 100' LIMIT	100'
---	NO. 50' DISTANCE	50'
---	NO. 25' DISTANCE	25'
---	NO. 10' DISTANCE	10'
---	NO. 5' DISTANCE	5'
---	NO. 2' DISTANCE	2'
---	NO. 1' DISTANCE	1'
---	NO. 0.5' DISTANCE	0.5'
---	NO. 0.25' DISTANCE	0.25'
---	NO. 0.1' DISTANCE	0.1'
---	NO. 0.05' DISTANCE	0.05'
---	NO. 0.025' DISTANCE	0.025'
---	NO. 0.01' DISTANCE	0.01'
---	NO. 0.005' DISTANCE	0.005'
---	NO. 0.0025' DISTANCE	0.0025'
---	NO. 0.001' DISTANCE	0.001'
---	NO. 0.0005' DISTANCE	0.0005'
---	NO. 0.00025' DISTANCE	0.00025'
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---	NO. 0.00005' DISTANCE	0.00005'
---	NO. 0.000025' DISTANCE	0.000025'
---	NO. 0.00001' DISTANCE	0.00001'
---	NO. 0.000005' DISTANCE	0.000005'
---	NO. 0.0000025' DISTANCE	0.0000025'
---	NO. 0.000001' DISTANCE	0.000001'
---	NO. 0.0000005' DISTANCE	0.0000005'
---	NO. 0.00000025' DISTANCE	0.00000025'
---	NO. 0.0000001' DISTANCE	0.0000001'
---	NO. 0.00000005' DISTANCE	0.00000005'
---	NO. 0.000000025' DISTANCE	0.000000025'
---	NO. 0.00000001' DISTANCE	0.00000001'
---	NO. 0.000000005' DISTANCE	0.000000005'
---	NO. 0.0000000025' DISTANCE	0.0000000025'
---	NO. 0.000000001' DISTANCE	0.000000001'
---	NO. 0.0000000005' DISTANCE	0.0000000005'
---	NO. 0.00000000025' DISTANCE	0.00000000025'
---	NO. 0.0000000001' DISTANCE	0.0000000001'
---	NO. 0.00000000005' DISTANCE	0.00000000005'
---	NO. 0.000000000025' DISTANCE	0.000000000025'
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---	NO. 0.0000000000000025' DISTANCE	0.0000000000000025'
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**NOTES**

1. THE PROJECT WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED REGULATORY REQUIREMENTS IN ANY APPLICABLE JURISDICTION.
2. THE PROJECT WILL BE DESIGNED TO MEET ALL APPLICABLE REGULATORY REQUIREMENTS.
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**REVISIONS**

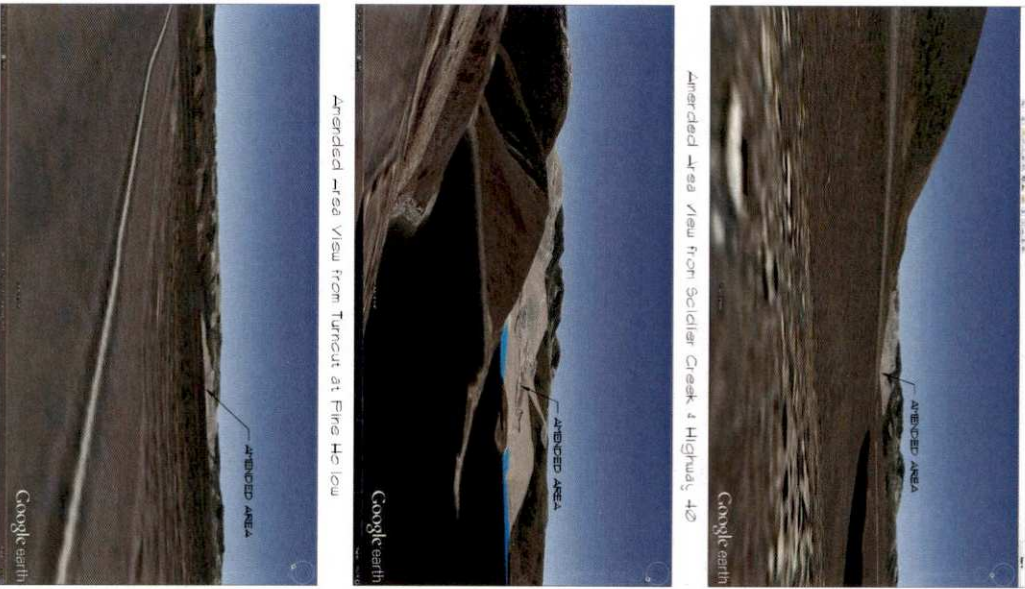
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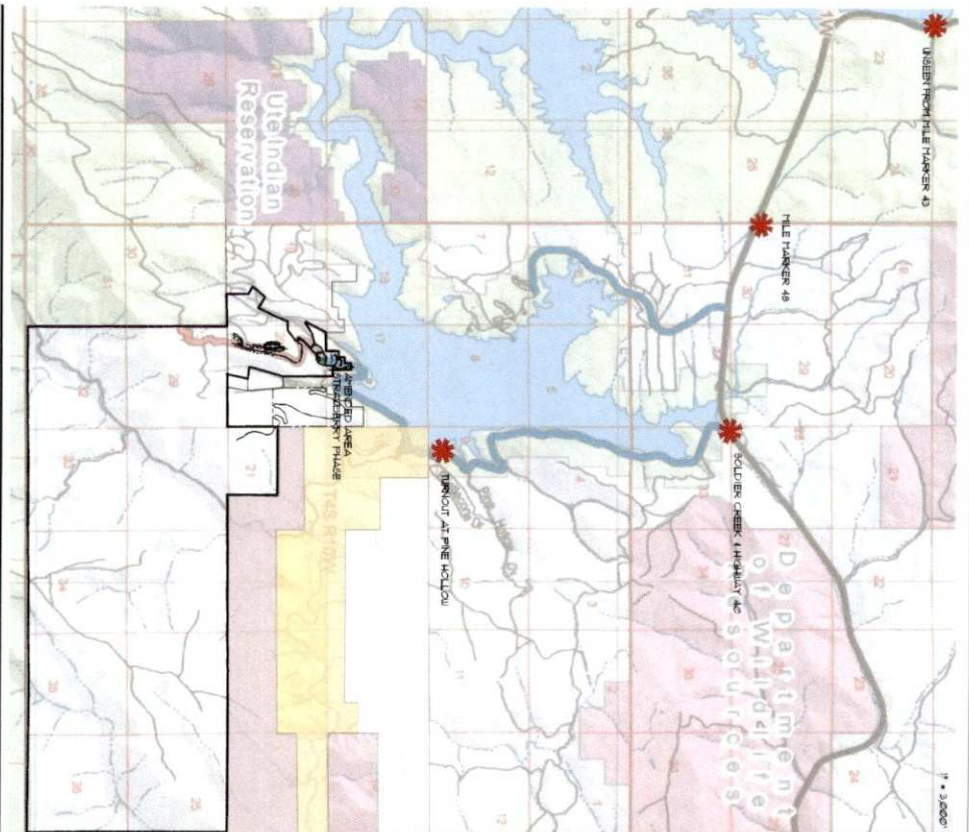
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 HERRICK CITY, ILLINOIS 60139  
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WC-05A



**VIEW SHED ANALYSIS for PHASE 1A(Amended) & 1B**

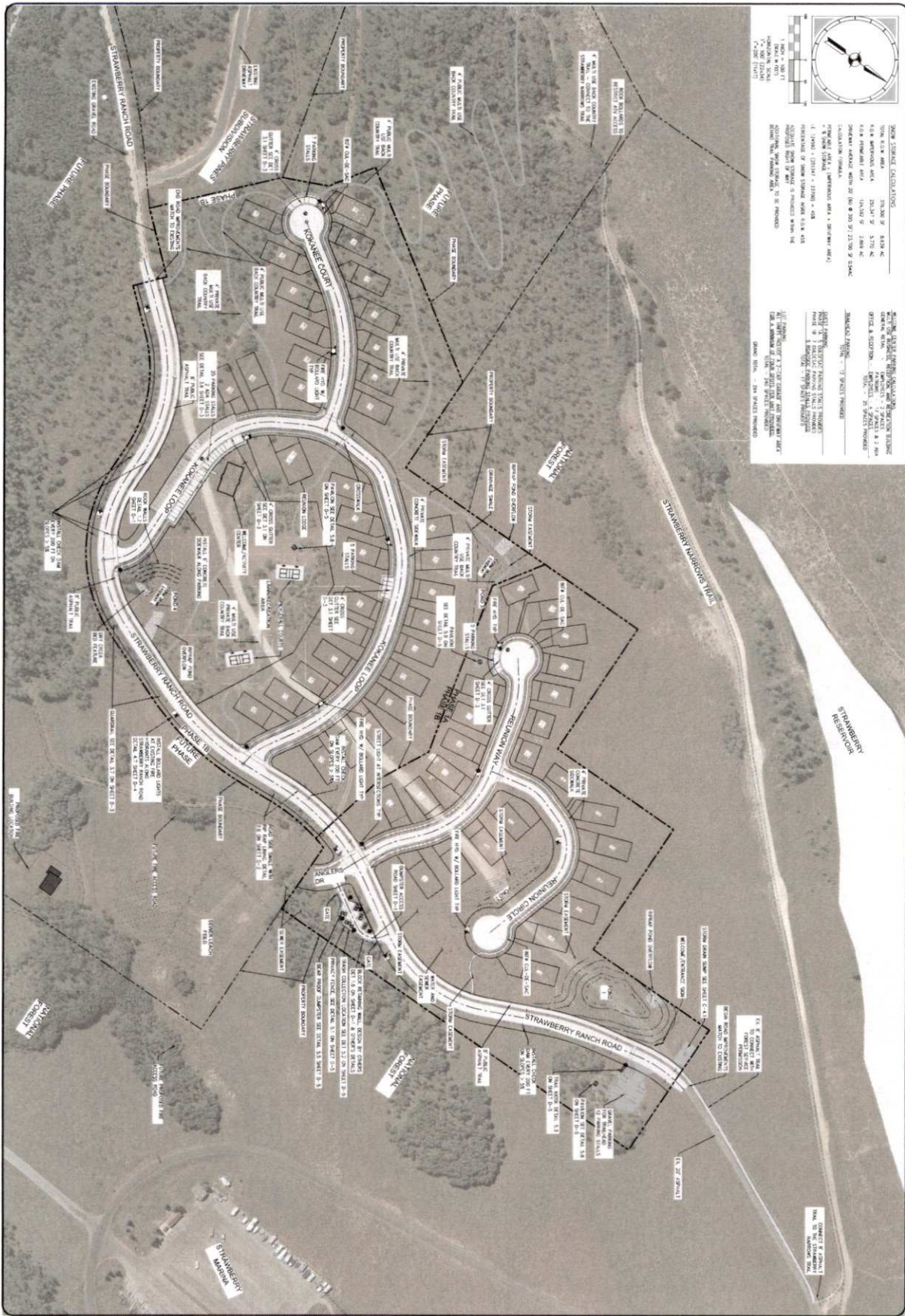


STRAWBERRY RANCH  
MOUNTAIN RESORT



Revised Sheet 4a  
March 3, 2023





**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.
8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
9. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY.
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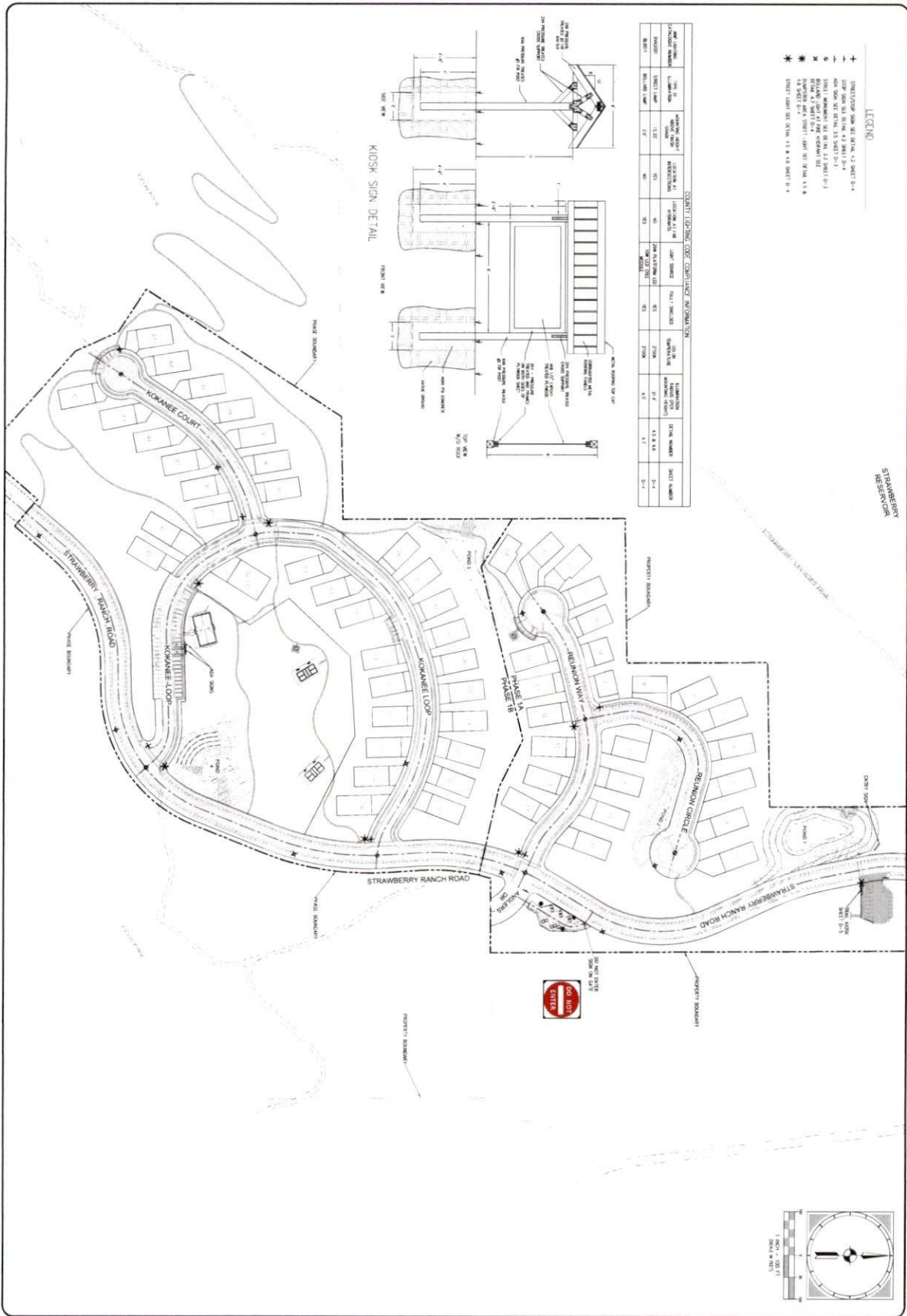
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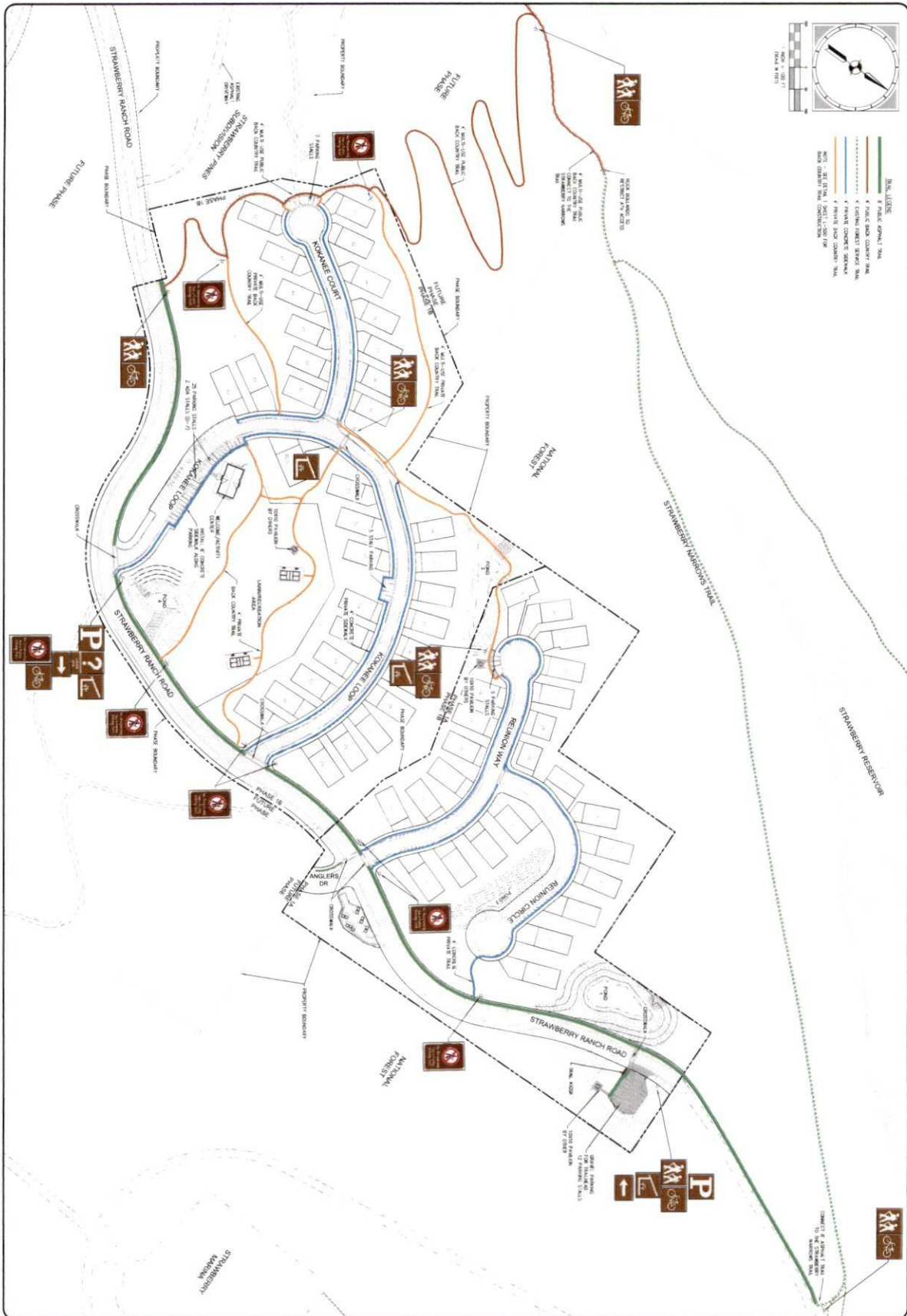
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SCALE C-1/6	DRAWN BY SFS		
	DATE 08/22/2023	DESIGN ENGINEER	ENR

REVISIONS

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**Trail Legend**

- Public Open Trail
- Public and County Trail
- Existing County Shared Trail
- Private Concrete Shared Trail
- Private and County Trail
- Shared Trail Construction

Scale: 1" = 50' LT  
North Arrow

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PROJECT MANAGER	EMG
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ISSUE DATE	08/22/2023

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**STRAWBERRY RANCH**

DATE: 08/22/2023

PROJECT: STRAWBERRY RANCH

PROJECT ENGINEER: BMD

PROJECT MANAGER: BMD

DESIGNER: SFS

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LEGEND

- 1" = 10' (PLAN)
- 1" = 20' (ELEVATION)
- 1" = 40' (SECTION)
- 1" = 80' (DETAIL)
- 1" = 160' (ENLARGED)

STRAWBERRY RANCH LEGEND

- 1" = 10' (PLAN)
- 1" = 20' (ELEVATION)
- 1" = 40' (SECTION)
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DATE: 08/22/2023

PROJECT: STRAWBERRY RANCH

PROJECT ENGINEER: BMD

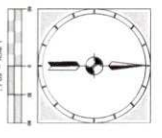
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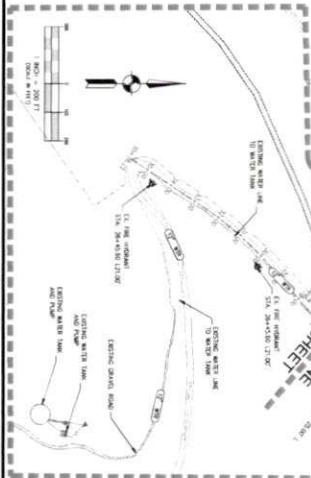
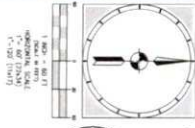
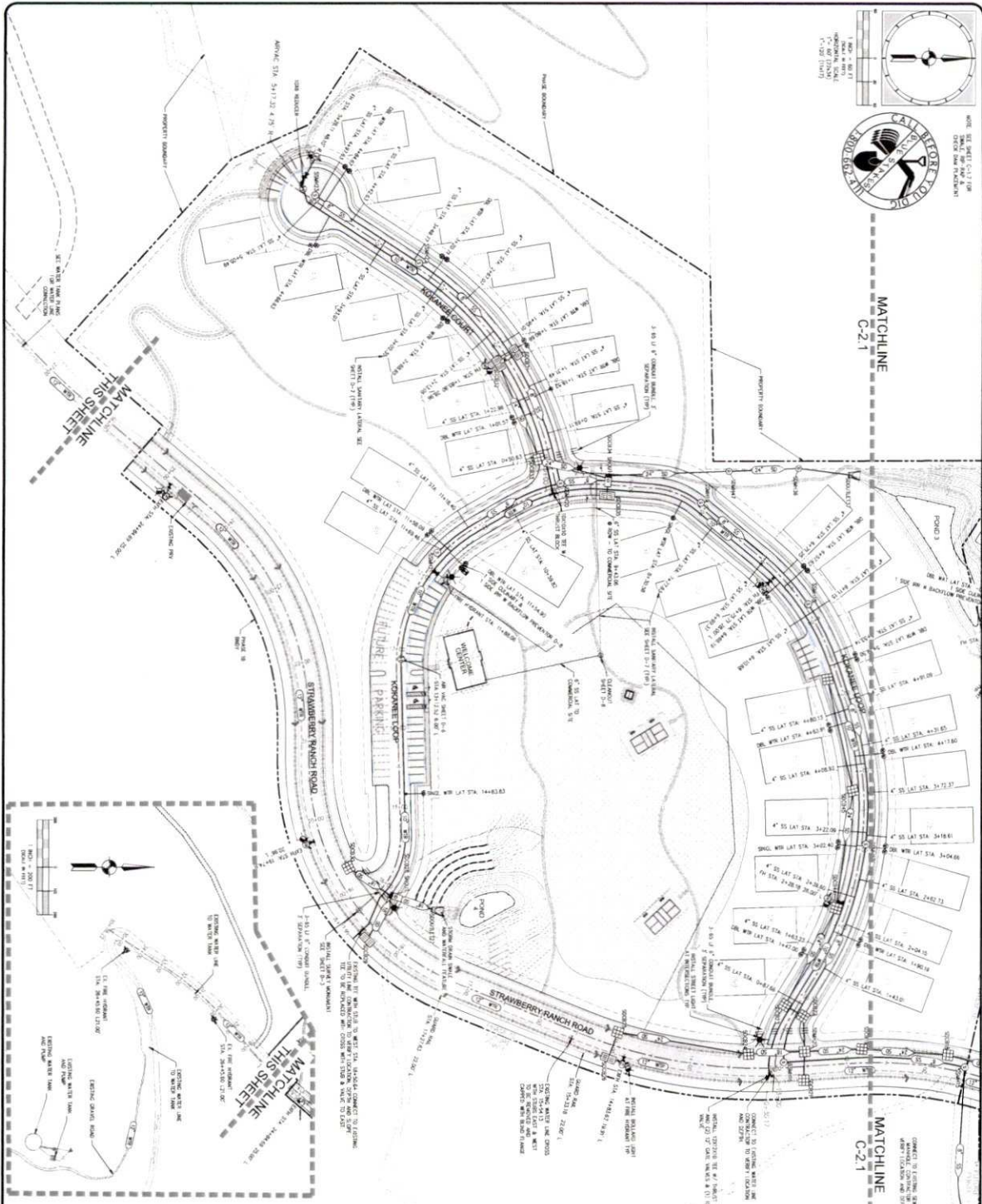
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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BMD	DATE: [ ]	COPYRIGHT © 2011 SUMMIT ENGINEERING GROUP
SHEET FILE: UTILITY PLAN	PROJECT MANAGER: BMD	DATE: [ ]	
DATE: 08/22/2023	DESIGNER: SFS	DATE: [ ]	<p>STRUCTURAL • CIVIL • LAND SURVEYING</p> <p>30 WEST CENTER • P.O. BOX 179 HOBBS CITY, TEXAS 79221 P: 409-554-8229 • F: 409-554-8231</p>
DATE: 08/22/2023	DESIGN ENGINEER: SFS	DATE: [ ]	



**SYMBOL LEGEND**

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	1188.00\"/>
	1194.00\"/>
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PROJECT: STRAWBERRY RANCH  
 SHEET: C21-033  
 UTILITY PLAN

DATE: 08/22/2023

REVISIONS:

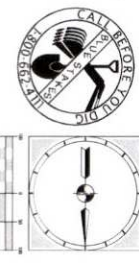
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 30 WEST CENTER • P.O. BOX 176  
 DENVER, CO • 80202  
 P: 435-634-8020 • F: 435-634-8231

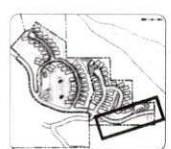
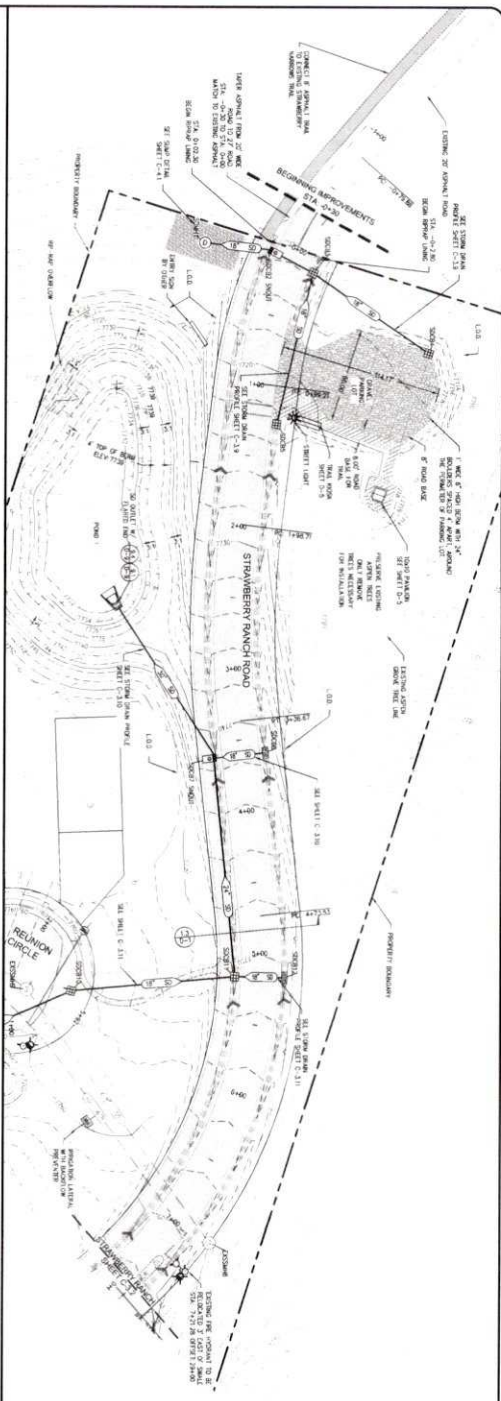
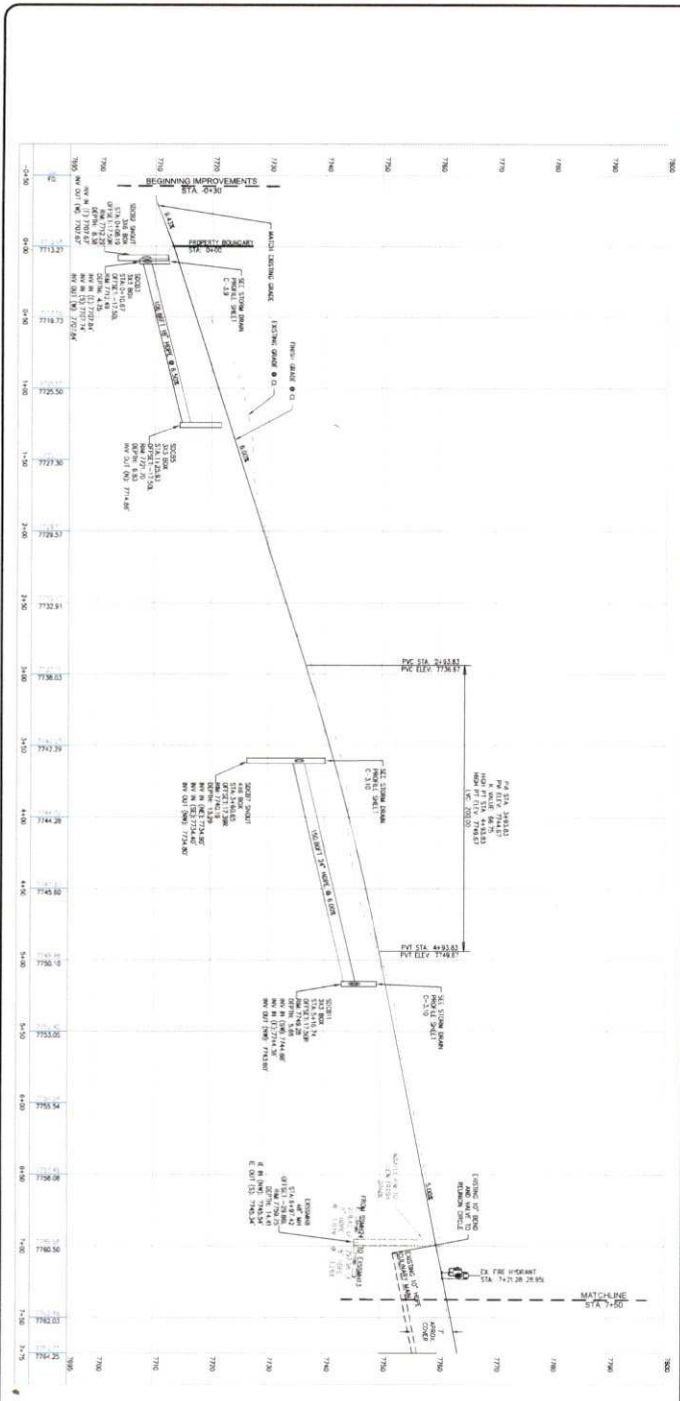


- SCALE:
1. ASSUMPTIONS OF LOTS AND BOUNDARIES ARE TO BE PROVIDED BY THE CLIENT.
  2. THIS PLAN IS BASED ON THE DATA PROVIDED BY THE CLIENT.
  3. SCHEDULED ROAD WIDTHS, DRIVEWAYS, AND SIDEWALKS ARE TO BE PROVIDED BY THE CLIENT.
  4. THE PROPERTY BOUNDARIES ARE TO BE PROVIDED BY THE CLIENT.
  5. THE PROPERTY BOUNDARIES ARE TO BE PROVIDED BY THE CLIENT.
  6. THE PROPERTY BOUNDARIES ARE TO BE PROVIDED BY THE CLIENT.

<b>SYMBOLS</b>	<b>LEGEND</b>
PROPOSED ASPHALT	PROPOSED CONCRETE
EXISTING ASPHALT	EXISTING CONCRETE
PROPOSED SIDEWALK	EXISTING SIDEWALK
PROPOSED DRIVEWAY	EXISTING DRIVEWAY
PROPOSED DRIVEWAY	EXISTING DRIVEWAY



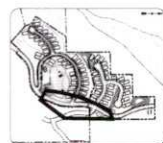
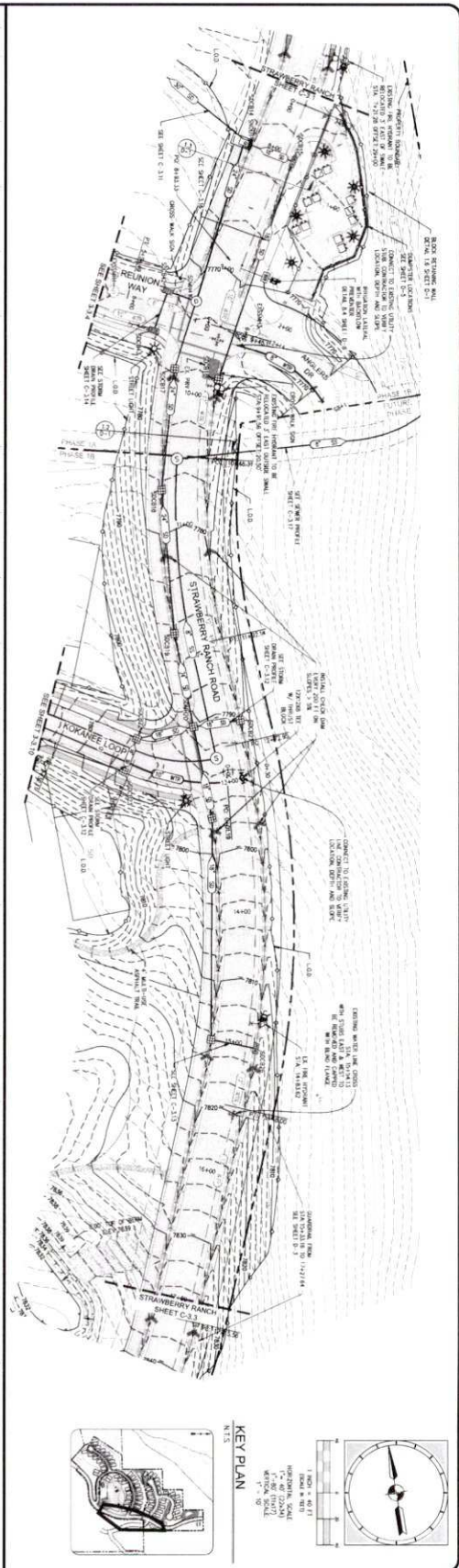
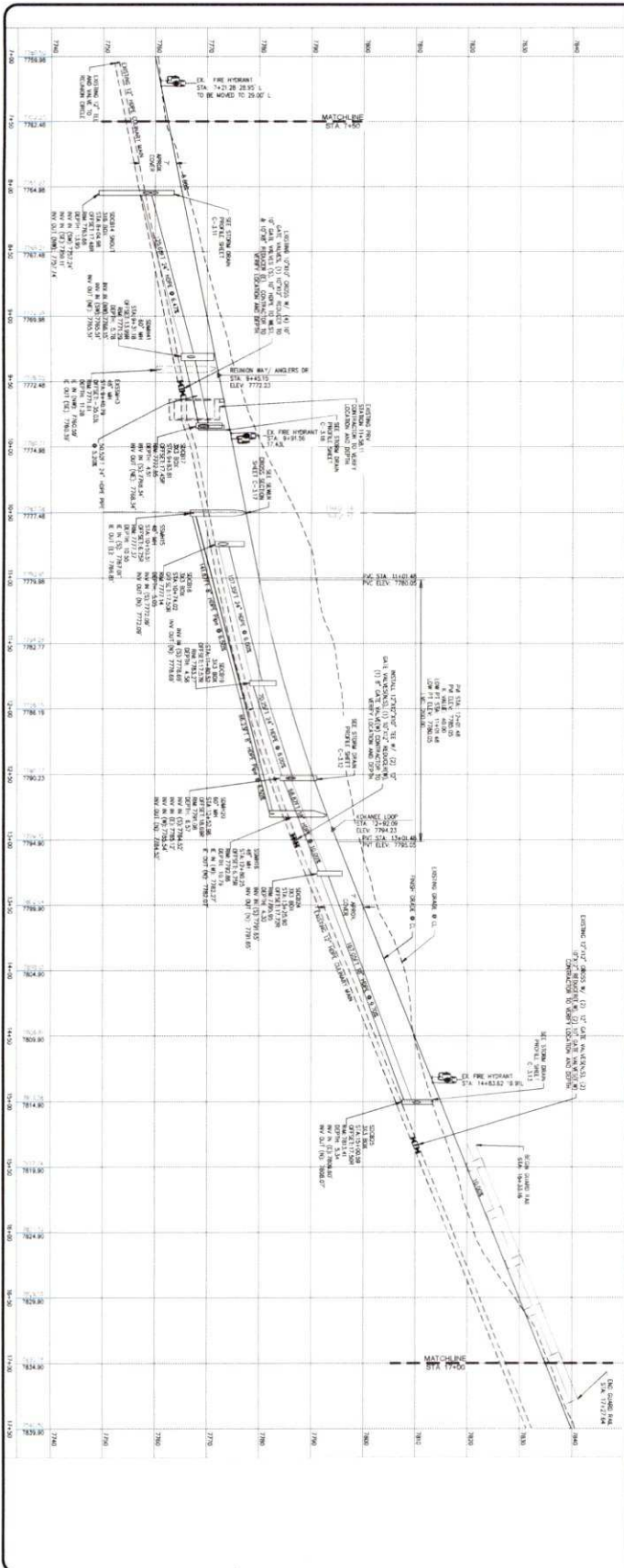
<b>PROJECT</b> STRAWBERRY RANCH SHEET TITLE DRY UTILITY PLAN		<b>PROJECT ENGINEER</b> SRS <b>PROJECT MANAGER</b> SRS <b>DRAWN BY</b> ANF <b>ISSUE DATE</b> 08/22/2022		<b>DATE</b> BY REVISIONS		COPYRIGHT © 2022 SUMMIT ENGINEERING GROUP	
PROJECT NO. C21-033 SHEET NO. C-23		<b>DESIGN ENGINEER</b> SRS		SUMMIT ENGINEERING GROUP, INC. 30 WEST CENTER • P.O. BOX 178 HERB CRY • SAN RAFAEL CA 94901 • P. 415-524-9229 • F. 415-524-9231			



**KEY PLAN**  
 1" = 40' HORIZ.  
 1" = 20' VERT.  
 NORTH

PROJECT: STRAWBERRY RANCH SHEET TITLE: STRAWBERRY RANCH ROAD PLAN AND PROFILE STA -0+30 TO 7+50 SHEET: C-31		PROJECT ENGINEER: ENR PROJECT MANAGER: ENR DRAWN BY: STS REVISION DATE: 08/22/2023	REVISIONS DATE BY 1 2 3 4 5 6	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. STRUCTURE • CIVIL • LAND SURVEYING 55 WEST CENTER • P.O. BOX 176 HENRIEVILLE, NY 12529 P: 518-524-8229 • F: 518-524-8231
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KEY PLAN

1" = 40' HORIZONTAL SCALE  
 1" = 10' VERTICAL SCALE  
 1" = 10' PROFILE SCALE

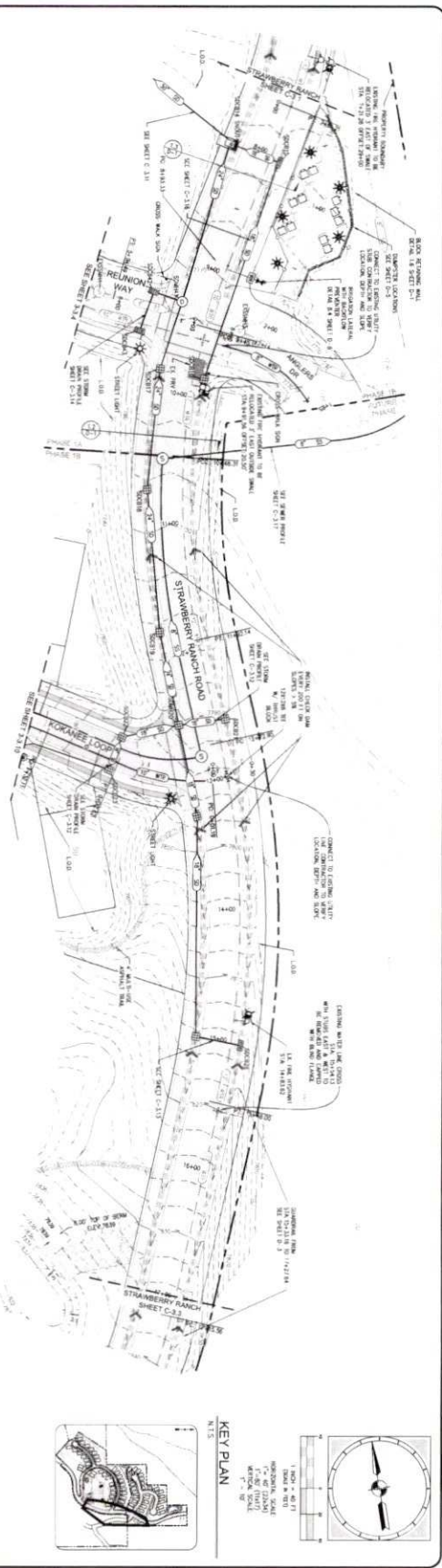
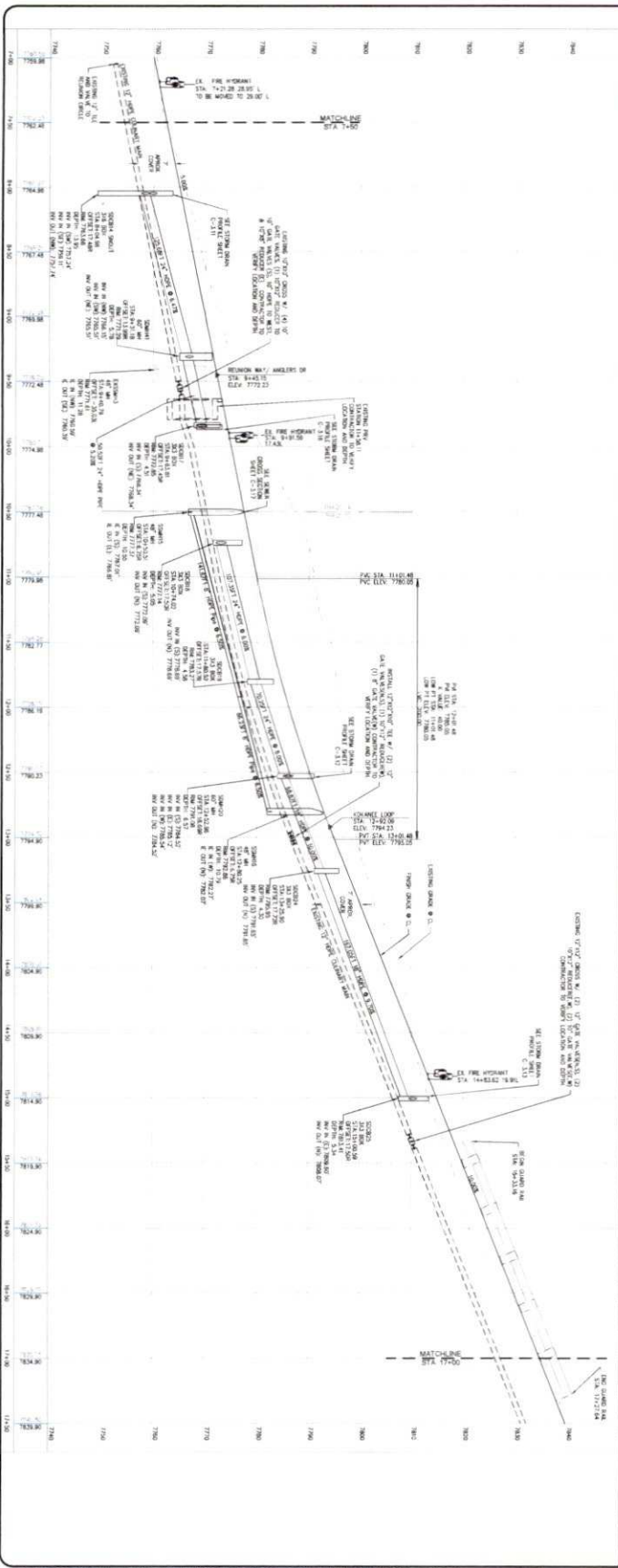
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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER ENB	DATE BY	REVISIONS
SHEET FILE STRAWBERRY RANCH ROAD PLAN AND PROFILE STA 7+50 TO 17+00	PROJECT MANAGER ENB		
PROJECT NUMBER C21-033	DRAWN BY SFS		
SHEET C-32	DATE 08/22/2023		

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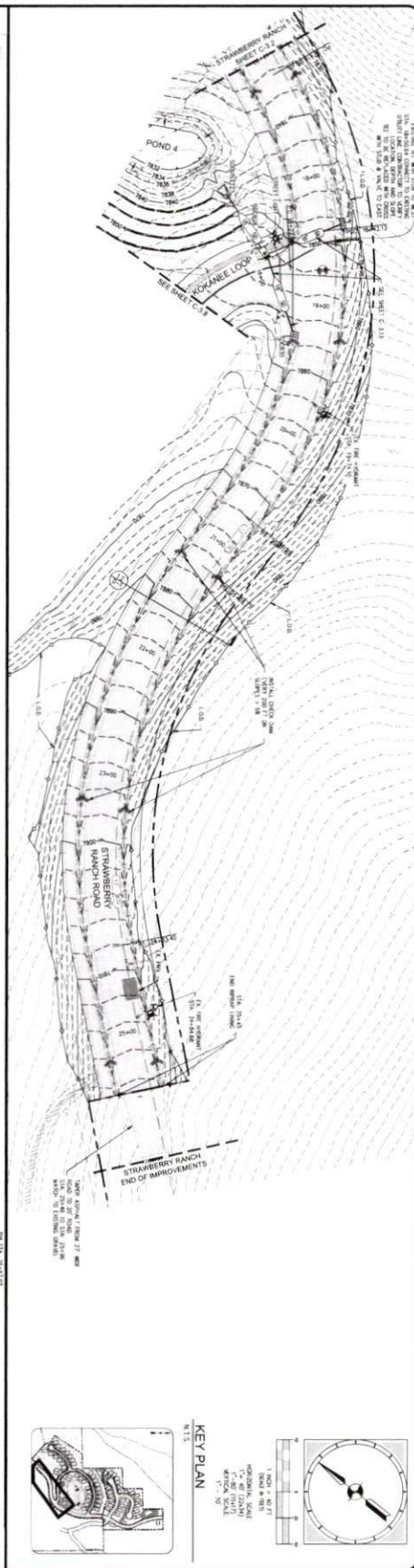
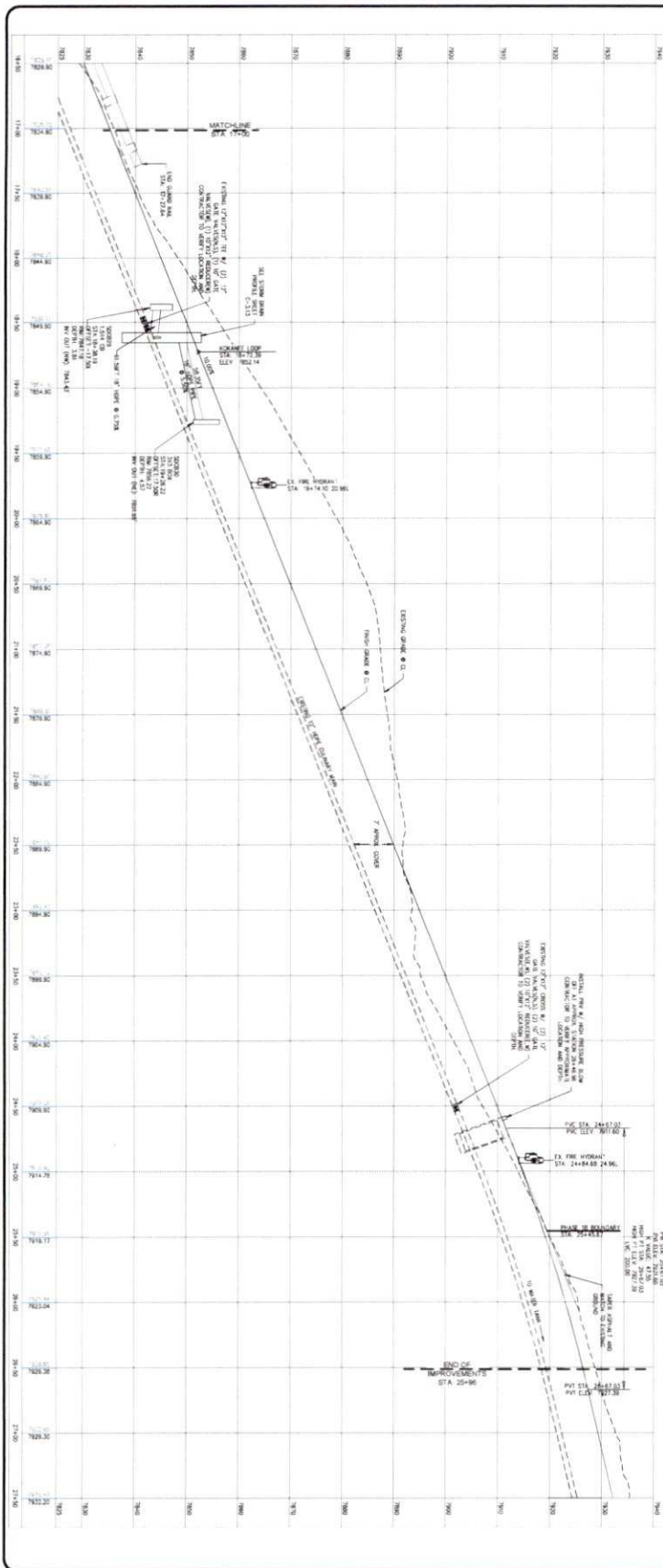
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\\SMB-PROJECTS\CURRENT PROJECTS\121-033 STRAWBERRY RANCH\WORKING FILES\NONDERRING\DWG\121-033-SH-SHEETS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER DWB	DATE BY	COPYRIGHT © 2021 SUMMIT ENGINEERING GROUP, INC. SUMMIT & NORTH A U.S. MEMBER OF THE SUMMIT GROUP OF COMPANIES 55 WEST CENTER ST., SUITE 174 DENVER, CO 80202 TEL: 303-733-1300 FAX: 303-733-1301
SHEET C-3-2	PROJECT MANAGER DWB	DESIGN BY SFS	
PROJECT C21-033	PROJECT MANAGER DWB	DATE BY 08/22/2023	SUMMIT ENGINEERING GROUP INC. STRUCTURAL • CIVIL • LAND SURVEYING 55 WEST CENTER ST., SUITE 174 DENVER, CO 80202 TEL: 303-733-1300 FAX: 303-733-1301
SHEET TITLE STRAWBERRY RANCH ROAD PLAN AND PROFILE STA 7+50 TO 17+00		DESIGN ENGINEER DWB	REVISIONS 1 2 3 4 5 6 7 8



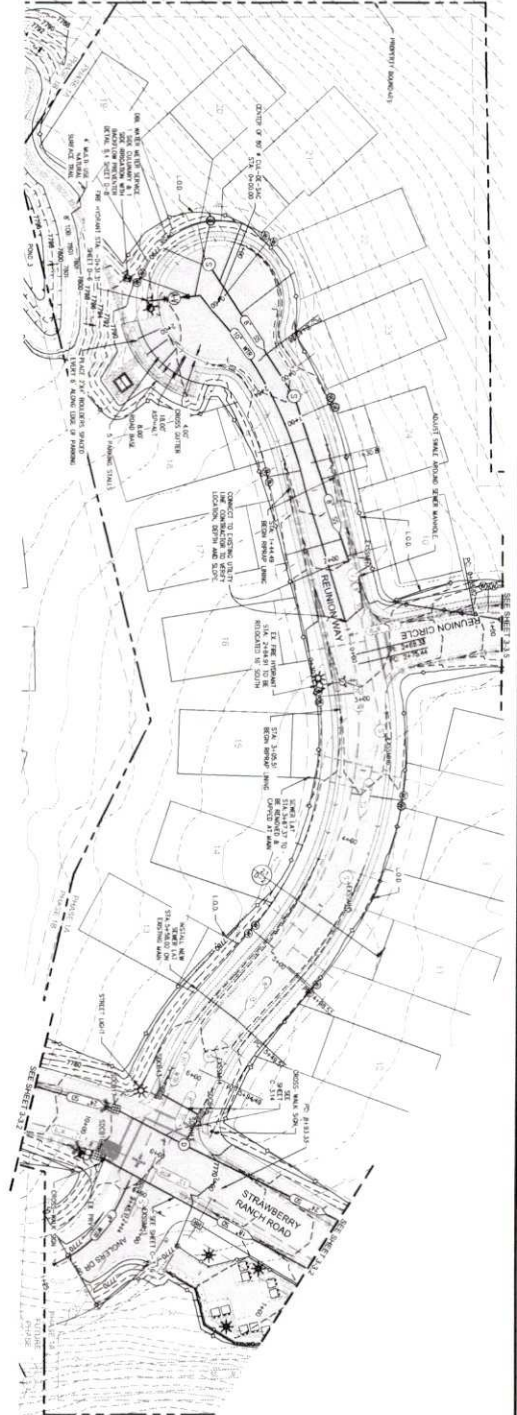
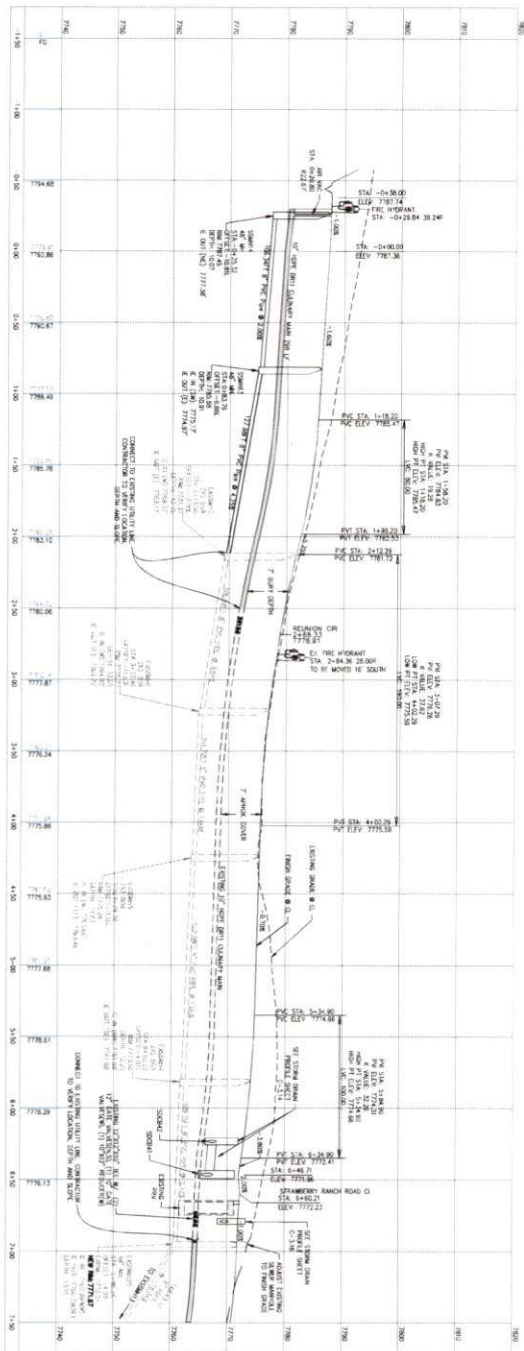
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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BWD	DATE	BY
PROJECT NUMBER BWD	PROJECT NUMBER BWD	REVISIONS	
SHEET TITLE STRAWBERRY RANCH ROAD PLAN AND PROFILE STA 17+00 TO 25+96	DRAWN BY SFS	1	
DATE 08/22/2023	CHECK ENGINEER BWD	2	
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KEY PLAN

1" = 40' HORIZONTAL SCALE  
1" = 20' VERTICAL SCALE

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**KEY PLAN**

GRAPHIC SCALE  
1" = 10' & 1/2"

VERTICAL SCALE  
1" = 10'

PLAN SCALE  
1" = 40'

PROJECT: STRAWBERRY RANCH

SHEET TITLE: RELION WAY PLAN AND PROFILE  
STA 0+00 TO 5+66.7

PROJECT ENGINEER: [Signature]

PROJECT MANAGER: [Signature]

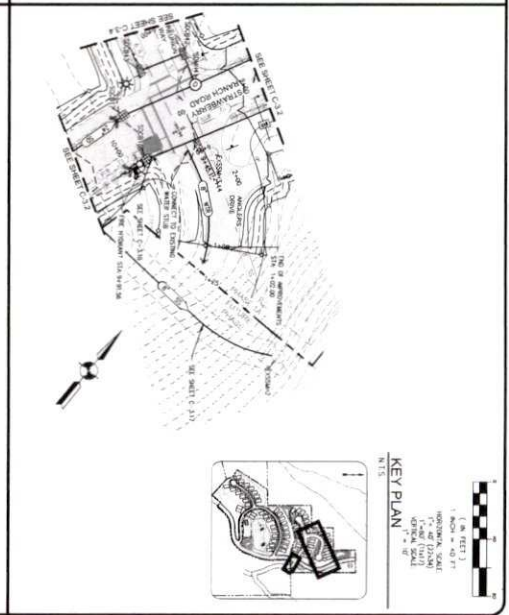
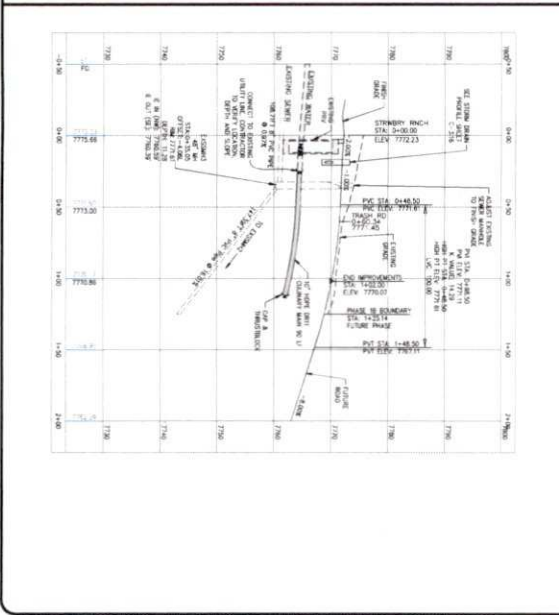
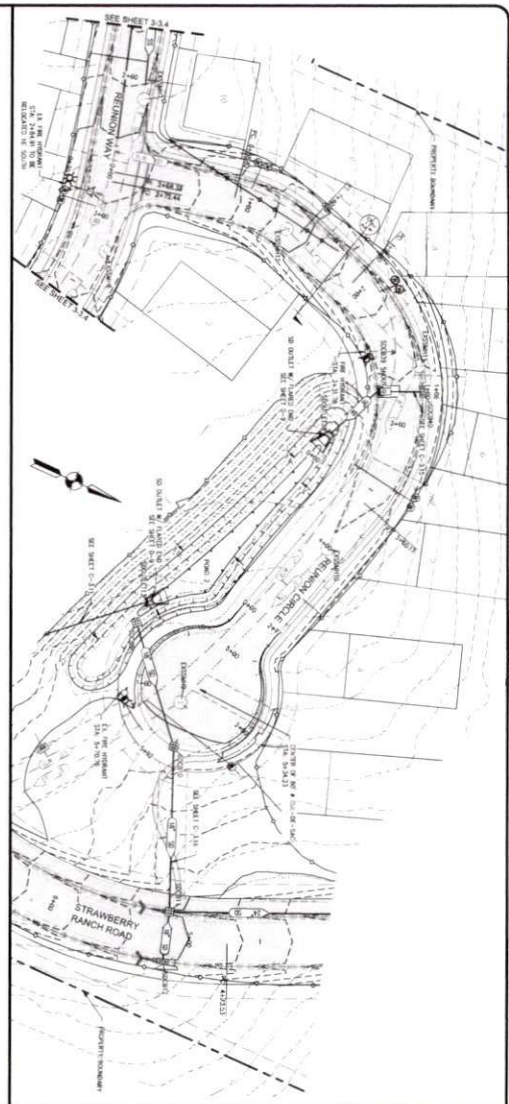
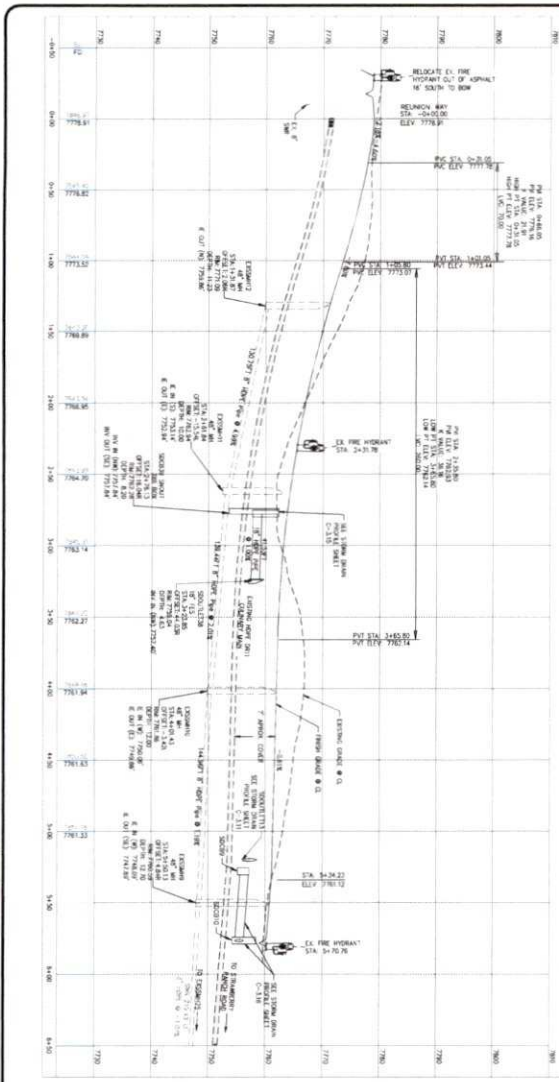
DRAWN BY: SP'S

DATE: 08/22/2023

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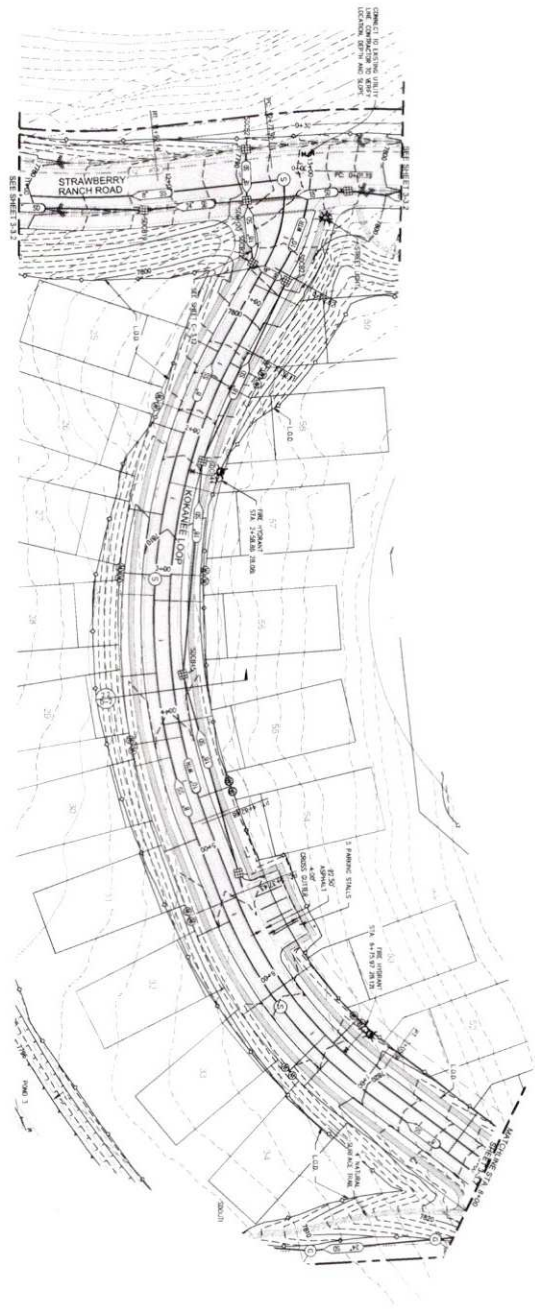
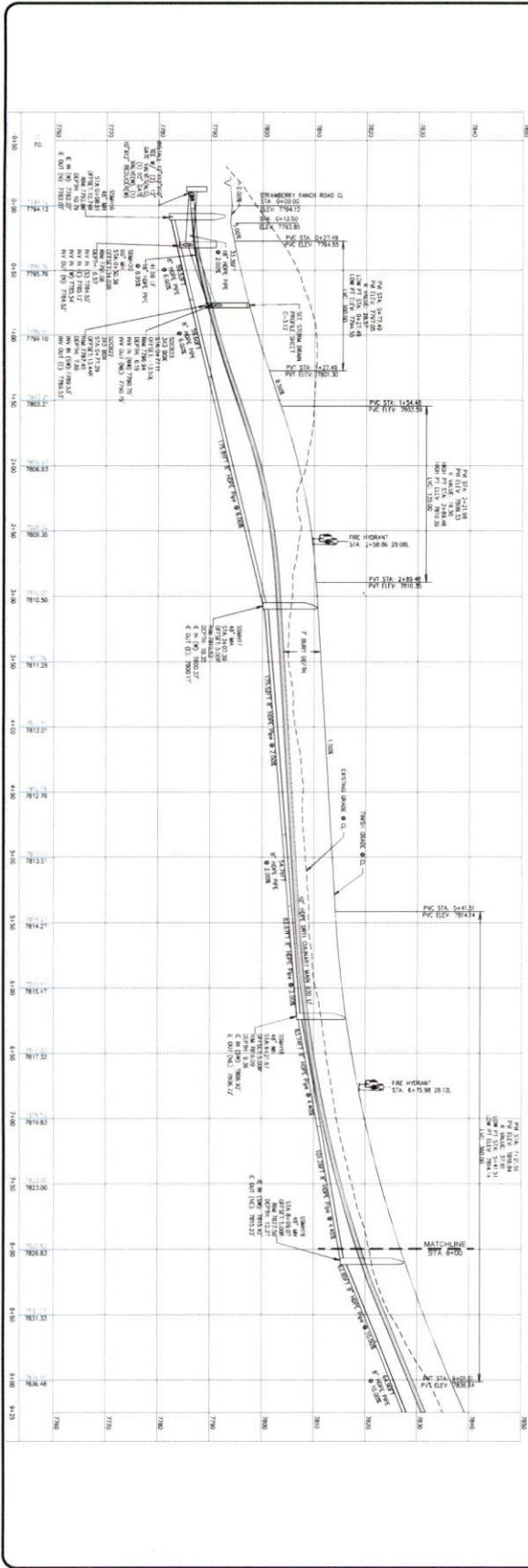


PROJECT: STRAWBERRY RANCH  
 SHEET: C-3.5  
 PROJECT: STRAWBERRY RANCH  
 SHEET: C-3.5  
 PROJECT: STRAWBERRY RANCH  
 SHEET: C-3.5

NO.	REVISIONS	DATE BY
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PROJECT ENGINEER: [Name]  
 PROJECT MANAGER: [Name]  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 08/22/2023

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 HENRI, CO. 80639  
 TEL: 303-555-1234 FAX: 303-555-1234



**KEY PLAN**

1" = 100' HORIZONTAL SCALE  
 1" = 20' VERTICAL SCALE  
 NORTH

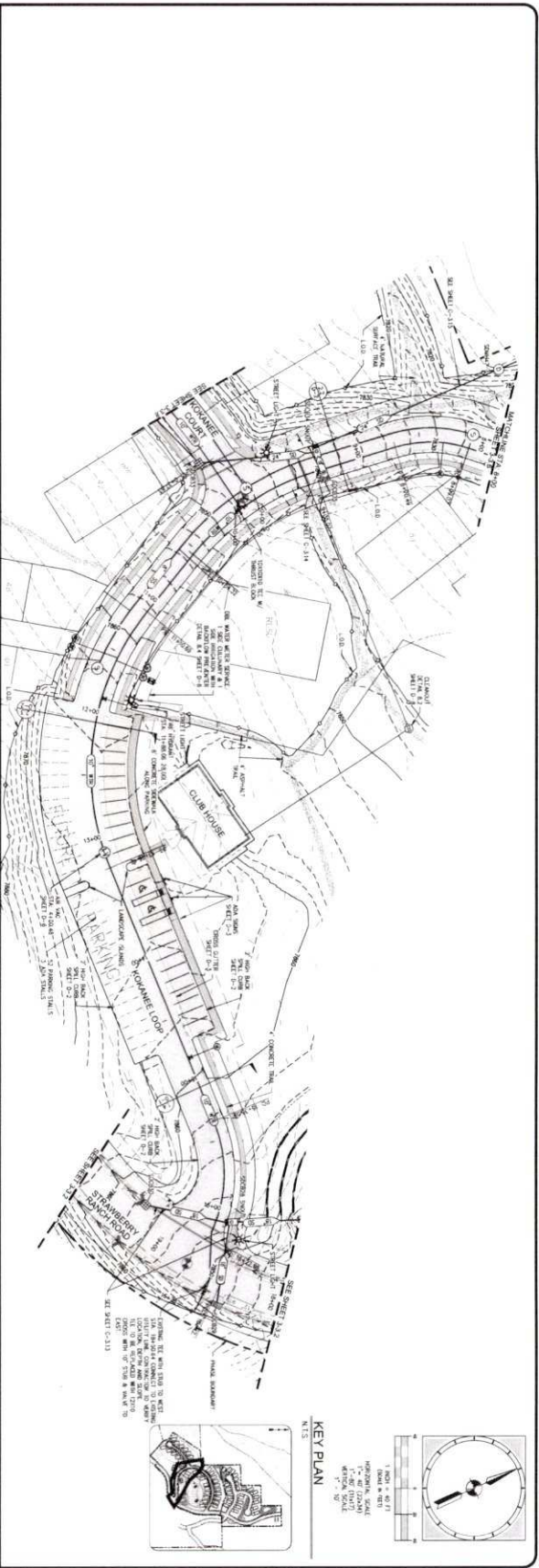
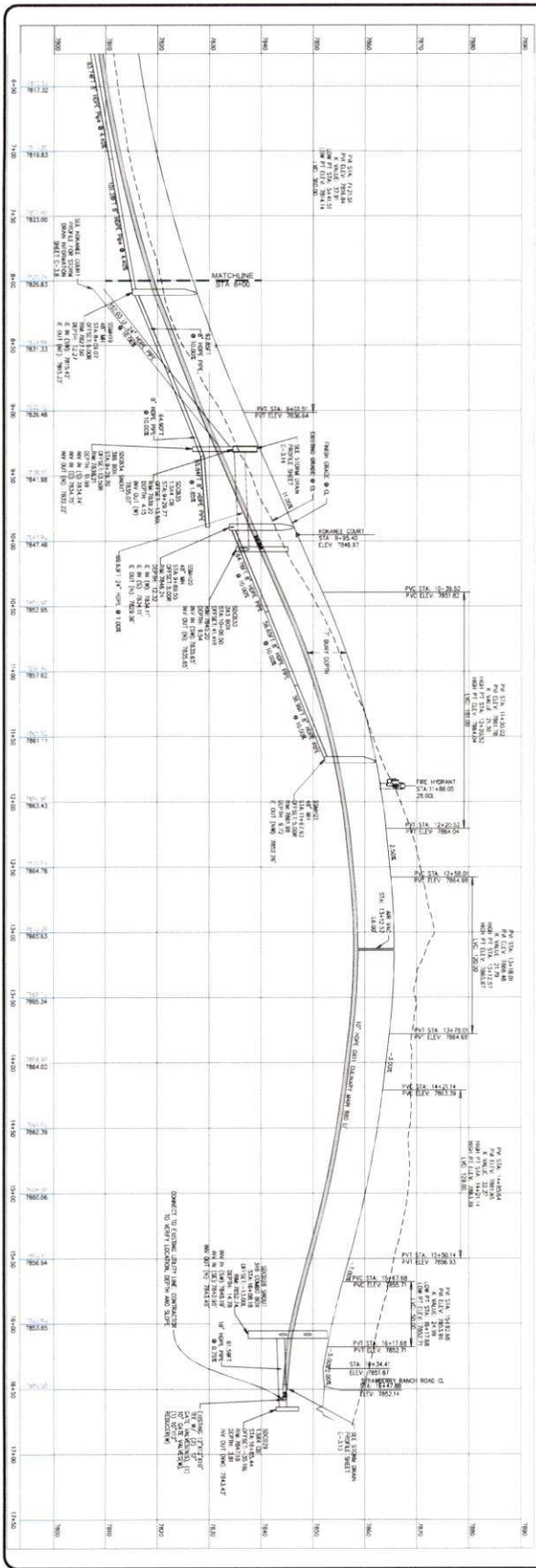
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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER EMR
SHEET TITLE KOKANEE LOOP PLAN AND PROFILE STA 0+00 TO 8+00	PROJECT MANAGER EMR
C-36	DRAWN BY STS
C21-033	DATE 08/22/2023
	CHECK ENGINEER DML

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**KEY PLAN**

1" = 40' (PLAN)  
 1" = 20' (SECTION)  
 1" = 10' (ELEVATION)

1" = 40' (PLAN)  
 1" = 20' (SECTION)  
 1" = 10' (ELEVATION)

1" = 40' (PLAN)  
 1" = 20' (SECTION)  
 1" = 10' (ELEVATION)

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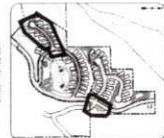
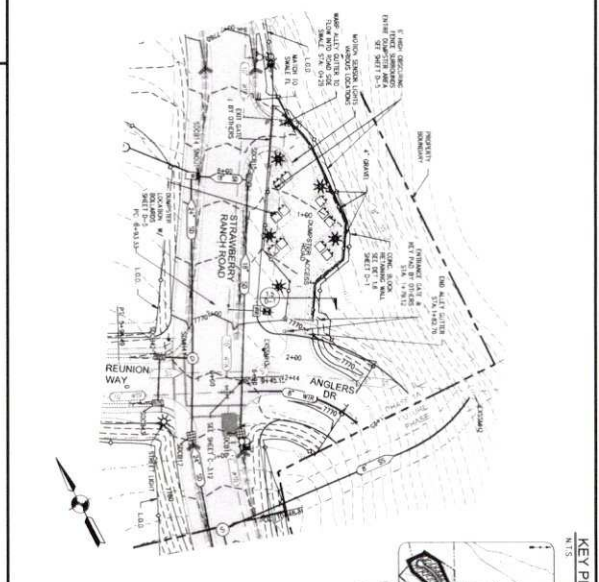
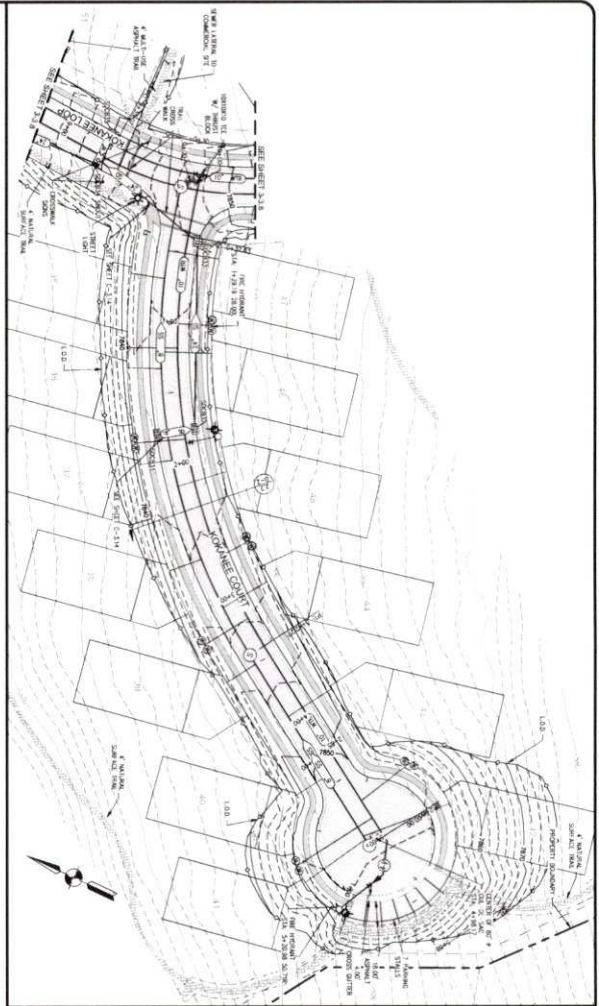
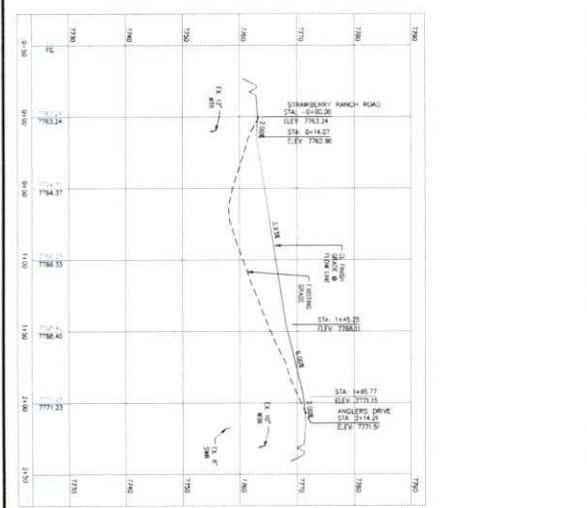
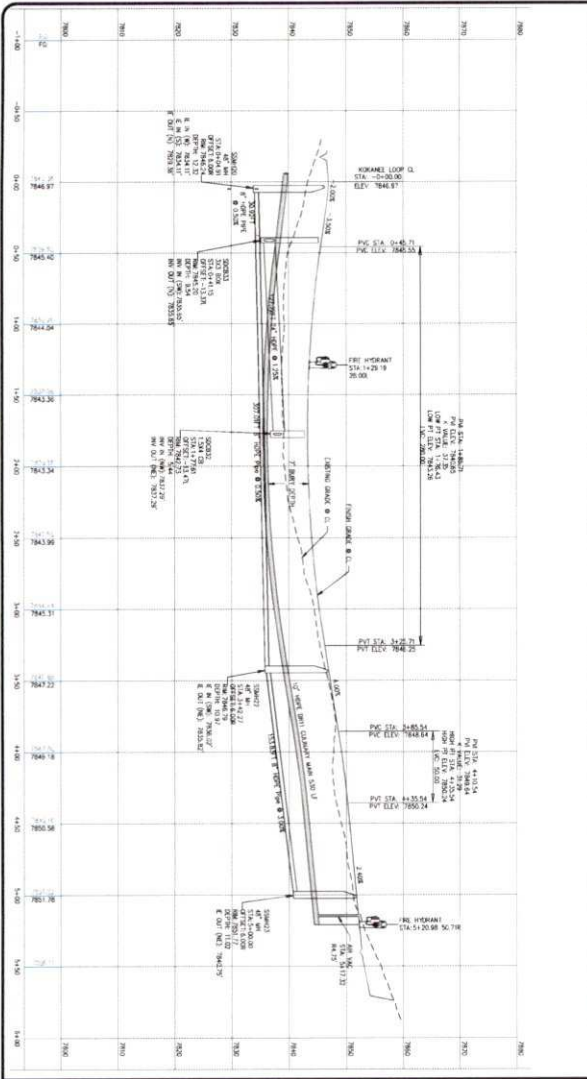
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SHEET NO. C21-033	PROJECT MANAGER ENR		
SHEET TITLE KOKANE LOOP STA 8+00 TO 17+00	DRAWN BY SFS		
	CHECK DATE 08/22/2023		

DESIGN ENGINEER: [Signature]

DATE: 08/22/2023

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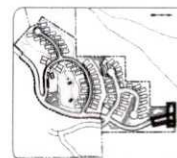
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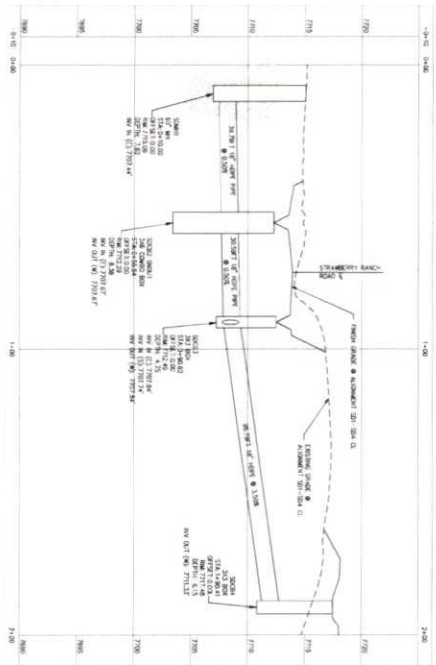
KEY PLAN  
1" = 50'

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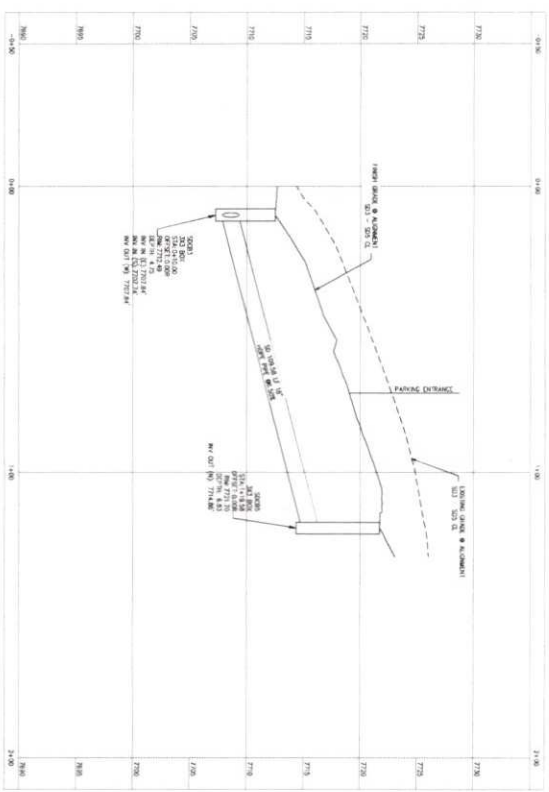




**KEY PLAN**  
 1" = 1/4 MILE  
 1" = 200 FEET  
 1" = 100 FEET  
 1" = 50 FEET  
 1" = 25 FEET  
 1" = 10 FEET  
 1" = 5 FEET



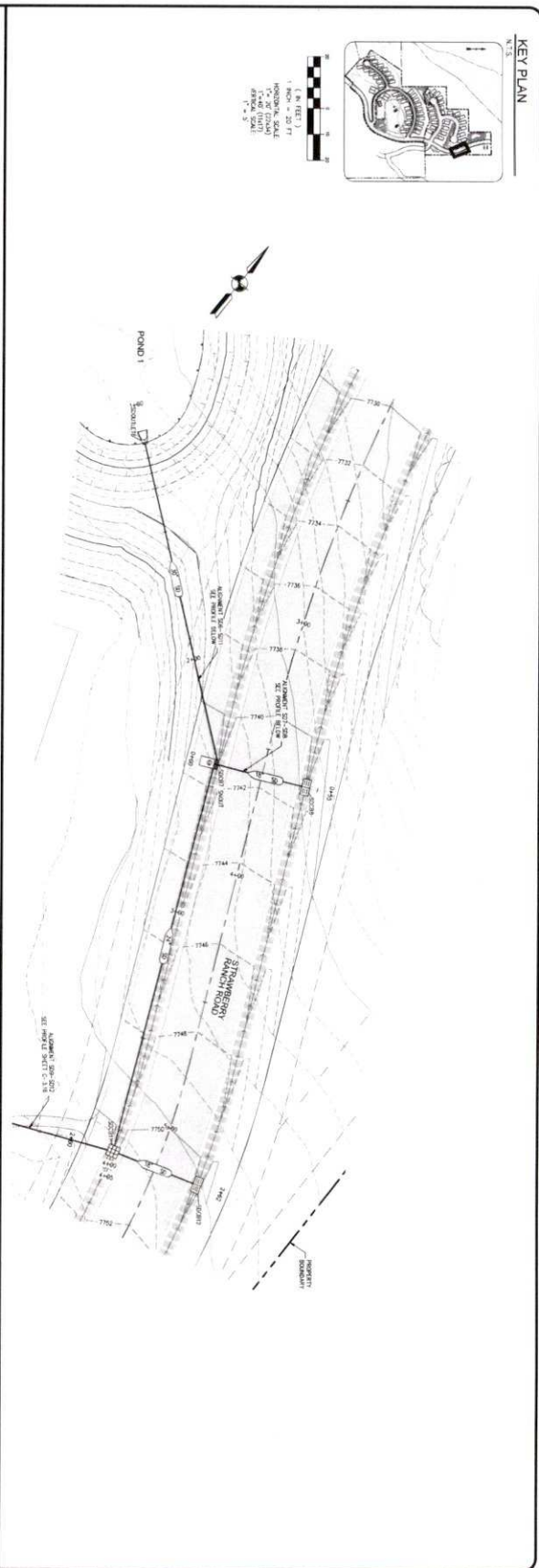
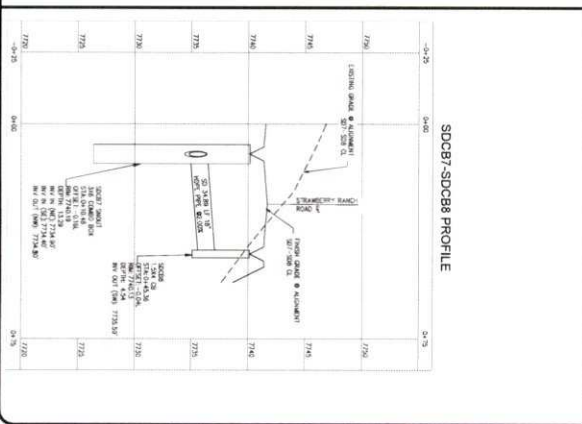
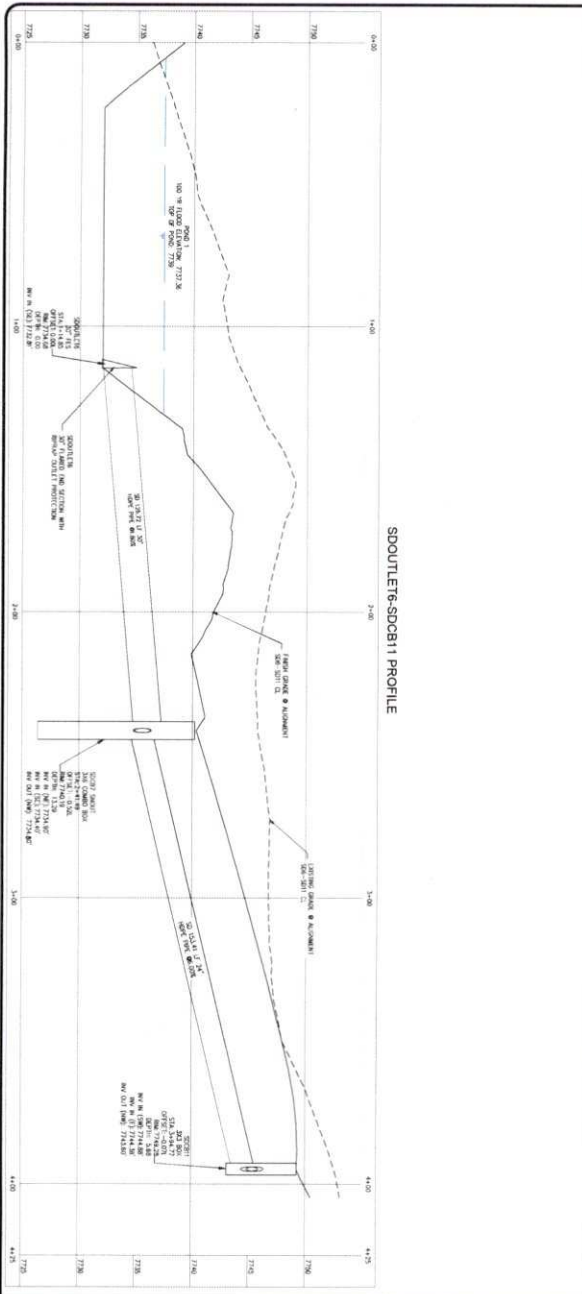
SD1-SD4 PROFILE



SD3-SD5 PROFILE

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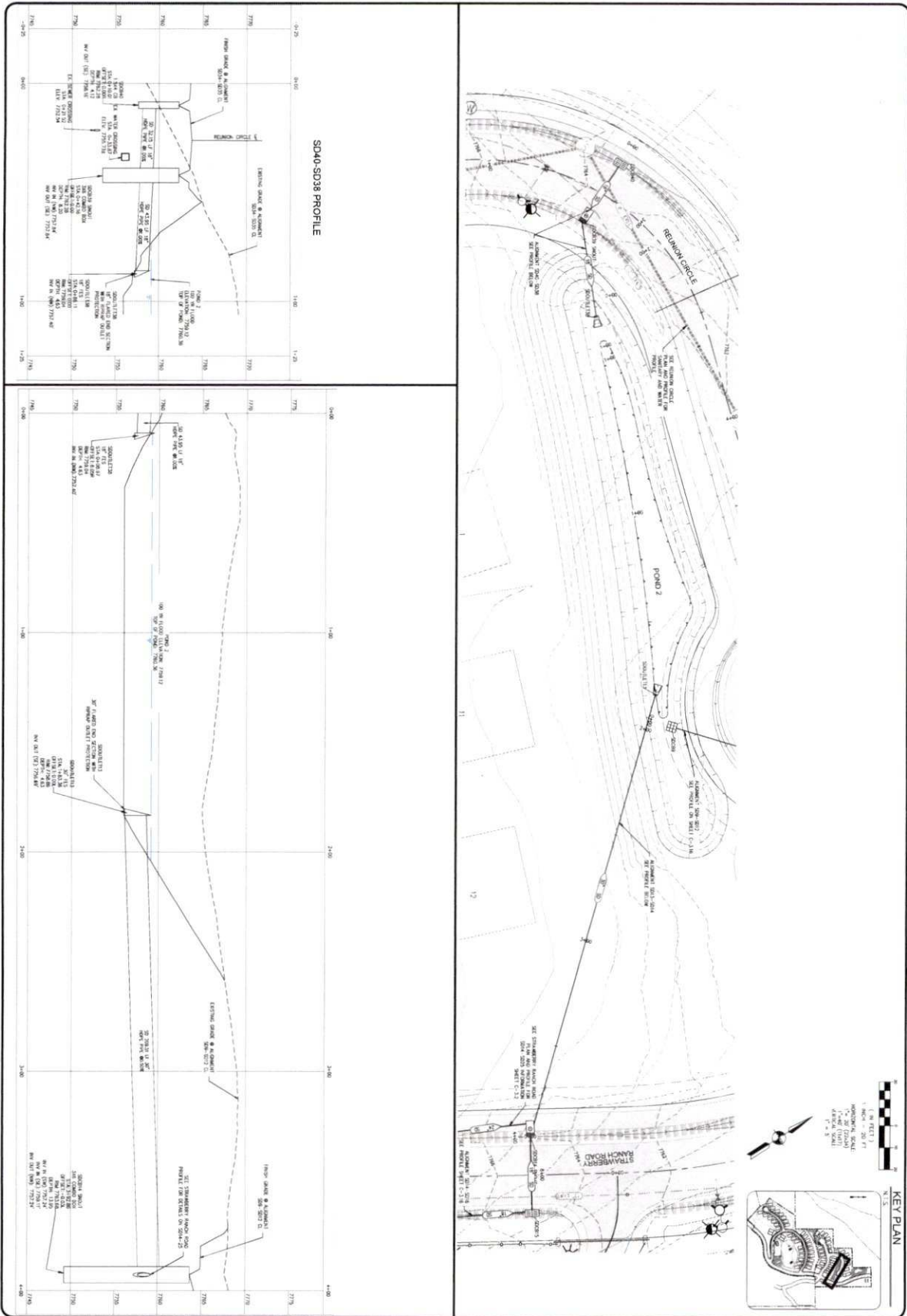
PROJECT <b>STRAWBERRY RANCH</b>	PROJECT ENGINEER [Signature]	DATE 08/22/2023	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. A PROFESSIONAL CORPORATION 85 WEST CENTER • P.O. BOX 176 WISLER CITY, NORTH CAROLINA 27168 P.O. BOX 1000 • WISLER, NC 27168 TEL: 703-833-8222 • FAX: 703-833-8223
SHEET TITLE SOMH1 TO SDCB4 STA: 0+00 TO 2+00 SDCB3 TO SDCB5 STA: -0+50 TO 2+00	PROJECT MANAGER [Signature]	DRAWN BY SFS	
SHEET C-33	DESIGN ENGINEER [Signature]	REVISIONS 1 2 3 4 5 6 7 8	SUMMIT ENGINEERING GROUP INC. STRUCTURAL • CIVIL • LAND SURVEYING 85 WEST CENTER • P.O. BOX 176 WISLER CITY, NORTH CAROLINA 27168 P. 433-833-8222 • F. 433-833-8223



PROJECT: STRAWBERRY RANCH  
 SHEET: C21-033  
 PROJECT ENGINEER: BME  
 PROJECT MANAGER: BME  
 DRAWN BY: SFS  
 DATE: 08/22/2023  
 DESIGN ENGINEER: [Blank]  
 DATE: [Blank]

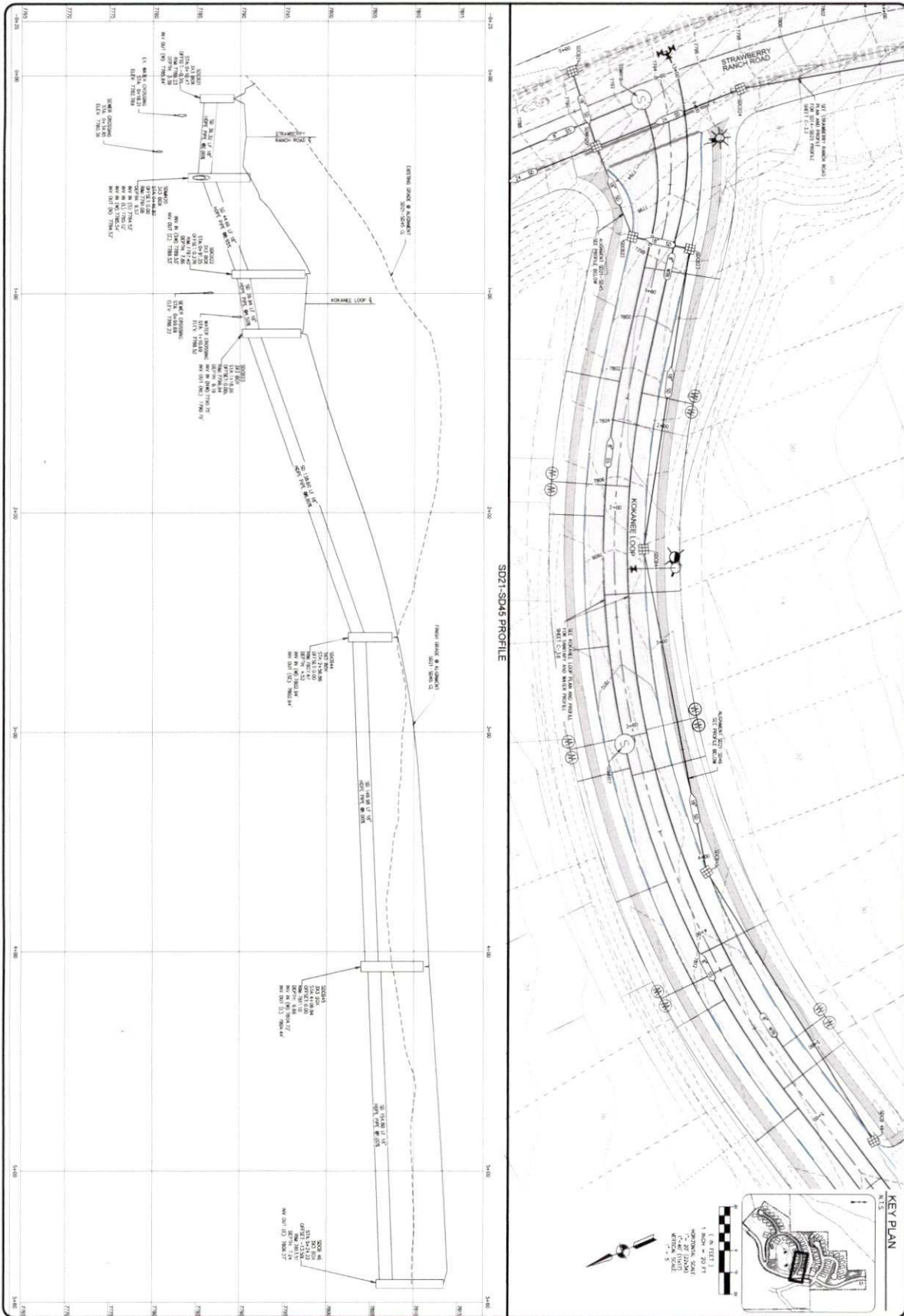
NO.	REVISIONS	DATE	BY
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PROJECT NUMBER C21-033	PROJECT MANAGER BWS	REVISIONS	
SHEET TITLE SDOUTLET38 STA. -0+00 TO 1+25 SDOUTLET13 TO SDCR16 STA. -0+00 TO 4+00	DRAWN BY SJS	1	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 55 WEST CENTER • P.O. BOX 178 WEBER CITY, UTAH 84085 TEL: 435-654-9229 • FAX: 435-654-9231
DATE 08/22/2023	CHECK ENGINEER BWS	2	



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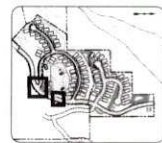
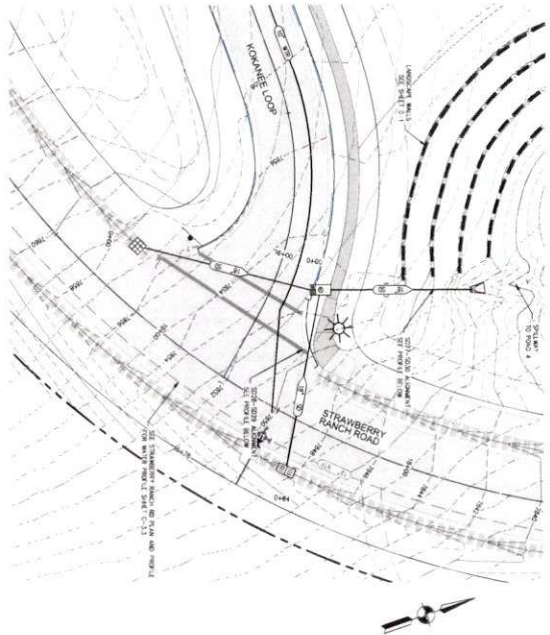
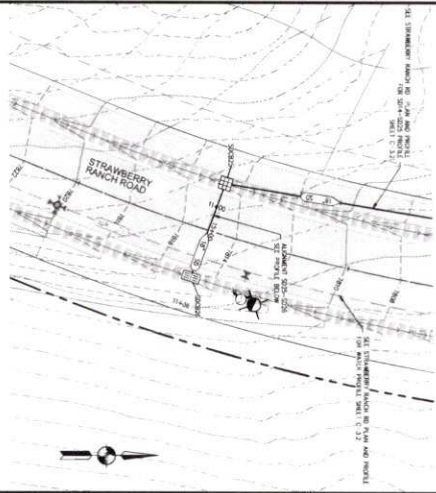
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BME	DATE	BY
PROJECT NUMBER C21-033	PROJECT NUMBER BME		
SHEET TITLE SDCR21 TO SDCR45 -0+25 TO 5+00	DESIGNER BME		
DATE 08/22/2013	CHECKER BME		

REVISIONS

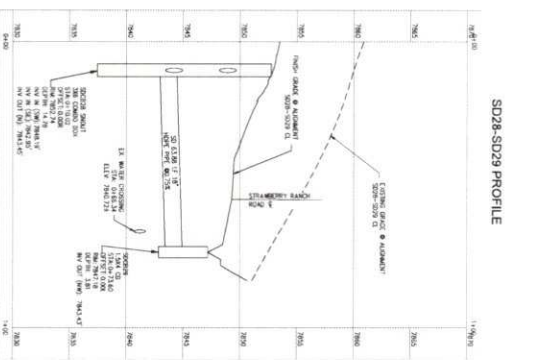
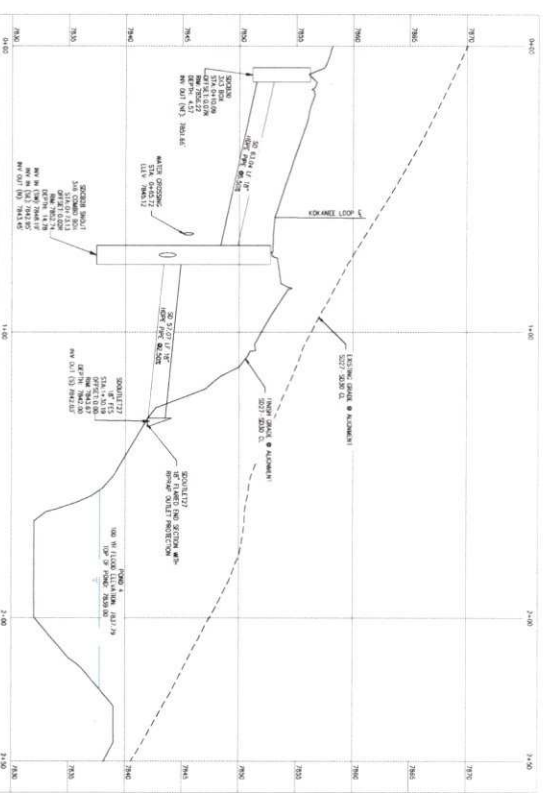
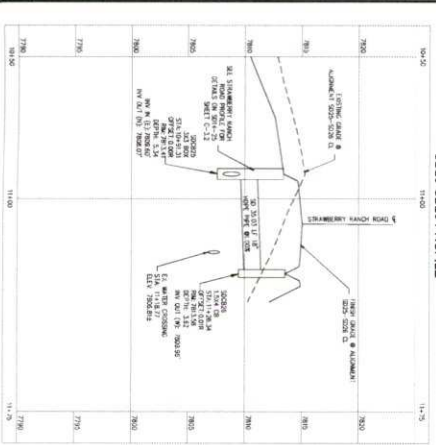
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P: 435-854-9228 • F: 435-854-9231



**KEY PLAN**  
 N.T.S.  
 1" = 100 FT  
 ANTI-CORROSION SCALE  
 1" = 20 FT  
 1" = 40 FT  
 1" = 80 FT  
 1" = 160 FT



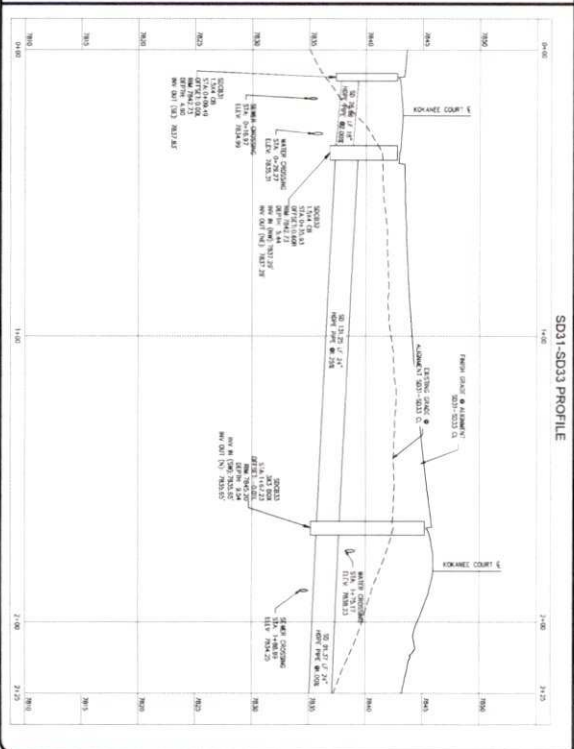
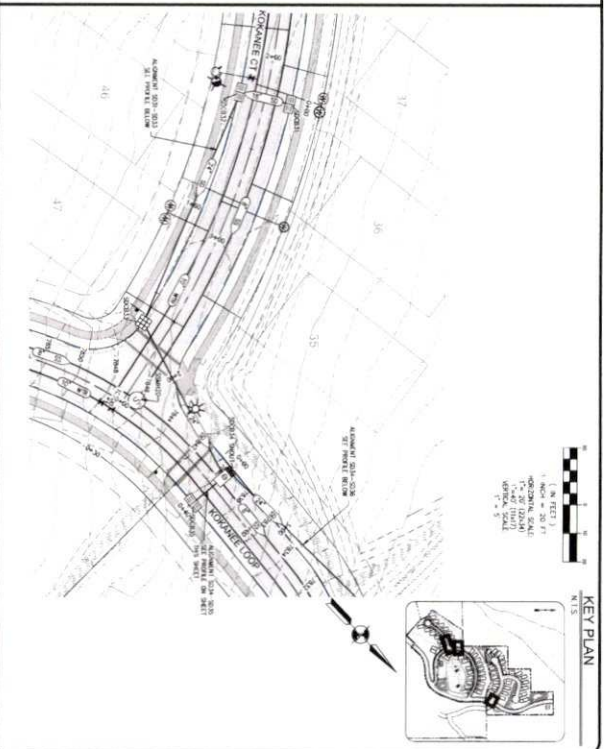
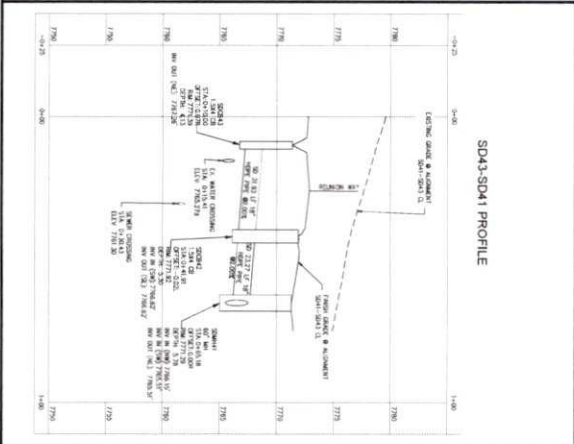
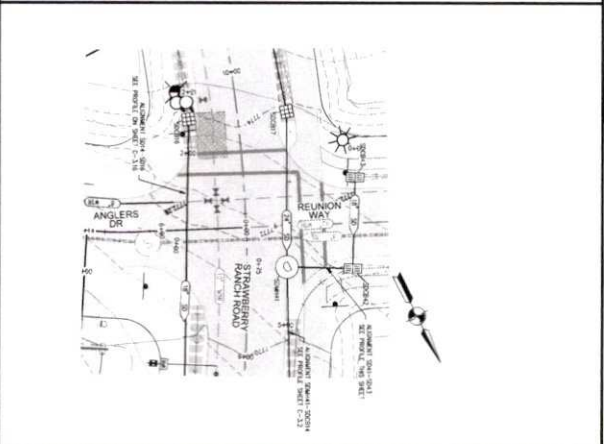
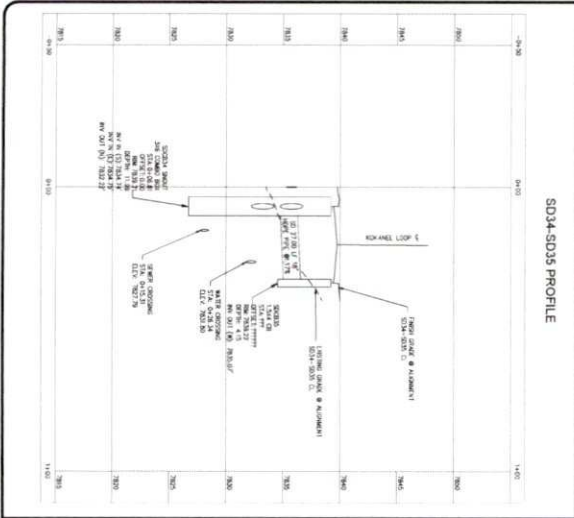
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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER ENW
SHEET TITLE C21-033	PROJECT MANAGER ENW
SD25 TO SD26 STA: 10+50 TO 11+25	DESIGNER SFS
SD27 TO SD28 STA: 0+00 TO 2+50	DATE 08/22/2023
SD29 TO SD30 STA: 11+25 TO 11+75	DESIGN ENGINEER ENW

REV	DATE	BY
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2. USEG PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH\3D\WORKING FILES\ENGINEERING\DWG\C21-033 SD SHEETS.DWG

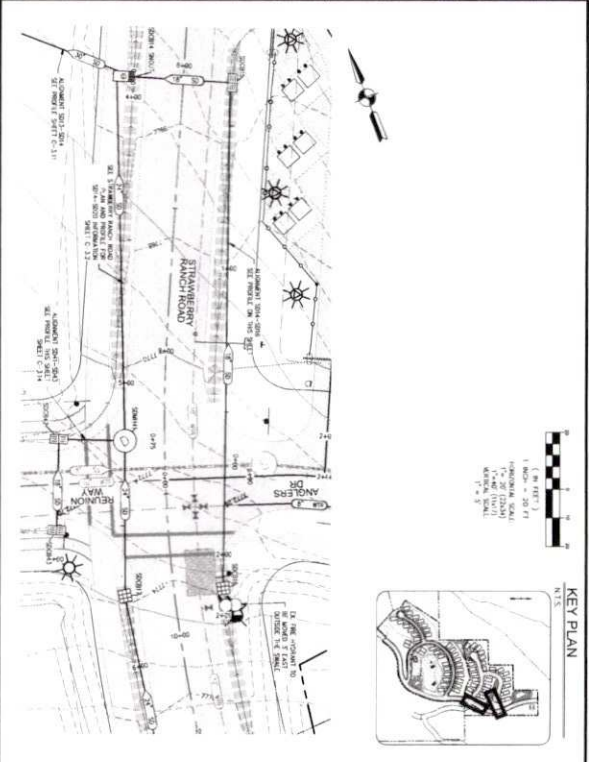
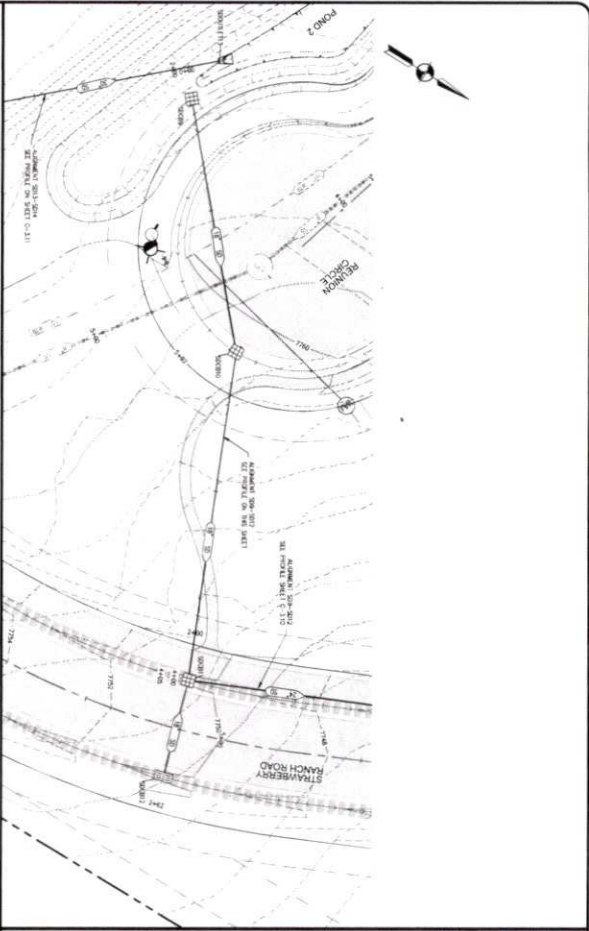
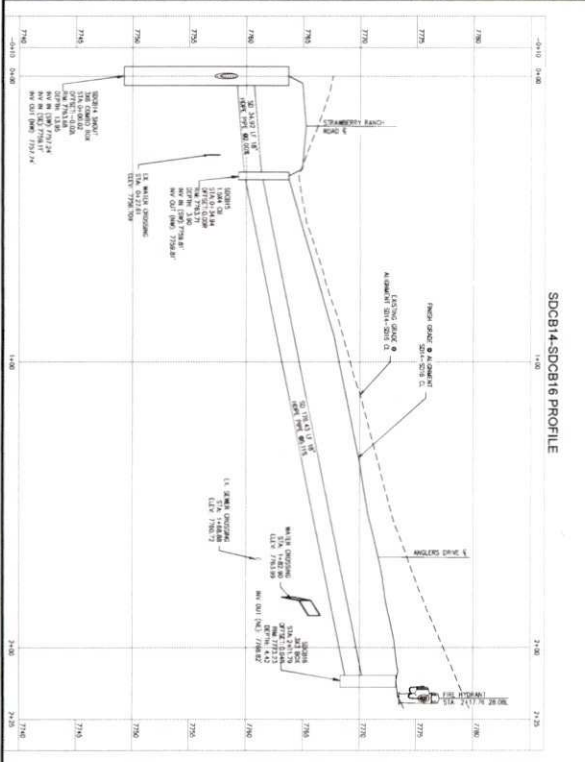
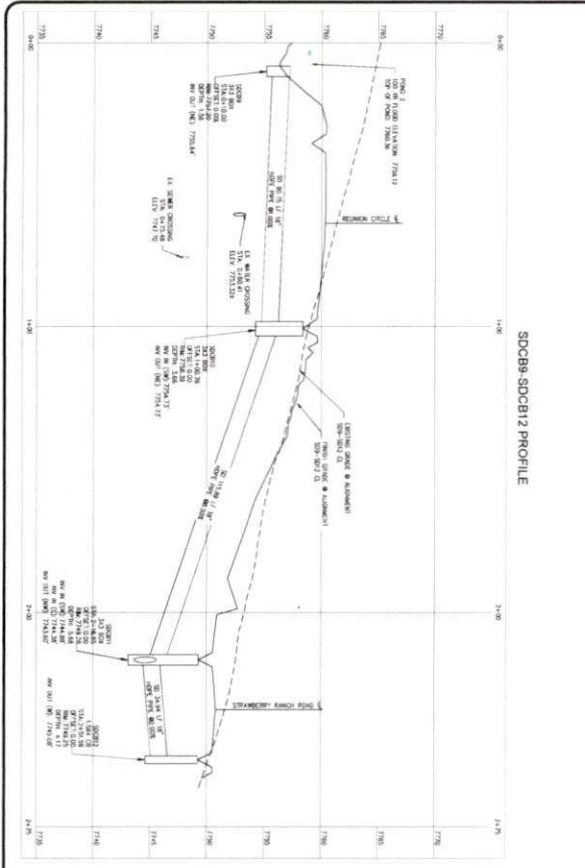
PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BMS	DATE: 08/22/2023	REVISIONS:	DATE:	BY:	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC.
SHEET TITLE: C21-033	PROJECT MANAGER: BMS	DESIGN BY: SLS	1			<p>STRUCTURAL • CIVIL • LAND SURVEYING 50 WEST CENTER • P.O. BOX 176 MIDLAND, TX 79701-0176 P. 409-854-8229 • F. 409-854-8231</p>
SHEET NO: C21-033	DRAWN BY: SLS	PROF. DATE: 08/22/2023	2			
SHEET 1 TO 500335 STA.-0+50 TO 1+00	CHECKER: BMS		3			
SHEET 2 TO 500341 STA.-0+25 TO 1+50	DESIGN ENGINEER: SLS		4			
SHEET 3 TO 500352 STA.-0+00 TO 2+25	DATE: 08/22/2023		5			



2: USE PROJECT'S CURRENT PROJECT=C21-033 STRAWBERRY RANCH CSD WORKING FILES\ENGINEERING\DWG\C21-033 00 SHEETS.DWG

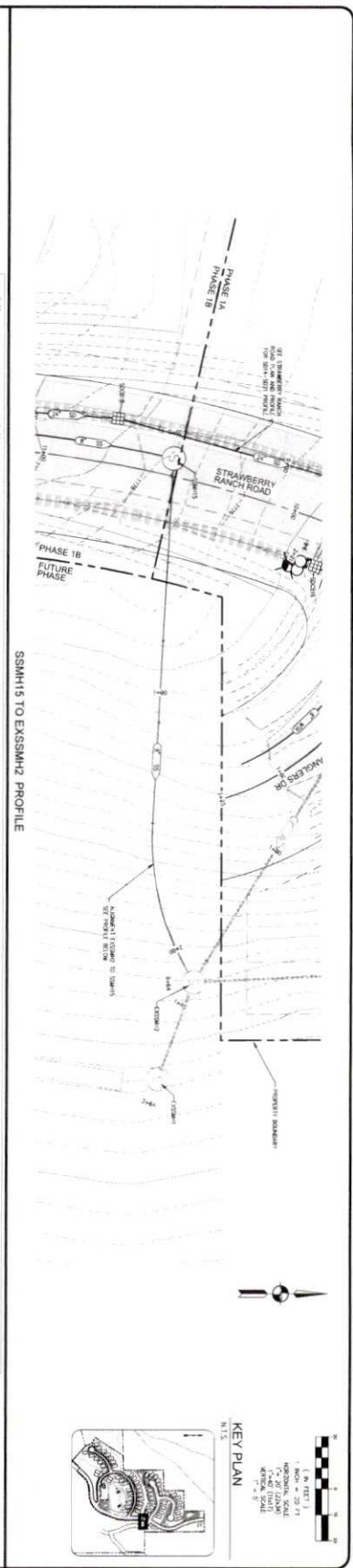
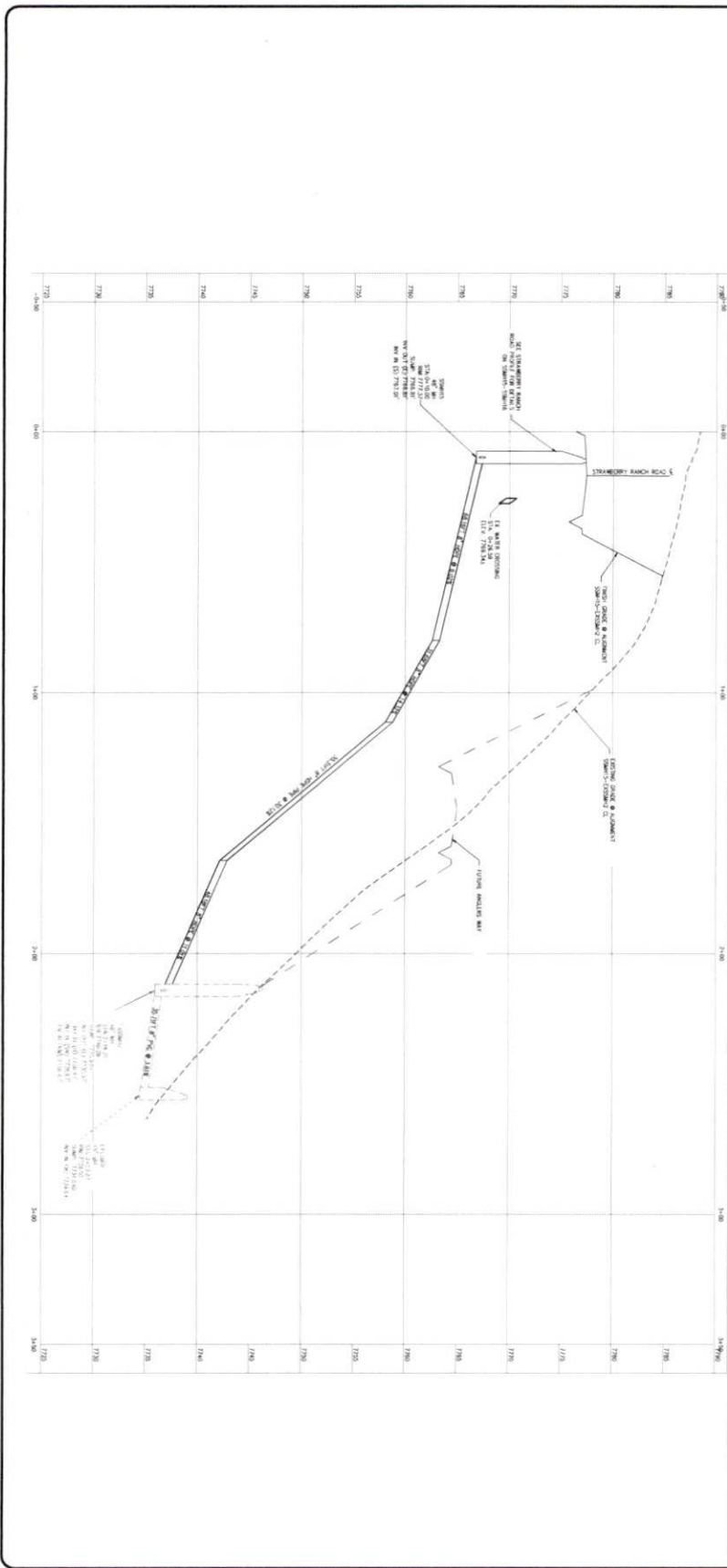
SHEET C-315	PROJECT STRAWBERRY RANCH	PROJECT ENGINEER EME	DATE BY _____	COPYRIGHT © 2003 SUMMIT ENGINEERING GROUP 55 WEST CENTER • P.O. BOX 176 HICKORY CREEK, IOWA 50450 P. 515-654-9229 • F. 515-654-9231
	SHEET TITLE SDCB34-S0/CB37 2+00 TO 7+50	PROJECT MANAGER EME		
ISSUE DATE 08/22/2023		DESIGN ENGINEER _____		REVISIONS 1 _____ 2 _____ 3 _____ 4 _____ 5 _____ 6 _____ 7 _____ 8 _____





<p>PROJECT: STRAWBERRY RANCH</p> <p>SHEET: C21-033</p> <p>DATE: C-316</p>	<p>PROJECT ENGINEER: [Signature]</p> <p>PROJECT NUMBER: [Blank]</p> <p>DATE: 08/22/2023</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	BY	DESCRIPTION																													<p>Summit Engineering Group Inc.</p> <p>STRUCTURE • CIVIL • LAND SURVEYING</p> <p>35 WEST CENTER • P.O. BOX 176</p> <p>HEBER CITY, UTAH 84003</p> <p>PHONE: 435-899-8228 • FAX: 435-899-8231</p>
NO.	DATE	BY	DESCRIPTION																																





2:\USER\PROJECTS\CURRENT\PROJECTS\221-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\221-033 3D SHEETS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BWS	DATE	BY
PROJECT NUMBER BWS	PROJECT MANAGER BWS		
DRAWN BY SFS	DESIGN ENGINEER BWS		
CHECKED BY SFS			
DATE 08/22/2023			

REVISIONS

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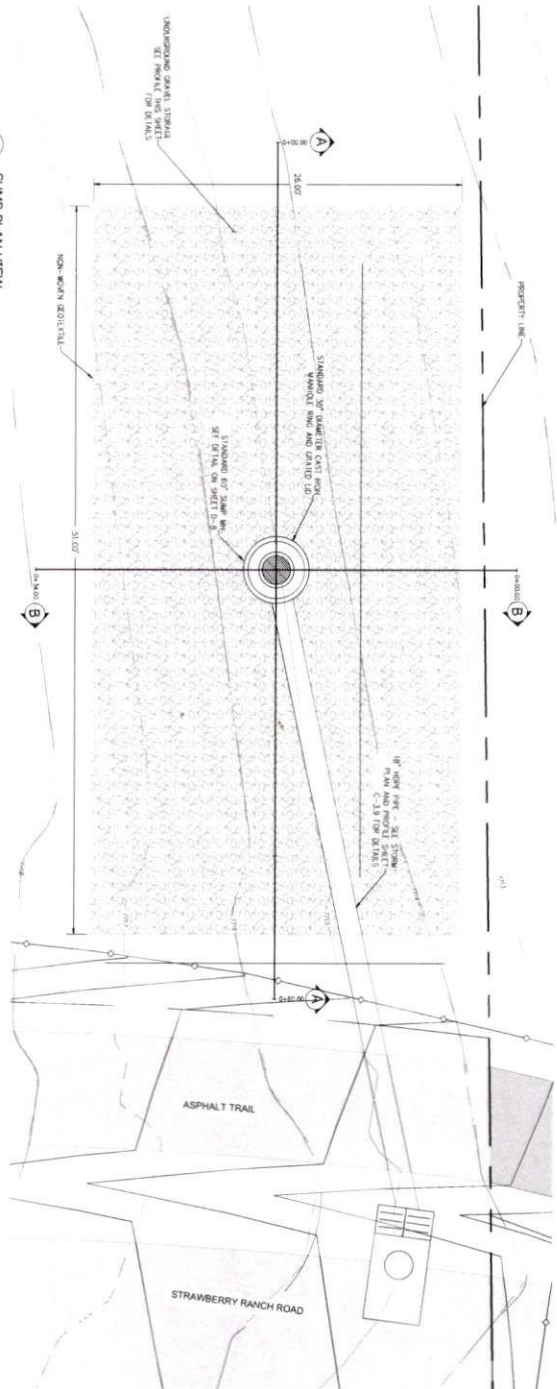
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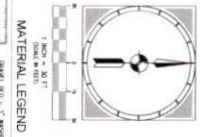
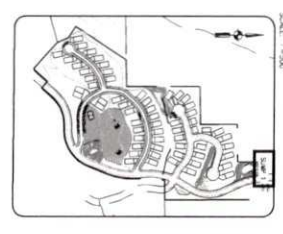
KEY PLAN  
N.T.S.  
1" = 50' HORIZONTAL SCALE  
1" = 10' VERTICAL SCALE  
GRAPHIC SCALE

PROJECT: STRAWBERRY RANCH  
SHEET: C21-033  
DATE: C-317

4.1 SUMP PLAN VIEW  
SCALE 1" = 4'

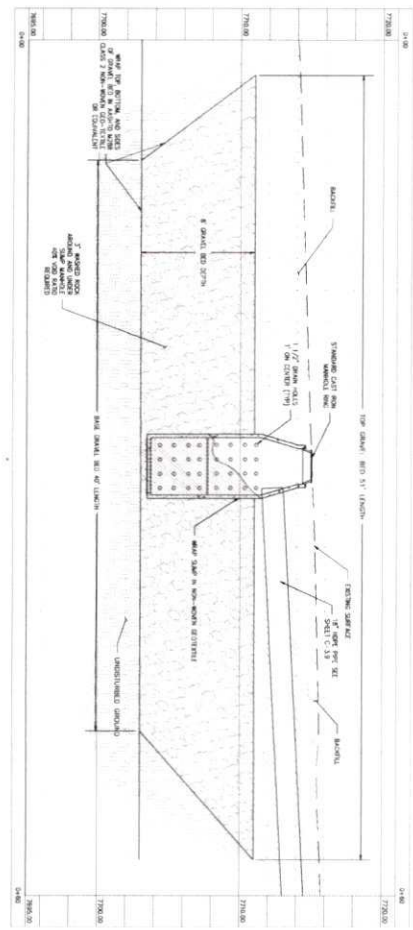


KEY PLAN  
SCALE 1" = 200'

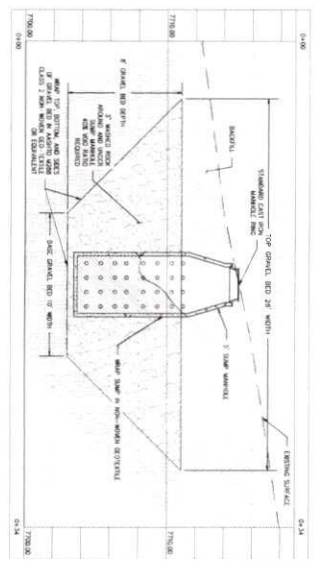


**NOTE**  
1. THIS PLAN IS TO BE CONSTRUCTION OF THE SUMP AND GRAVEL STORAGE.  
2. THE SUMP SHALL BE 3' HIGH AND 24' IN DIAMETER.  
3. THE GRAVEL STORAGE SHALL BE 6' THICK AND 24' WIDE.  
4. THE SUMP SHALL BE ON A 10' X 10' CONCRETE PAD.  
5. THE GRAVEL STORAGE SHALL BE ON A 10' X 10' CONCRETE PAD.  
6. THE SUMP SHALL BE SURROUNDED BY GRAVEL STORAGE.  
7. THE GRAVEL STORAGE SHALL BE SURROUNDED BY GRAVEL STORAGE.  
8. THE SUMP SHALL BE SURROUNDED BY GRAVEL STORAGE.  
9. THE GRAVEL STORAGE SHALL BE SURROUNDED BY GRAVEL STORAGE.  
10. THE SUMP SHALL BE SURROUNDED BY GRAVEL STORAGE.

4.2 SUMP PROFILE VIEW A-A  
SCALE 1" = 6" (VERTICAL)



4.2 SUMP PROFILE VIEW B-B  
SCALE 1" = 6" (VERTICAL)



PROJECT: STRAWBERRY RANCH SHEET TITLE: SUMP PLAN AND PROFILE SHEET NO: C-41		PROJECT ENGINEER: [Signature] PROJECT MANAGER: [Signature] DRAWN BY: SFS DATE: 08/22/2023		REVISIONS 1 2 3 4 5 6 7 8		DATE BY 08/22/23 SFS		COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. 11111 W. 100TH AVENUE, SUITE 100 DENVER, CO 80231 TEL: 303-440-9229 FAX: 303-440-9231		 STRUCTURE • CIVIL • LAND SURVEYING 11111 W. 100TH AVENUE, SUITE 100 DENVER, CO 80231 P: 303-440-9229 F: 303-440-9231	
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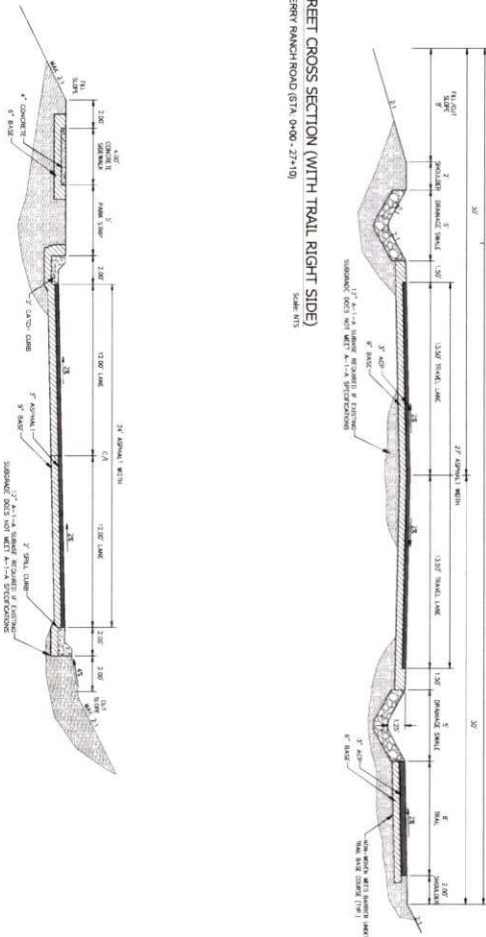
1.1 STANDARD CROSS SECTION NOTES

1. F. EXISTING CONDITIONS NOT SHOWN UNLESS OTHERWISE NOTED.
2. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
3. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
4. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
5. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
6. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
7. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
8. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
9. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
10. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.

1.2 60 STREET CROSS SECTION (WITH TRAIL RIGHT SIDE)

STRAWBERRY RANCH ROAD (STVA 0980-27+10)

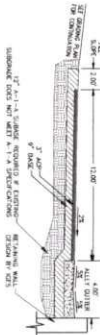
SCALE: 1/8" = 1'-0"



1.4 KOKANEE LOOP - NO CROWN

(STVA 14+78.30 TO 16+45)

SCALE: 1/8" = 1'-0"

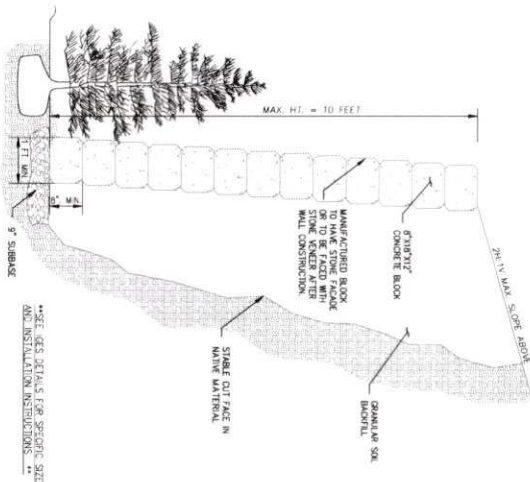


1.5 DUMPSTER ACCESS ROAD

SCALE: 1/8" = 1'-0"

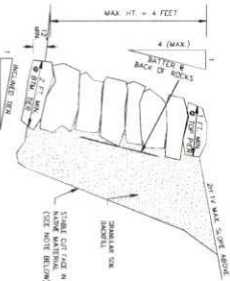
1.6 BLOCK RETAINING WALL

SCALE: 1/8" = 1'-0"



1.7 ROCK RETAINING WALL

SCALE: 1/8" = 1'-0"



1. ROCK SHALL BE STONE AND HAVE A MINIMUM WEIGHT OF 100 LBS PER CUBIC FOOT.
2. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
3. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
4. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
5. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
6. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
7. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
8. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
9. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.
10. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS.

PROJECT: STRAWBERRY RANCH

PROJECT ENGINEER: EMB

PROJECT MANAGER: EMB

DATE: 08/22/2023

ISSUE DATE: 08/22/2023

SCALE: 1/8" = 1'-0"

REVISIONS:

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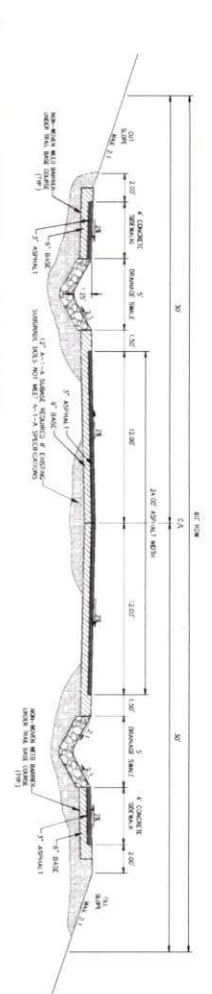
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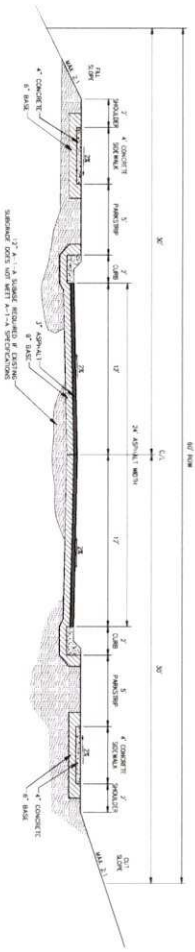
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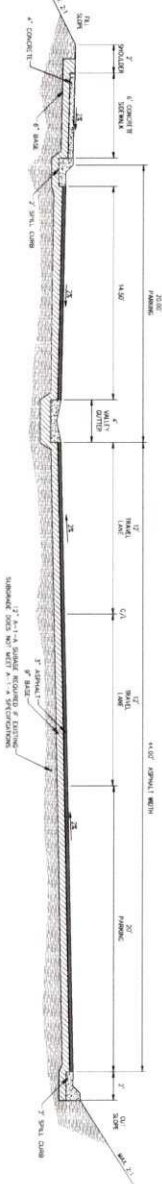
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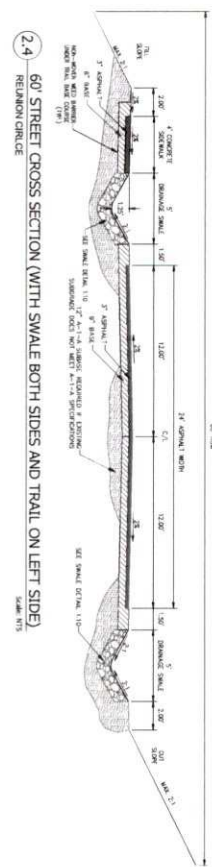
2.1 60' STREET CROSS SECTION WITH TRAIL BOTH SIDES  
REUNION WAY  
SCALE: NTS



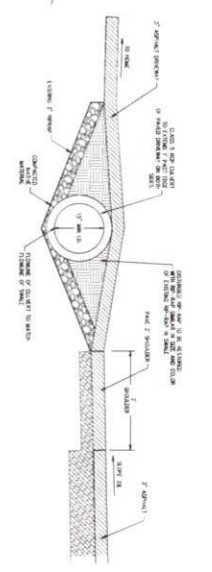
2.2 60' STREET CROSS SECTION WITH 2' CURB  
KOKANEE LOOP & KOKANEE COURT  
SCALE: NTS



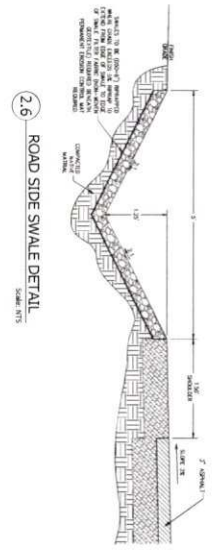
2.3 KOKANEE LOOP PARKING LOT  
SCALE: NTS



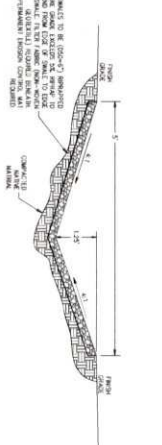
2.4 60' STREET CROSS SECTION WITH SWALE BOTH SIDES AND TRAIL ON LEFT SIDE  
REUNION DRIVE  
SCALE: NTS



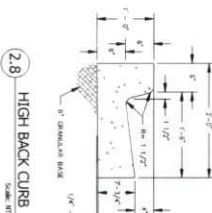
2.5 DRIVEWAY ACROSS SWALE  
SCALE: NTS



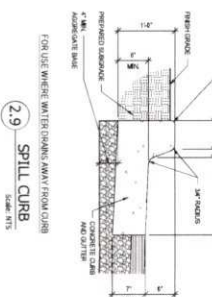
2.6 ROAD SIDE SWALE DETAIL  
SCALE: NTS



2.7 POND SWALE DETAIL  
SCALE: NTS



2.8 HIGH BACK CURB  
SCALE: NTS



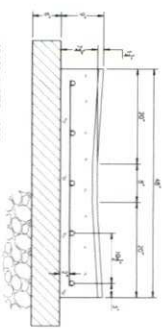
2.9 SPILL CURB  
SCALE: NTS

2:\USG\PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG

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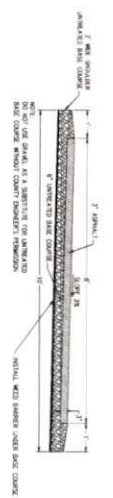
DESIGN ENGINEER: [Blank] DATE: [Blank]

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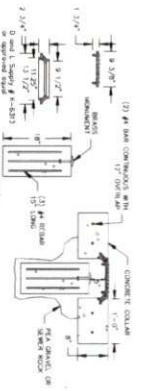
**3.1 CROSS-GUTTER**  
SCALE: NTS

**CROSS-GUTTER NOTES:**  
1. GUTTER SHALL BE A MINIMUM 1/2" DEEP AND 1/2" WIDE.  
2. GUTTER SHALL BE CONCRETE OR METAL.  
3. GUTTER SHALL BE INSTALLED ON THE OUTSIDE OF THE CURB.  
4. GUTTER SHALL BE INSTALLED ON THE INSIDE OF THE CURB.



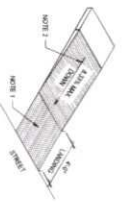
**3.2 ASPHALT TRAIL**  
SCALE: NTS

**ASPHALT TRAIL NOTES:**  
1. ASPHALT TRAIL SHALL BE 1/2" DEEP AND 1/2" WIDE.  
2. ASPHALT TRAIL SHALL BE INSTALLED ON THE OUTSIDE OF THE CURB.  
3. ASPHALT TRAIL SHALL BE INSTALLED ON THE INSIDE OF THE CURB.



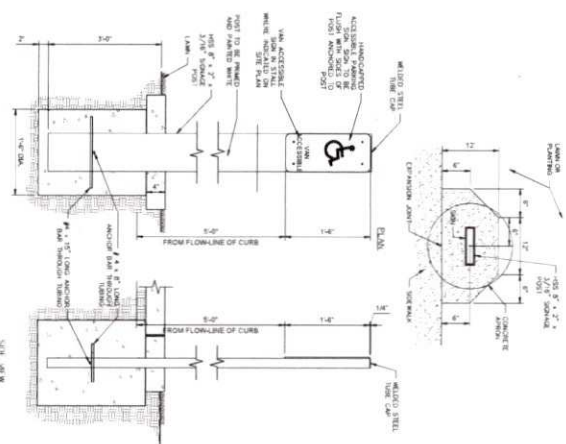
**3.3 STREET MONUMENT**  
SCALE: NTS

**STREET MONUMENT NOTES:**  
1. STREET MONUMENT SHALL BE 1/2" DIAMETER AND 1/2" HIGH.  
2. STREET MONUMENT SHALL BE CONCRETE.  
3. STREET MONUMENT SHALL BE INSTALLED ON THE OUTSIDE OF THE CURB.  
4. STREET MONUMENT SHALL BE INSTALLED ON THE INSIDE OF THE CURB.



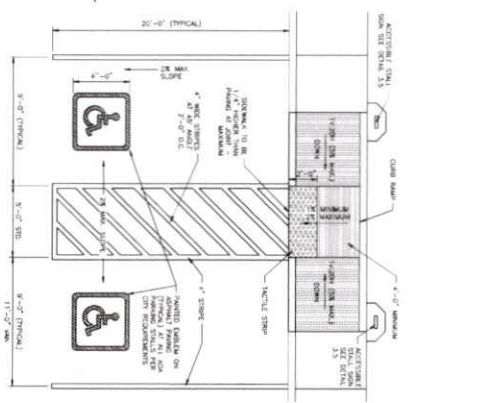
**3.4 ASPHALT TRAIL ADA RAMP**  
SCALE: NTS

**ASPHALT TRAIL ADA RAMP NOTES:**  
1. ASPHALT TRAIL ADA RAMP SHALL BE 1/2" WIDE AND 1/2" DEEP.  
2. ASPHALT TRAIL ADA RAMP SHALL BE INSTALLED ON THE OUTSIDE OF THE CURB.  
3. ASPHALT TRAIL ADA RAMP SHALL BE INSTALLED ON THE INSIDE OF THE CURB.



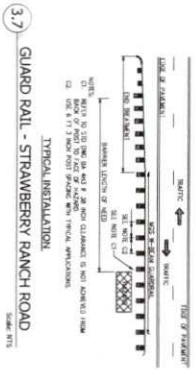
**3.5 ADA SIGNS**  
SCALE: NTS

**ADA SIGNS NOTES:**  
1. ADA SIGNS SHALL BE 1/2" DIAMETER AND 1/2" HIGH.  
2. ADA SIGNS SHALL BE CONCRETE.  
3. ADA SIGNS SHALL BE INSTALLED ON THE OUTSIDE OF THE CURB.  
4. ADA SIGNS SHALL BE INSTALLED ON THE INSIDE OF THE CURB.



**3.6 ADA PARKING**  
SCALE: NTS

**ADA PARKING NOTES:**  
1. ADA PARKING SHALL BE 1/2" WIDE AND 1/2" DEEP.  
2. ADA PARKING SHALL BE INSTALLED ON THE OUTSIDE OF THE CURB.  
3. ADA PARKING SHALL BE INSTALLED ON THE INSIDE OF THE CURB.



**3.7 GUARD RAIL - STRAWBERRY RANCH ROAD**  
SCALE: NTS

**GUARD RAIL - STRAWBERRY RANCH ROAD NOTES:**  
1. GUARD RAIL SHALL BE 1/2" WIDE AND 1/2" DEEP.  
2. GUARD RAIL SHALL BE INSTALLED ON THE OUTSIDE OF THE CURB.  
3. GUARD RAIL SHALL BE INSTALLED ON THE INSIDE OF THE CURB.

PROJECT: STRAWBERRY RANCH  
PROJECT ENGINEER: [Name]  
PROJECT MANAGER: [Name]  
DATE: 08/22/2023

REVISIONS: [Table with columns for revision number, description, and date]

Summit Engineering Group Inc.  
STRUCTURE • CIVIL • LAND SURVEYING  
35 W. CENTER ST. SUITE 110  
MOUNTAIN VIEW, CO 80559  
TEL: 303-661-8800 FAX: 303-661-8801

Regulatory Sign Specifications and Placement  
Wasatch County Signs December 17, 2022



Regulatory Sign Specifications  
\*Indicates permitted placement signs on the regulatory sign sheet

Regulatory Sign Specifications  
STOP - 30" x 30" - Octagonal shape - Red background with white lettering and black border  
AHEAD OF STOP - 30" x 30" - Octagonal shape - Red background with white lettering and black border  
... (Additional sign specifications follow)

4.1 WASATCH COUNTY REGULATORY SIGNAGE

Specifications BY/AS/001

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	STOP SIGN	1	EA	
2	AHEAD OF STOP SIGN	1	EA	
3	... (Other regulatory signs)	...	...	...

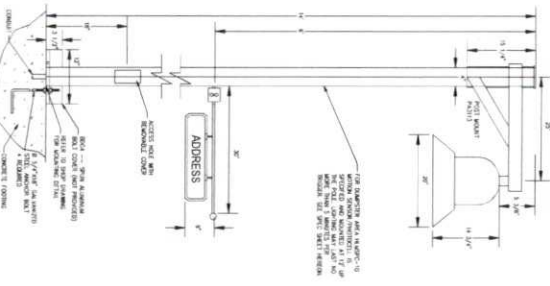
Street Sign Specifications and Placement  
Wasatch County Signs December 17, 2022



Street Sign Specifications  
\*Indicates permitted placement signs on the regulatory sign sheet

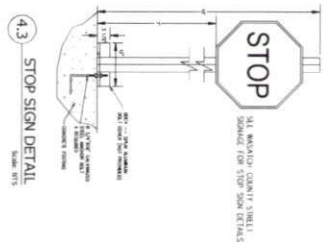
Street Sign Specifications  
1400 SOUTH - 14" x 24" - Rectangular shape - White background with black lettering  
RED PHILLY RIVER - 14" x 24" - Rectangular shape - White background with black lettering  
... (Additional street sign specifications follow)

4.2 WASATCH COUNTY STREET SIGNAGE



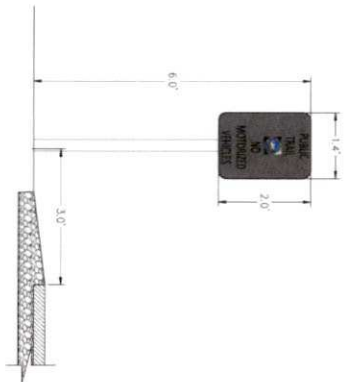
4.6 STREET LIGHT POLE DETAIL

4.5 STREET LIGHT SHROUD & BULB DETAIL



4.3 STOP SIGN DETAIL

4.4 WASATCH COUNTY TRAIL SIGNAGE



Trail Sign Specifications  
14" x 14" - Square shape - Blue background with white lettering  
... (Additional trail sign specifications follow)

Specifications BL/BS/1

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	BLUETTI - LED	1	EA	
2	... (Other items)	...	...	...

4.7 FIRE HYDRANT LIGHT BOLLARD



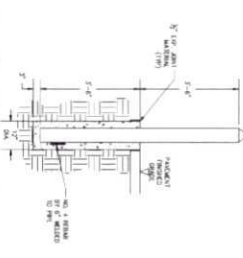
© 2022 PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: SWS	DATE: 08/22/2023
PROJECT NUMBER: SWS	PROJECT MANAGER: SWS	
SHEET TITLE: SIGNS AND STREET LIGHT DETAILS	DRAWN BY: SFS	CHECK ENGINEER: SWS
SHEET NUMBER: C21-033	DATE: 08/22/2023	

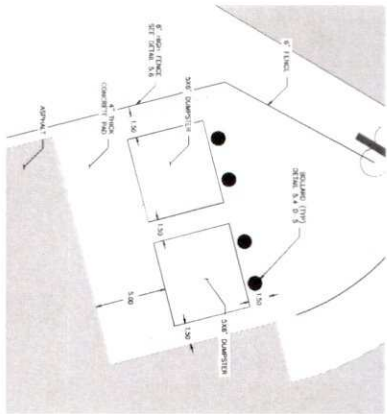
Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING



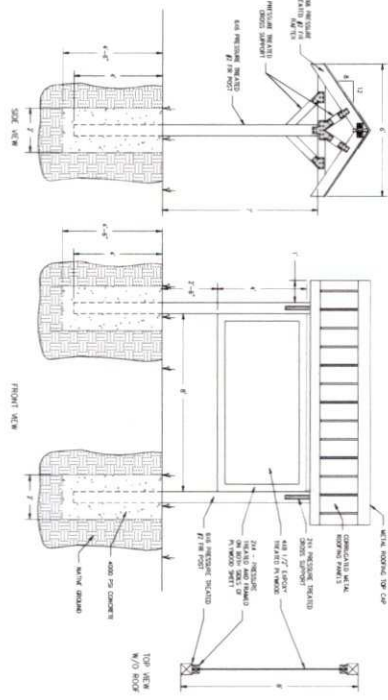
5.1 BACK VINYL COVERED CHAIN LINK FENCE  
SCALE: NTS



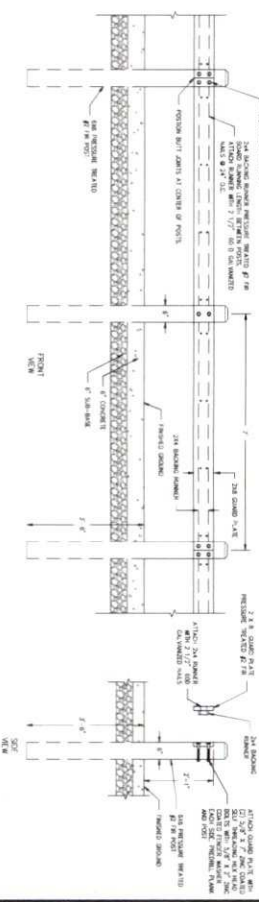
5.4 BOLLARD FOR DUMPSTER AREA  
SCALE: NTS



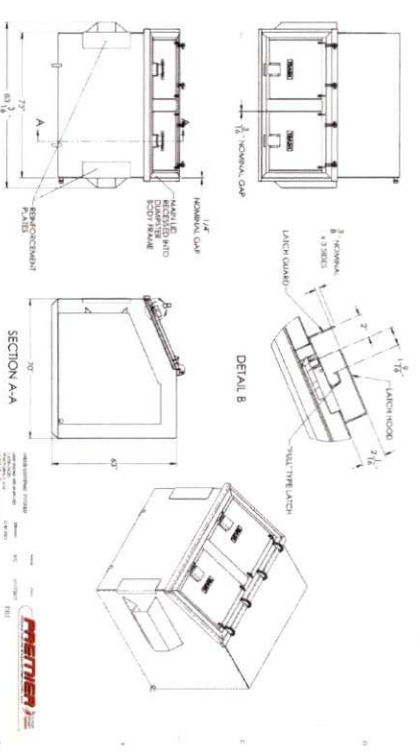
5.2 DUMPSTER AREA PLAN VIEW DETAIL  
SCALE: NTS



5.3 KIOSK SIGN DETAIL  
SCALE: NTS



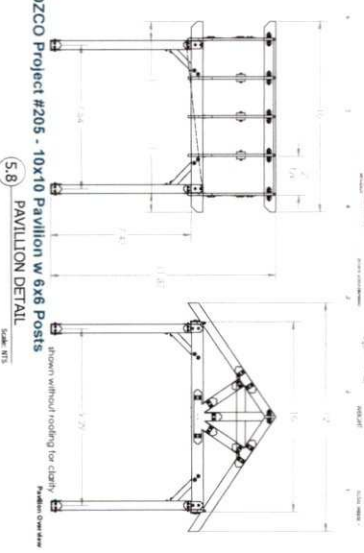
5.9 GUARD RAIL - DUMPSTER AREA  
SCALE: NTS



5.5 BEAR PROOF DUMPSTER  
SCALE: NTS

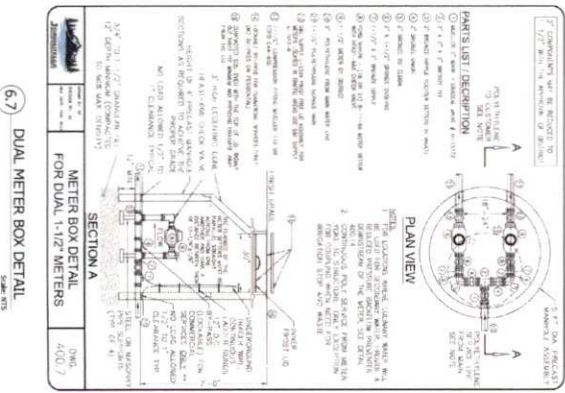
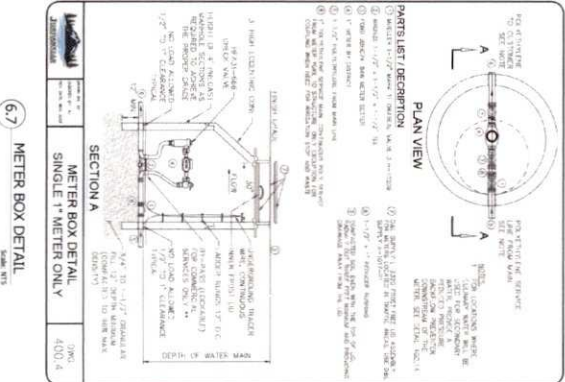
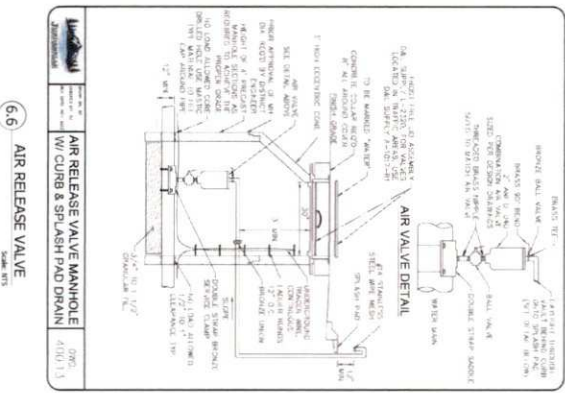
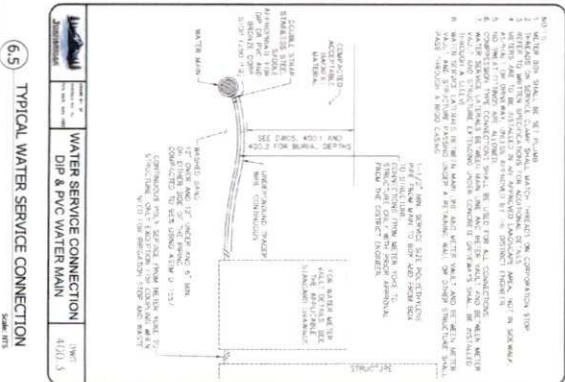
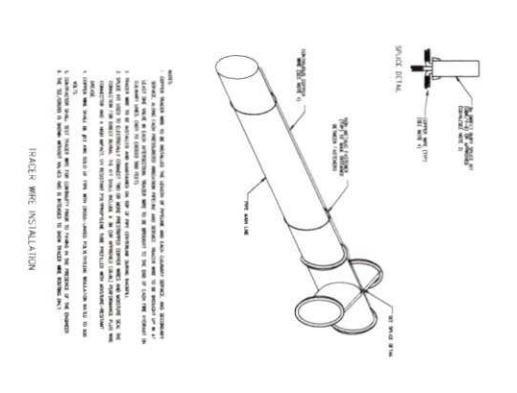
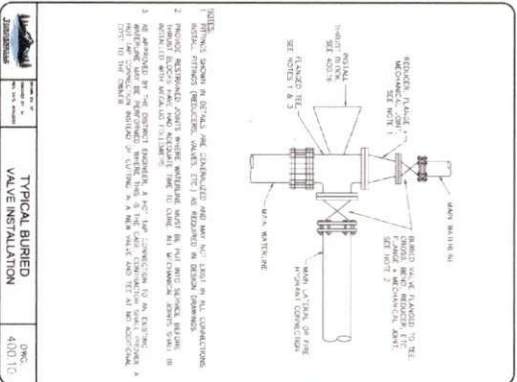
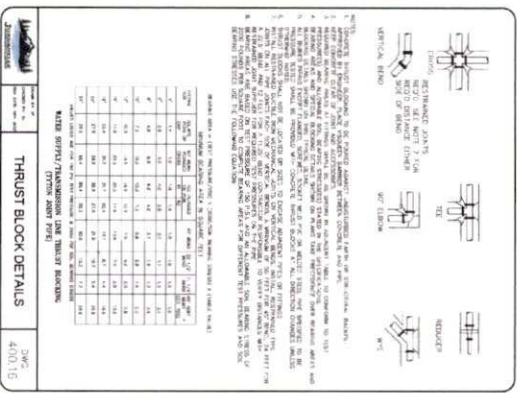
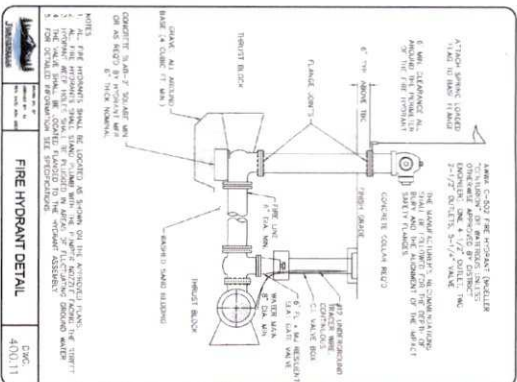


OZCO Project #205 - 10x10 Pavilion w 6x6 Posts  
5.8 PAVILION DETAIL  
SCALE: NTS

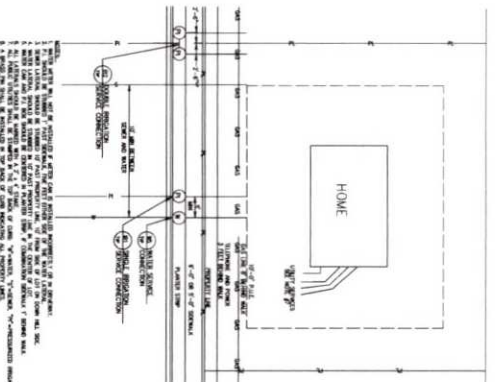
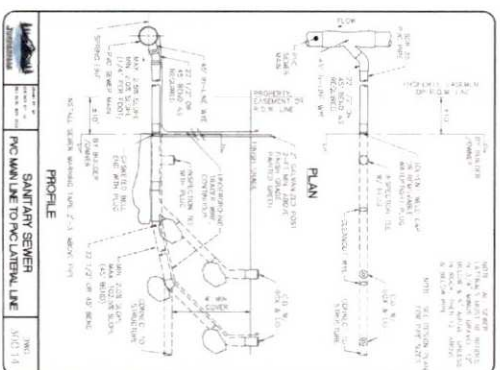
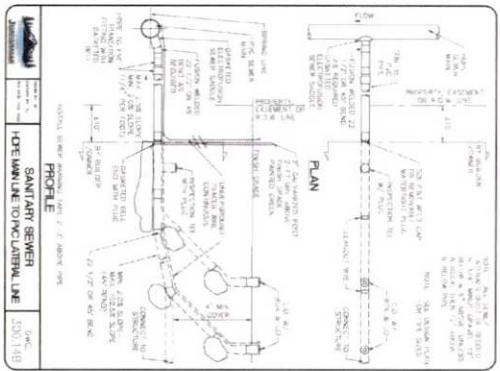
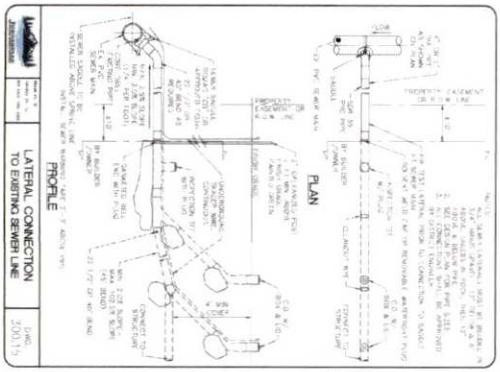
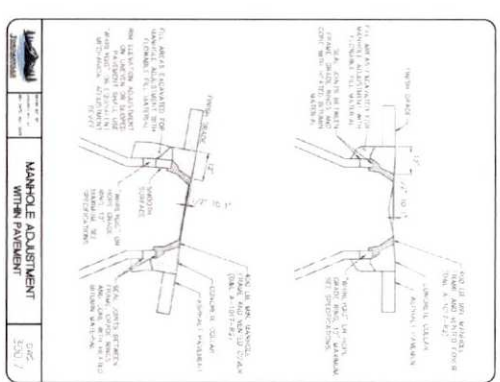
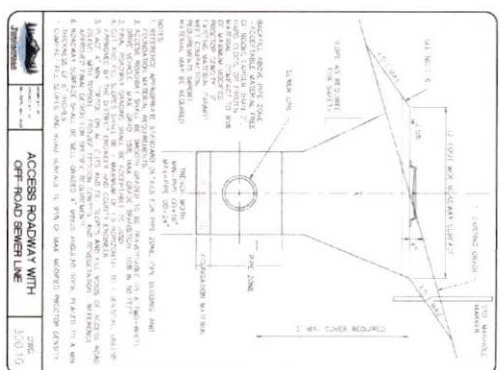
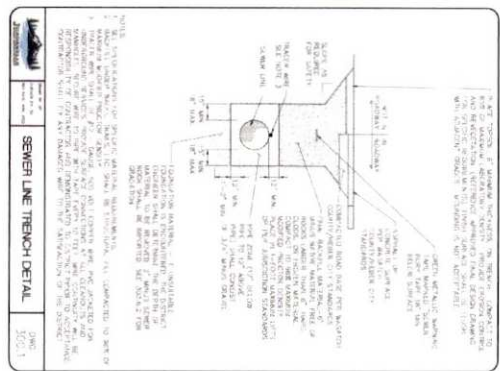
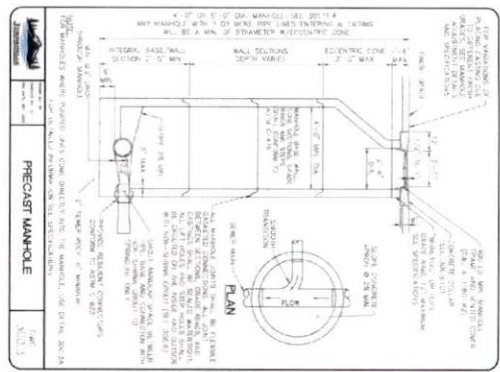


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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: [Blank]	DATE BY: [Blank]	COPYRIGHT © 2003 SUMMIT ENGINEERING GROUP, INC. 100 WEST CENTER ST., SUITE 1176 DENVER, CO 80202 TEL: 303-733-8222 FAX: 303-733-8223 WWW.SUMMIT-ENG.COM
PROJECT MANAGER: [Blank]	PROJECT WORKER: [Blank]	REVISIONS: [Table with 2 columns: No., Description]	
SHEET TITLE: FENCE DETAILS, TRAIL KIOSK, DUMPSTER, BOLLARD, GUARDRAIL DETAIL	DATE: 08/22/2003	DESIGN ENGINEER: [Blank]	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CEM • LAND SURVEYING 100 WEST CENTER ST., SUITE 1176 DENVER, CO 80202 TEL: 303-733-8222 • FAX: 303-733-8223





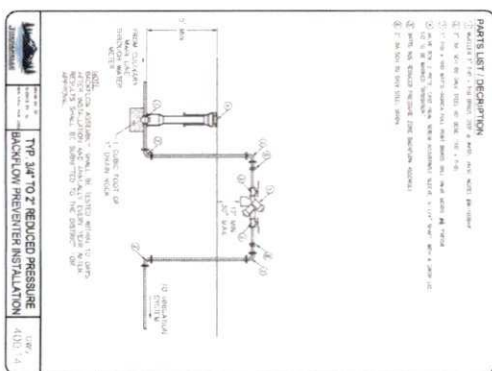
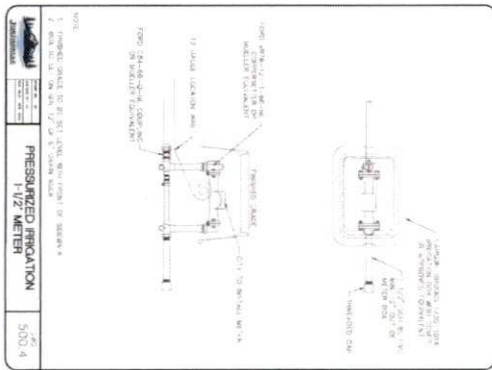
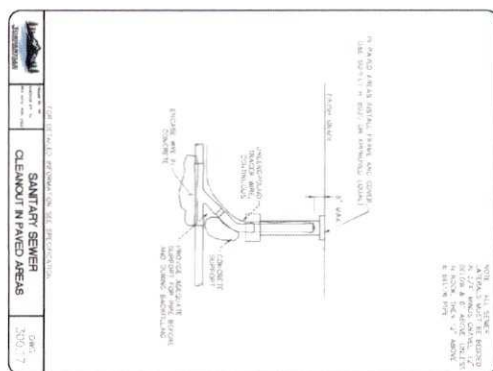
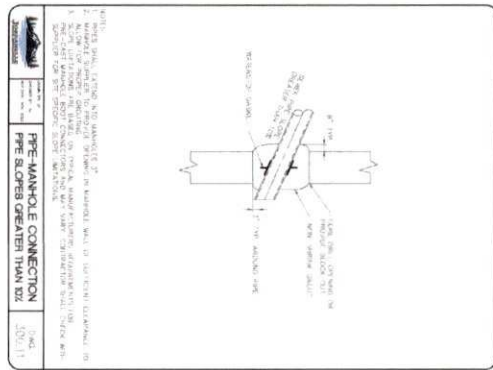


7.5 SANITARY LATERAL TO EXISTING SEWER MAIN SCALE: 1/8" = 1'-0"

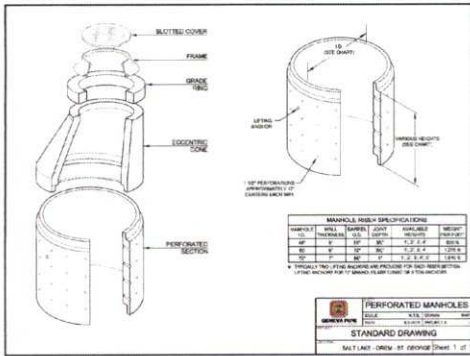
7.6 SANITARY LATERAL HDPE TO PVC SCALE: 1/8" = 1'-0"

7.7 SANITARY LATERAL PVC TO PVC SCALE: 1/8" = 1'-0"

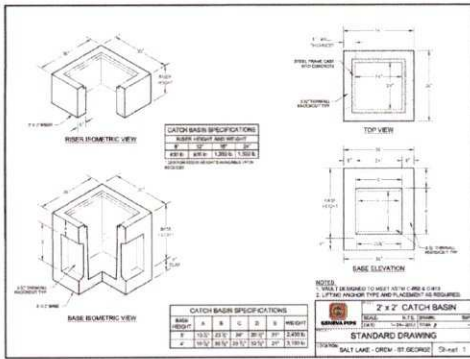
7.8 LATERAL LOCATIONS SCALE: 1/8" = 1'-0"



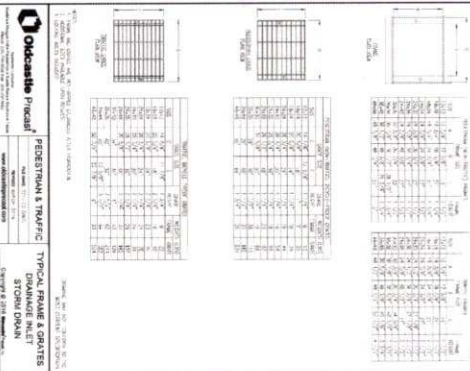
9.5 SUMP MANHOLE DETAIL  
SCALE: NTS



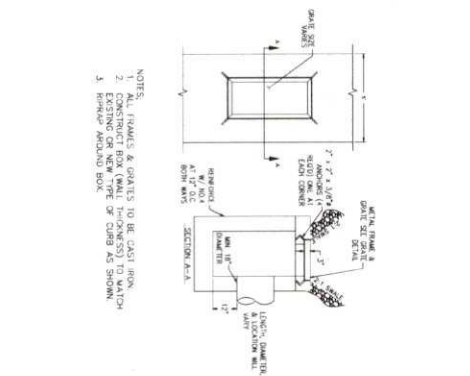
9.6 3X3 CATCH BASIN DETAIL  
SCALE: NTS



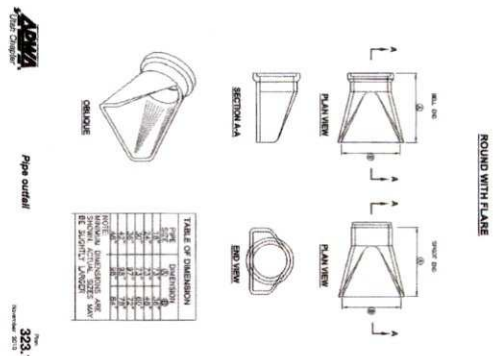
9.7 GRATE & FRAME DETAIL  
SCALE: NTS



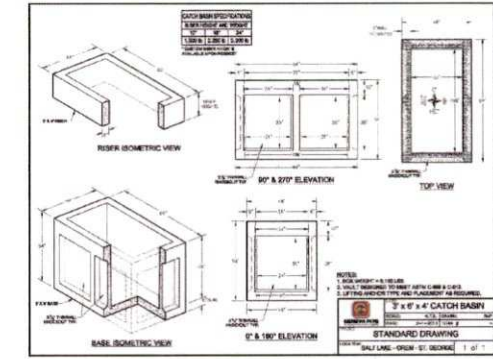
9.8 INLET IN SWALE DETAIL  
SCALE: NTS



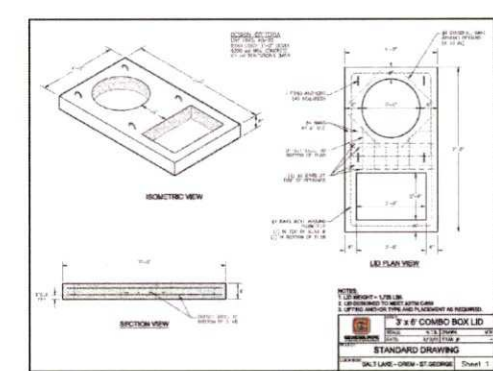
9.1 PIPE OUTFALL  
SCALE: NTS



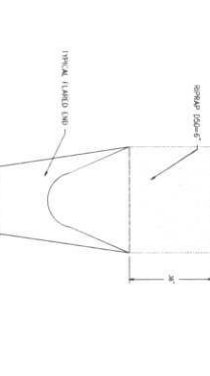
9.2 3X6 CATCH BASIN DETAIL  
SCALE: NTS



9.3 3X6 COMBO BOX LID  
SCALE: NTS



9.4 PIPE OUTLET WITH RIPRAP PROTECTION  
SCALE: NTS



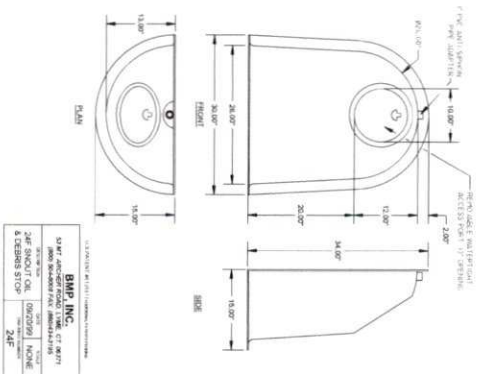
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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: EMB	DATE: 08/22/2023
PROJECT NUMBER: C21-033	PROJECT MANAGER: EMB	
SHEET TITLE: STORM WATER DETAILS	DRAWN BY: SFS	
	DATE: 08/22/2023	

NO.	REVISIONS	DATE	BY
1			
2			
3			
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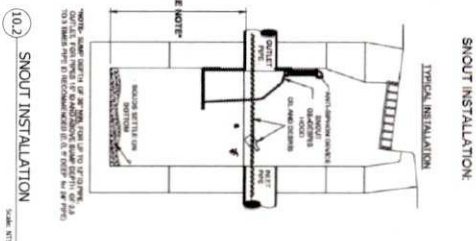
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10 WEST CENTER • P.O. BOX 176  
HEBER CITY, UTAH 84057  
P: 435-854-9228 F: 435-854-9231

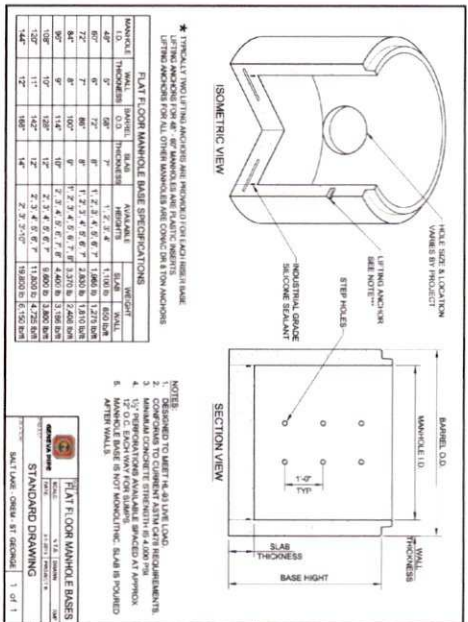


10.1 SNOOT  
SCALE: NTS

BMP, INC.	
DATE: 08/09/11	BY: ZAF
PROJECT: STRAWBERRY RANCH	NO.:
DESCRIPTION: SNOOT	NO.:
DATE: 08/09/11	BY: ZAF



10.2 SNOOT INSTALLATION  
SCALE: NTS



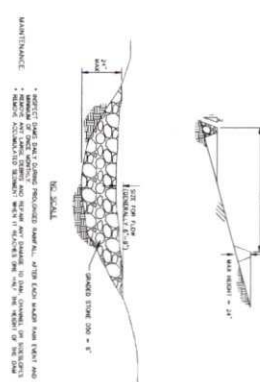
10.3 STORM MANHOLE BASE  
SCALE: NTS

\* TYPICALLY TWO 1/2" DIA ANCHORS ARE REQUIRED FOR EACH BASE. LIFTING ANCHORS FOR ALL OTHER MANHOLES ARE PLASTIC INSERTS.

MANHOLE	MANHOLE		AVAILABLE	WEIGHT
	DIAMETER	HEIGHT		
48"	6"	6"	1-2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12	11.00 LB
60"	6"	6"	1-2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12	12.75 LB
72"	6"	6"	1-2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12	14.50 LB
90"	6"	6"	1-2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12	17.25 LB
108"	11"	12"	2-3, 4, 5, 6, 7, 8, 9, 10, 11, 12	21.00 LB
126"	11"	12"	2-3, 4, 5, 6, 7, 8, 9, 10, 11, 12	24.75 LB
144"	12"	14"	2-3, 4, 5, 6, 7, 8, 9, 10, 11, 12	28.50 LB

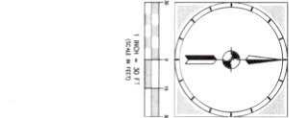
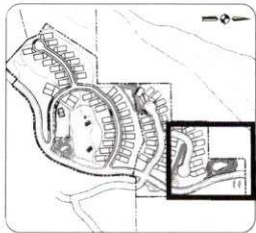
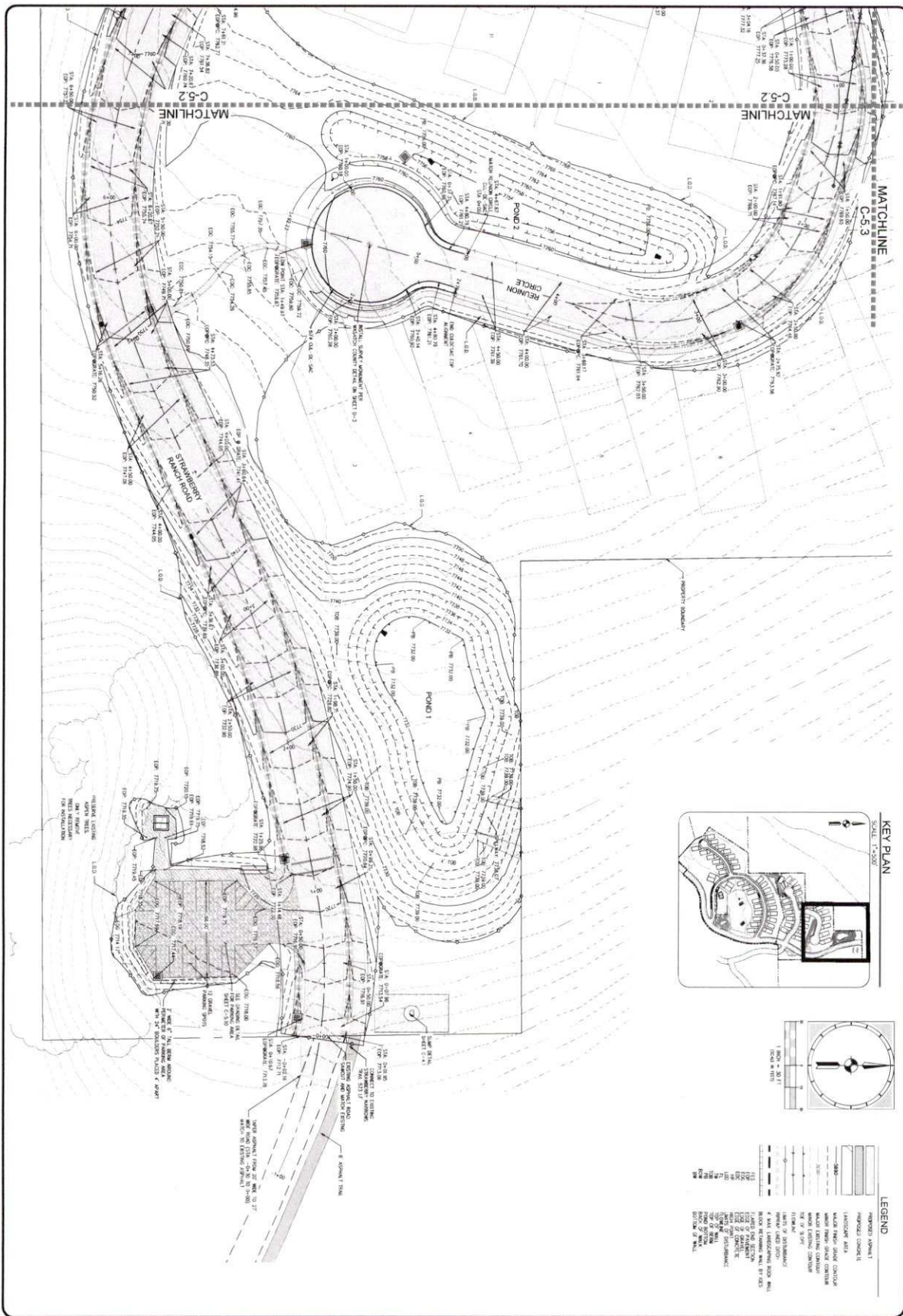
- NOTES:
- CONFORM TO ALL CITY AND STATE REQUIREMENTS.
  - MANHOLE CONCRETE STRENGTH IS 4000 PSI.
  - 1/2" DIA ANCHORS FOR SLABS SHALL BE PERMITTED.
  - 1/2" DIA ANCHORS FOR SLABS SHALL BE PERMITTED.
  - ANCHOR BOLTS SHALL BE 1/2" DIA.

DATE: 08/09/11	BY: ZAF
PROJECT: STRAWBERRY RANCH	NO.:
DESCRIPTION: STORM MANHOLE BASE	NO.:
DATE: 08/09/11	BY: ZAF



10.4 ROCK CHECK DAM  
SCALE: NTS

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BWS	DATE: 08/09/11	REVISIONS	DATE	BY	COPYRIGHT © 2011 SUMMIT ENGINEERING GROUP, INC.	Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING 35 WEST CENTER • P.O. BOX 176 NEW RIVER CO. MISSOURI P. 435-824-9228 • F. 435-854-8231
PROJECT NUMBER: C21-033	PROJECT NUMBER: BWS	DATE: 08/09/11					
SHEET TITLE: STORM WATER DETAILS	DESIGNER: SFS	DATE: 08/09/11	1				
SCALE: D=1:10	DATE: 08/22/2013	DATE: 08/09/11	2				
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			4				
			5				
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			8				



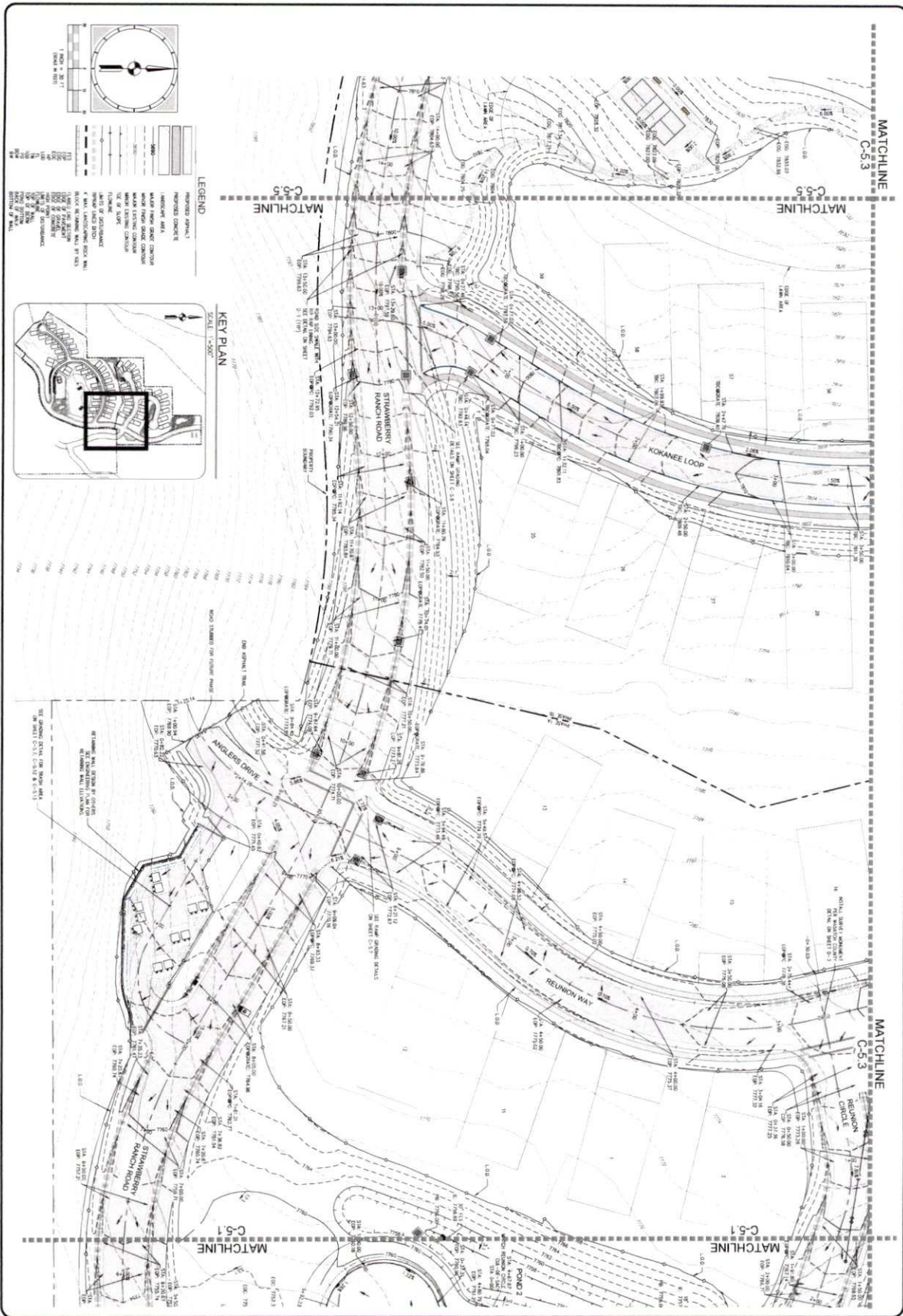
**LEGEND**

- PROPOSED BUILDING
- PROPOSED DRIVEWAY
- PROPOSED WALKWAY
- EXISTING BUILDING
- EXISTING DRIVEWAY
- EXISTING WALKWAY
- EXISTING FENCE
- EXISTING UTILITY
- EXISTING RETAINING WALL
- EXISTING SITE WALL
- PROPOSED RETAINING WALL
- PROPOSED SITE WALL
- PROPOSED FENCE
- PROPOSED UTILITY
- PROPOSED SITE WALL
- PROPOSED FENCE
- PROPOSED UTILITY

Z:\02 PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH\C30\WORKING FILES\ENGINEERING\C21-033 GRADING PLAN.DWG

<b>PROJECT:</b> STRAWBERRY RANCH  <b>SHEET TITLE:</b> GRADING PLAN  <b>DATE:</b> 08/22/2023	<b>PROJECT ENGINEER:</b> BME <b>PROJECT MANAGER:</b> BME <b>OWNER:</b> SFS	<b>REVISIONS:</b> <table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th><th>BY</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DESCRIPTION	DATE	BY																													<b>DATE:</b>  <b>BY:</b>  				
	NO.	DESCRIPTION	DATE	BY																																			
<b>PROJECT NUMBER:</b> C21-033 <b>SHEET NUMBER:</b> C-51	<b>PROJECT ENGINEER:</b> BME <b>PROJECT MANAGER:</b> BME <b>OWNER:</b> SFS	<b>REVISIONS:</b> <table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th><th>BY</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DESCRIPTION	DATE	BY																																	<b>DATE:</b>  <b>BY:</b>  
NO.	DESCRIPTION	DATE	BY																																				



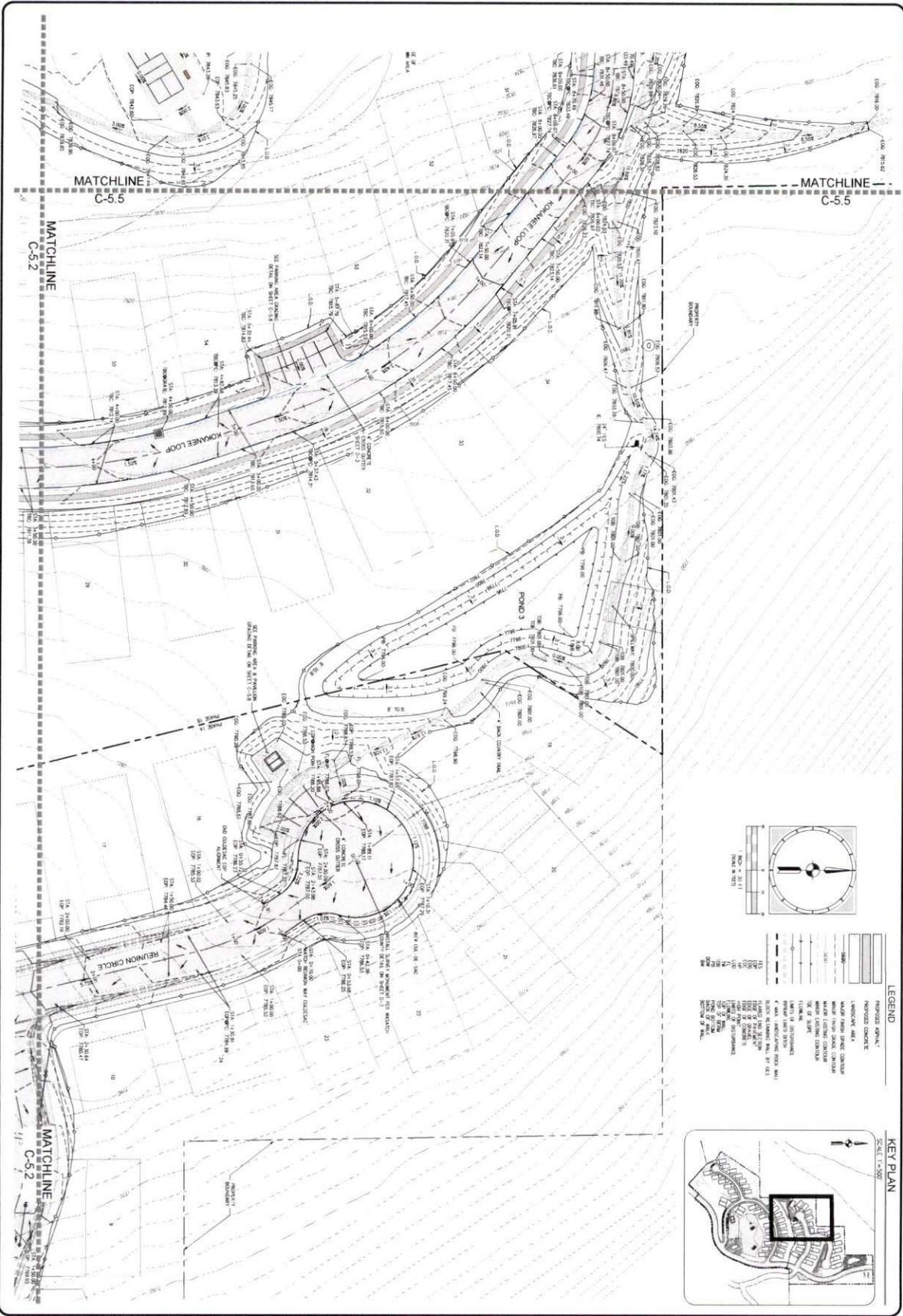


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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMS	DATE	BY
SHEET TITLE GRADING PLAN	PROJECT MANAGER BMS	REVISIONS	
DRAWN BY S.S.	DATE 08/22/2023	DESIGN ENGINEER BMS	

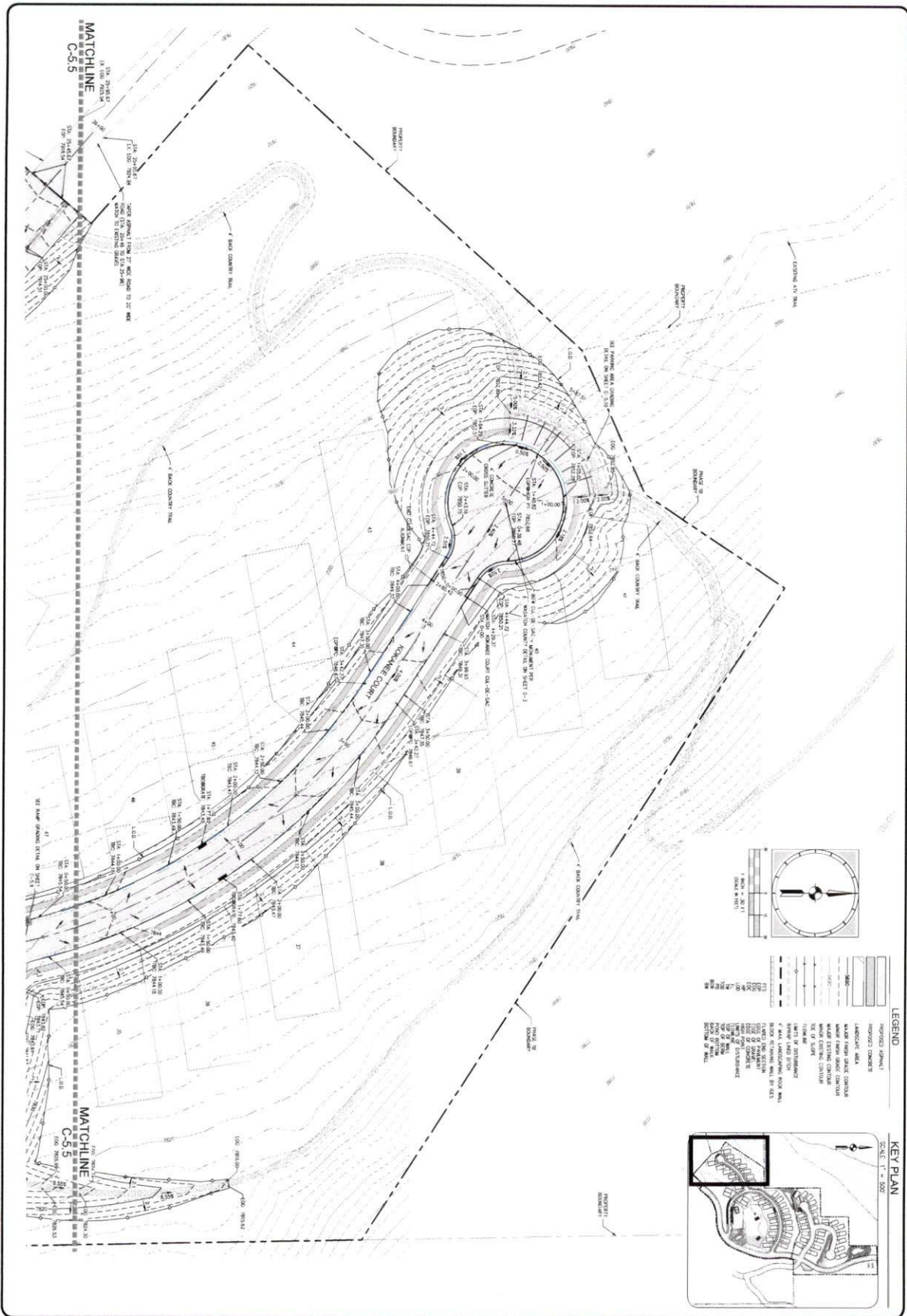
PROJECT: C21-033  
SHEET: C-5.2

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HEBER, UT 84043  
P. 435-854-8222 • F. 435-854-8231



2: \\CSD\PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH\CSD\WORKING FILES\ENGINEERING\DWG\C21-033 GRADING PLAN.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BWS	DATE BY	COPYRIGHT © 2022 SUMMIT ENGINEERING GROUP, INC.  SUMMIT & ASSOCIATES 1111 W. CENTER ST. SUITE 200 DENVER, CO 80202 TEL: 303.733.1111 FAX: 303.733.1112 WWW.SUMMIT-ENG.COM
SHEET TITLE GRADING PLAN	PROJECT MANAGER BWS	REVISIONS	
SCALE C-5.3	DRAWN BY SFS	DATE	STRUCTURAL • CME • LAND SURVEYING 55 WEST CENTER • P.O. BOX 178 DENVER, CO 80202 TEL: 303.733.1111 • FAX: 303.733.1112
	DATE 08/22/2023	DESIGN ENGINEER	

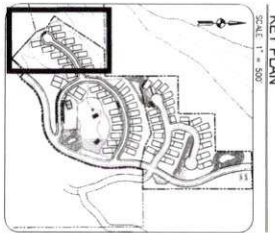


**LEGEND**

PROPOSED LAYOUT

- EXISTING CONTOUR
- PROPOSED CONTOUR
- LANDSCAPE AREA
- MAJOR FLOOR SLAB CONTOUR
- MINOR FLOOR SLAB CONTOUR
- MAJOR EXISTING CONTOUR
- MINOR EXISTING CONTOUR
- TOP OF GRADE
- FINISH GRADE
- EXISTING WALL
- PROPOSED WALL
- SECTION OF WALL

1" = 10' (VERTICAL)



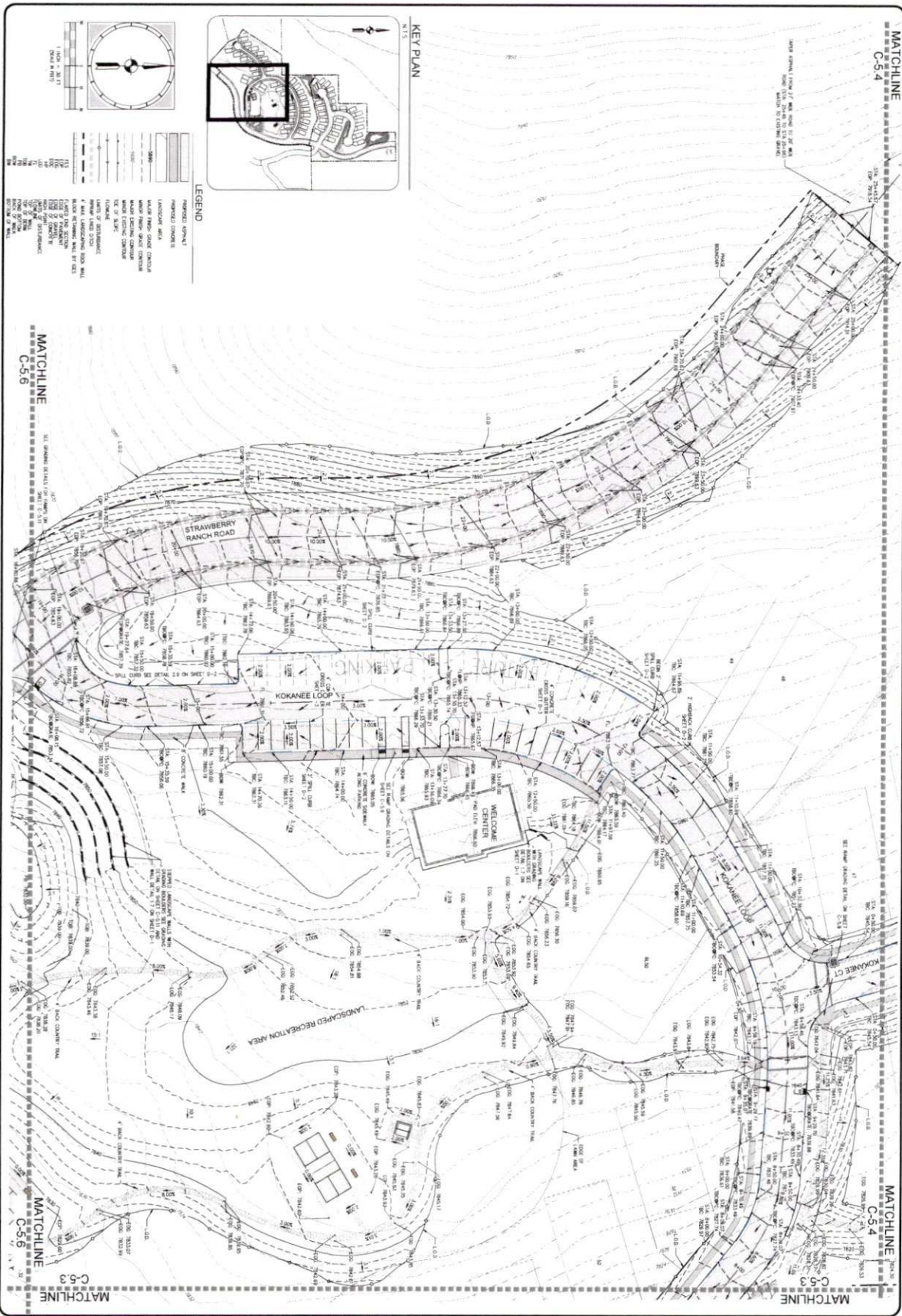
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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMB	REVISIONS	DATE	BY
DRAWN BY C-54	PROJECT MANAGER BMB	1		
SCALE C-54	DESIGNER SFS	2		
	DATE 08/22/2023	3		
		4		
		5		
		6		
		7		
		8		

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 DENVER, CO 80202  
 P: 435-654-9223 • F: 435-654-9231





PROJECT: STRAWBERRY RANCH  
 SHEET TITLE: GRADING PLAN  
 PROJECT ENGINEER: BWS  
 PROJECT NUMBER: BWS  
 DRAWN BY: SFS  
 DATE: 08/22/2023

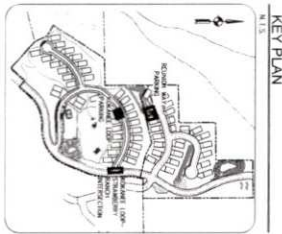
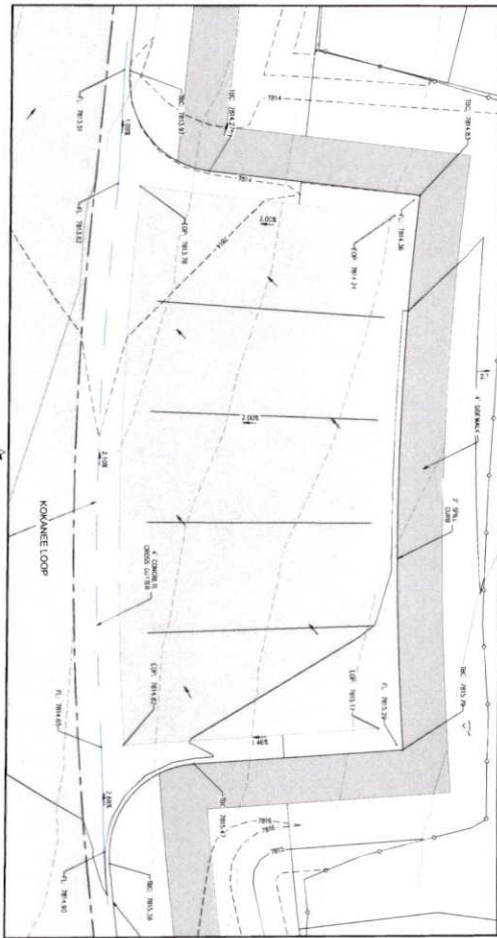
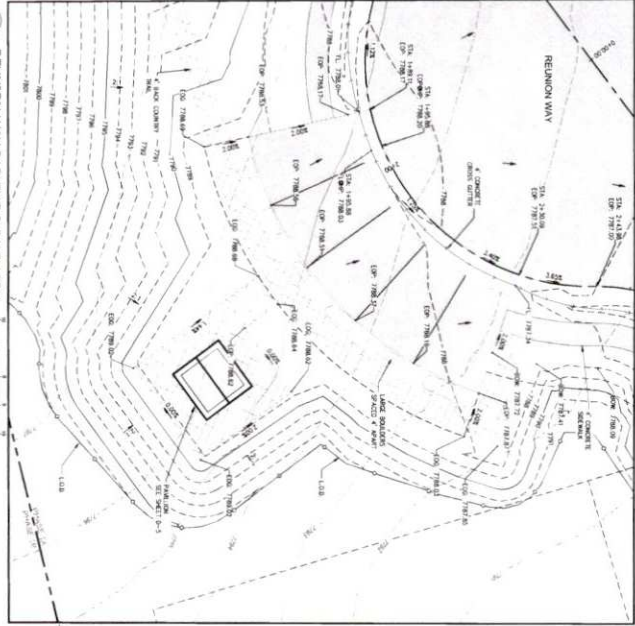
REVISIONS:

NO.	DATE	BY	DESCRIPTION
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 35 WEST CENTER • P.O. BOX 176  
 HEALING SPRING, UTAH 84020  
 TEL: 435-834-9222 • FAX: 435-834-9331





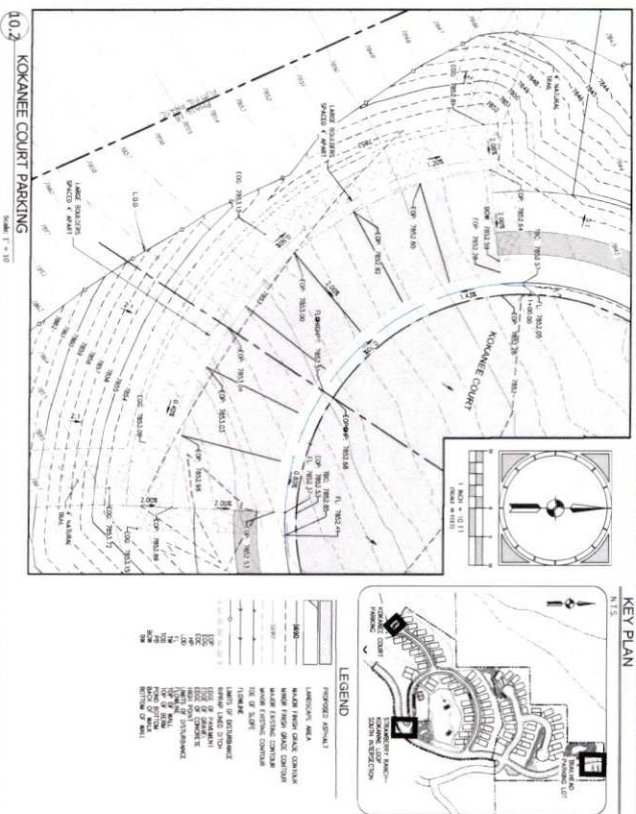
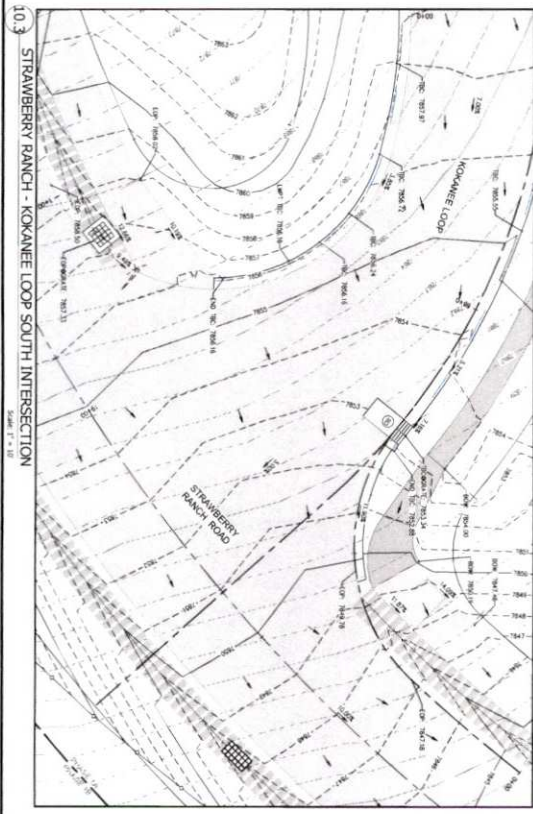
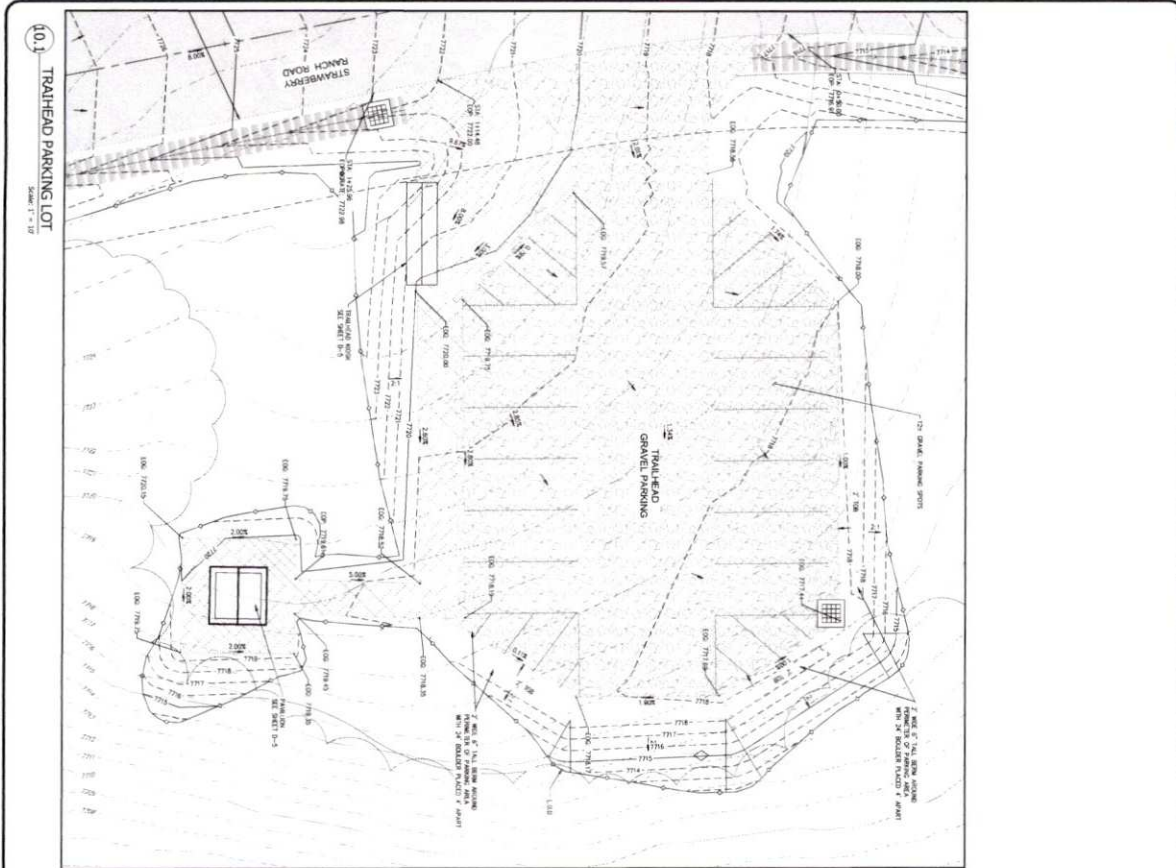


**LEGEND**

	PROPOSED PAVEMENT
	PROPOSED CONCRETE
	LANDMARK MARK
	UTILITY
	EASEMENT
	RIGHT OF WAY
	BOUNDARY
	SPOT ELEVATION
	CONTOUR LINE
	PROPOSED STRUCTURE
	PROPOSED PARKING
	PROPOSED DRIVEWAY
	PROPOSED WALKWAY
	PROPOSED FENCING
	PROPOSED SIGN
	PROPOSED LIGHT POLE
	PROPOSED TREE
	PROPOSED PLANT
	PROPOSED WATER FEATURE
	PROPOSED UTILITY STRUCTURE
	PROPOSED STORM DRAIN
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED CABLE TV LINE
	PROPOSED FIBER OPTIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED SATELLITE DISH
	PROPOSED SECURITY CAMERA
	PROPOSED ACCESS POINT
	PROPOSED FIRE ALARM
	PROPOSED SMOKE DETECTOR
	PROPOSED CARBON MONOXIDE DETECTOR
	PROPOSED INTERCOM
	PROPOSED DOORBELL
	PROPOSED MAILBOX
	PROPOSED MAIL STOP
	PROPOSED PARCEL LINE
	PROPOSED EASEMENT LINE
	PROPOSED RIGHT OF WAY LINE
	PROPOSED SURVEY BOUNDARY LINE
	PROPOSED SPOT ELEVATION
	PROPOSED CONTOUR LINE
	PROPOSED PROPOSED STRUCTURE
	PROPOSED PROPOSED PARKING
	PROPOSED PROPOSED DRIVEWAY
	PROPOSED PROPOSED WALKWAY
	PROPOSED PROPOSED FENCING
	PROPOSED PROPOSED SIGN
	PROPOSED PROPOSED LIGHT POLE
	PROPOSED PROPOSED TREE
	PROPOSED PROPOSED PLANT
	PROPOSED PROPOSED WATER FEATURE
	PROPOSED PROPOSED UTILITY STRUCTURE
	PROPOSED PROPOSED STORM DRAIN
	PROPOSED PROPOSED SEWER LINE
	PROPOSED PROPOSED WATER LINE
	PROPOSED PROPOSED GAS LINE
	PROPOSED PROPOSED ELECTRIC LINE
	PROPOSED PROPOSED CABLE TV LINE
	PROPOSED PROPOSED FIBER OPTIC LINE
	PROPOSED PROPOSED TELEPHONE LINE
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	PROPOSED PROPOSED SECURITY CAMERA
	PROPOSED PROPOSED ACCESS POINT
	PROPOSED PROPOSED FIRE ALARM
	PROPOSED PROPOSED SMOKE DETECTOR
	PROPOSED PROPOSED CARBON MONOXIDE DETECTOR
	PROPOSED PROPOSED INTERCOM
	PROPOSED PROPOSED DOORBELL
	PROPOSED PROPOSED MAILBOX
	PROPOSED PROPOSED MAIL STOP
	PROPOSED PROPOSED PARCEL LINE
	PROPOSED PROPOSED EASEMENT LINE
	PROPOSED PROPOSED RIGHT OF WAY LINE
	PROPOSED PROPOSED SURVEY BOUNDARY LINE
	PROPOSED PROPOSED SPOT ELEVATION
	PROPOSED PROPOSED CONTOUR LINE

PROJECT: STRAWBERRY RANCH		PROJECT ENGINEER: [Name]	DATE: [Date]	COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 178 KEEFER CITY, UTAH 84032 • 435-894-9229 • F. 435-894-9231
SHEET: C-5-8		PROJECT MANAGER: [Name]	DESIGN ENGINEER: [Name]	
SHEET: C21-033		DRAWN BY: [Name]	DATE: [Date]	REVISIONS 1. _____ 2. _____ 3. _____ 4. _____ 5. _____ 6. _____ 7. _____ 8. _____
SHEET: C-5-8		DATE: 08/22/2023	DATE: [Date]	

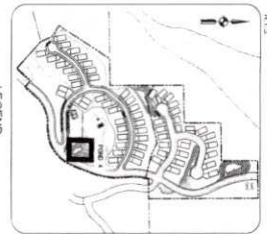
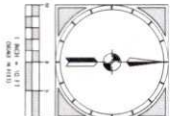
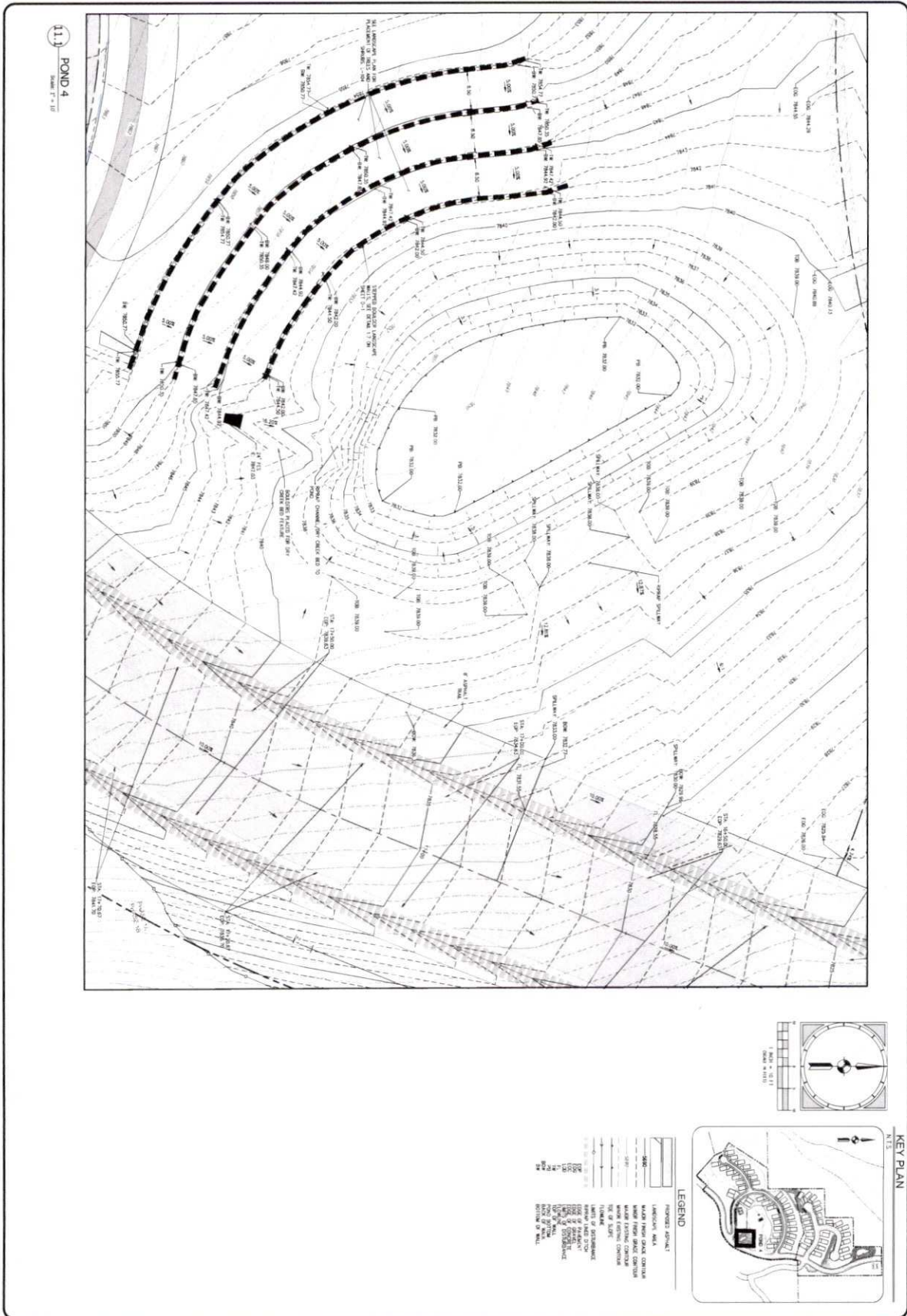




1:\SEC\PROJECTS\CURRENT\PROJECTS\21-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\DWG\21-033 GRADING DETAILS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER EMR	DATE BY	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. ENGINEER & ARCHITECT A PROFESSIONAL CORPORATION 15 WEST CENTER • P.O. BOX 178 HERRICK CITY, UTAH 84033 TEL: 435-854-9229 • FAX: 435-854-9221
PROJECT NUMBER C21-033	PROJECT NUMBER EMR	REVISIONS	
SHEET TITLE GRADING DETAILS	DRAWN BY SFS	DATE	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 15 WEST CENTER • P.O. BOX 178 HERRICK CITY, UTAH 84033 TEL: 435-854-9229 • FAX: 435-854-9221
DATE 08/22/2023	DESIGN ENGINEER	DATE	

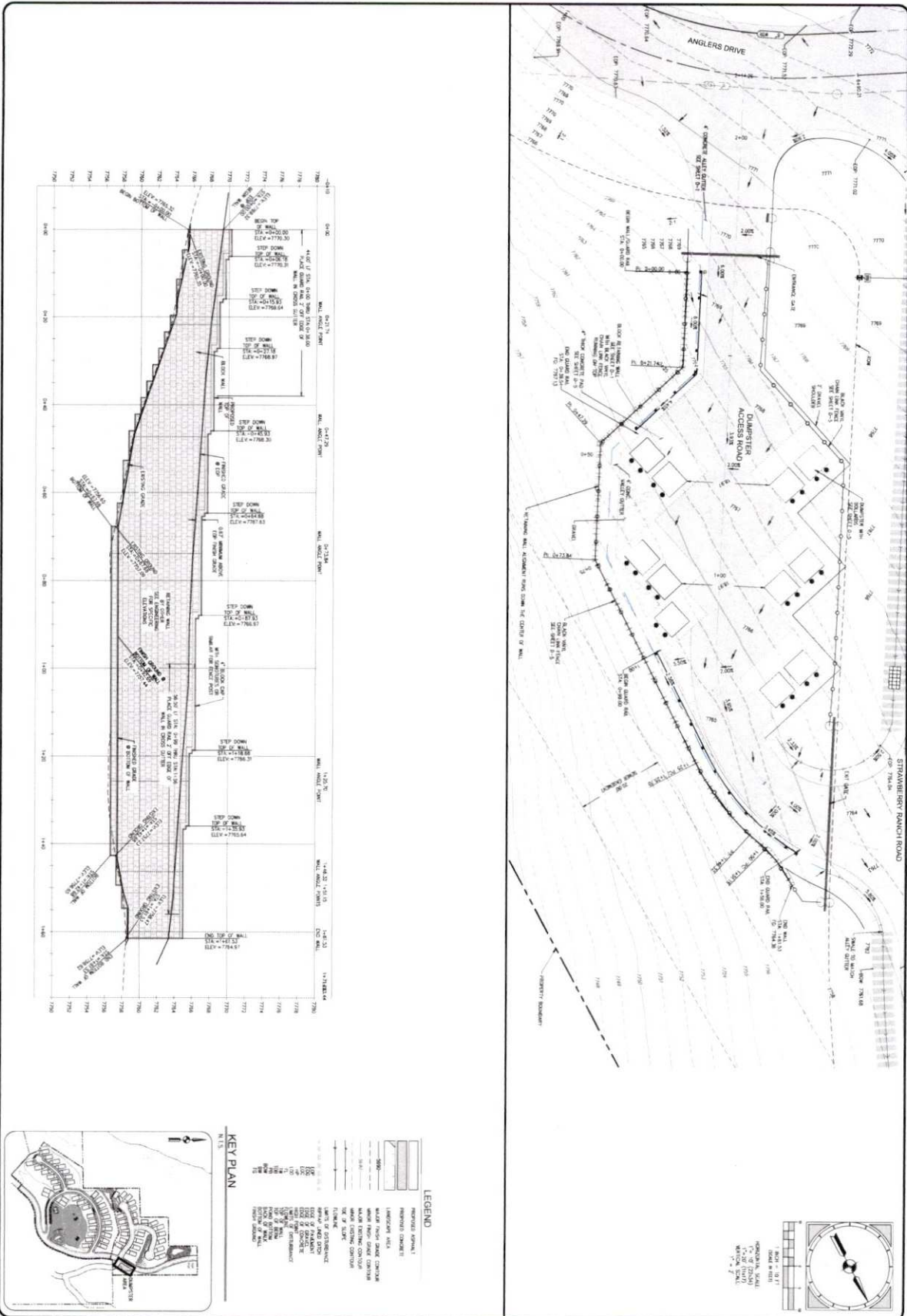
KEY PLAN



**LEGEND**

---	PROPOSED DRAINAGE
---	EXISTING DRAINAGE
---	PROPOSED DRIVE
---	EXISTING DRIVE
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	PROPOSED CONCRETED DRIVE
---	EXISTING CONCRETED DRIVE
---	PROPOSED CONCRETED SIDEWALK
---	EXISTING CONCRETED SIDEWALK
---	PROPOSED CONCRETED DRIVE AND SIDEWALK
---	EXISTING CONCRETED DRIVE AND SIDEWALK
---	PROPOSED CONCRETED DRIVE AND SIDEWALK WITH CURB
---	EXISTING CONCRETED DRIVE AND SIDEWALK WITH CURB
---	PROPOSED CONCRETED DRIVE AND SIDEWALK WITH CURB AND GUTTER
---	EXISTING CONCRETED DRIVE AND SIDEWALK WITH CURB AND GUTTER
---	PROPOSED CONCRETED DRIVE AND SIDEWALK WITH CURB AND GUTTER AND BIKEWAY
---	EXISTING CONCRETED DRIVE AND SIDEWALK WITH CURB AND GUTTER AND BIKEWAY
---	PROPOSED CONCRETED DRIVE AND SIDEWALK WITH CURB AND GUTTER AND BIKEWAY AND TRAIL
---	EXISTING CONCRETED DRIVE AND SIDEWALK WITH CURB AND GUTTER AND BIKEWAY AND TRAIL

PROJECT: STRAWBERRY RANCH SHEET TITLE: GRADING DETAIL SHEET: C-5.11		PROJECT ENGINEER: EMB PROJECT MANAGER: EMB DRAWN BY: SF'S REVISION DATE: 08/22/2023	REVISIONS 1 2 3 4 5 6 7 8	DATE BY:	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. SUMMIT ENGINEERING GROUP, INC. 100 WEST CENTER • P.O. BOX 176 FERRIS, CO. COLORADO 80424 TEL: 970-824-9225 • FAX: 970-824-9222	STRUCTURAL • CIVIL • LAND SURVEYING 100 WEST CENTER • P.O. BOX 176 FERRIS, CO. COLORADO 80424 TEL: 970-824-9225 • FAX: 970-824-9222
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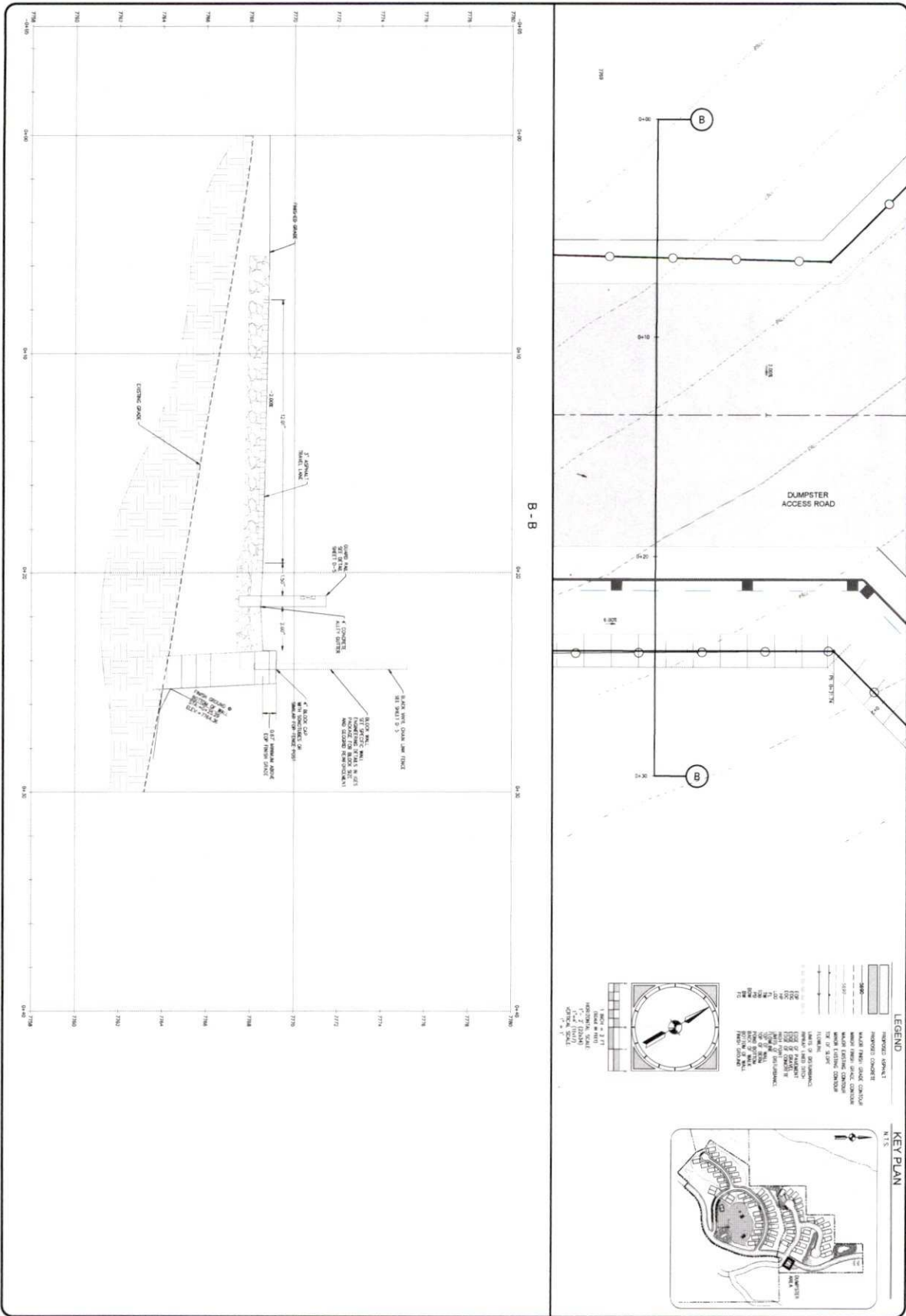
PROJECT: STRAWBERRY RANCH  
 SHEET TITLE: DUMPISTER RETAINING WALL PLAN & PROFILE  
 PROJECT ENGINEER: ENR  
 PROJECT MANAGER: ENR  
 DESIGN DATE: 08/22/2023  
 DESIGN ENGINEER: [Signature]

NO.	REVISIONS	DATE	BY
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2			
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4			
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6			
7			
8			

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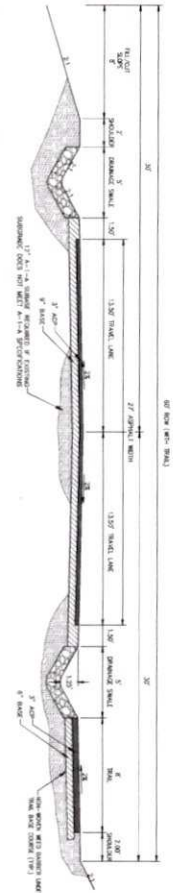
2. USE PROJECT CURRENT PROJECT VC21-033 STRAWBERRY RANCH C:\WORKING FILES\ENGINEERING\DWG\VC21-033 DUMPSTER RETAINING B-B.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER SMB	DATE BY	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC.  DESIGN BY: [Signature] ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM SUMMIT ENGINEERING GROUP, INC.	STRUCTURE • CIVIL • LAND SURVEYING 50 WEST CENTER • P.O. BOX 176 HENRIETTA, NY 14457 • 435-654-9223 • F. 435-654-9231
SHEET FILE C21-033	PROJECT MANAGER SMB	REVISIONS		
SHEET C-514	DRAWN BY SFS	1		
	ISSUED DATE 08/22/2023	2		
	DESIGN ENGINEER SMB	3		
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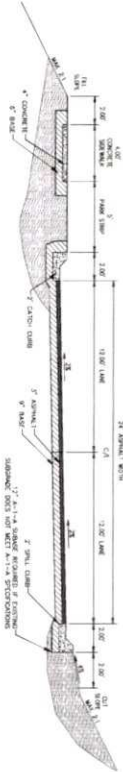
**1.1 STANDARD CROSS SECTION NOTES**  
SCALE: NTS

1. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
2. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
3. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
4. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
5. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
6. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
7. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
8. STANDARD CROSS SECTION NOTES TO BE OBSERVED BY CONTRACTOR.
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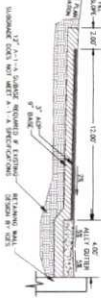
**1.2 60' STREET CROSS SECTION (WITH TRAIL RIGHT SIDE)**  
SCALE: NTS



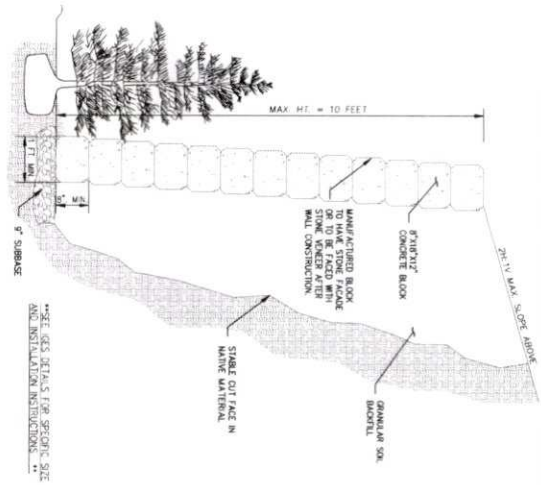
**1.4 KOKANEE LOOP - NO CROWN**  
SCALE: NTS



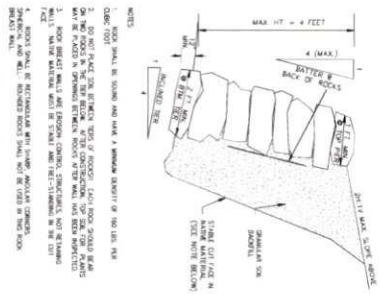
**1.5 DUMPSTER ACCESS ROAD**  
SCALE: NTS



**1.6 BLOCK RETAINING WALL**  
SCALE: NTS



**1.7 ROCK RETAINING WALL**  
SCALE: NTS



PROJECT: SIRASWERRY RANCH SHEET: C21-033 DATE: 08/22/2023		PROJECT ENGINEER: [Signature] PROJECT MANAGER: [Signature]		DESIGN ENGINEER: [Signature]	
SHEET TITLE: STREET CROSS SECTIONS, RETAINING WALL DETAILS		REVISIONS:		GATE:	
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7.		8.		9.	
10.		11.		12.	

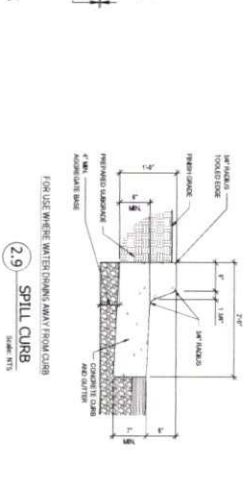
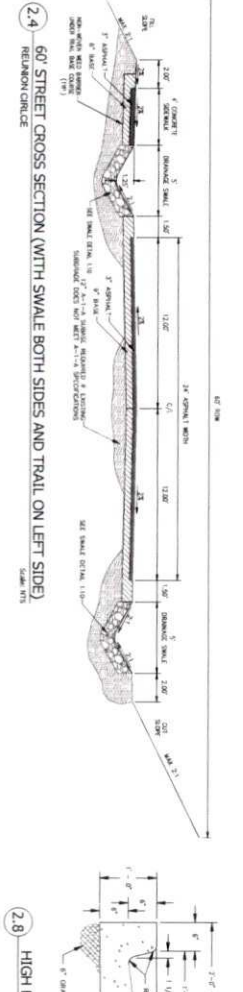
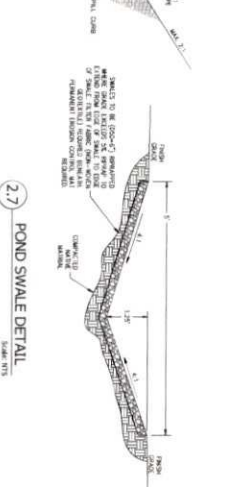
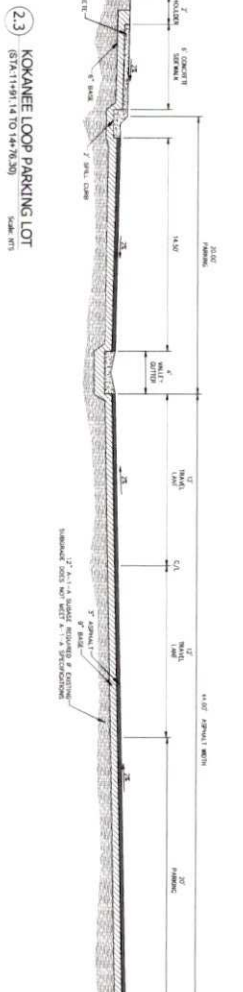
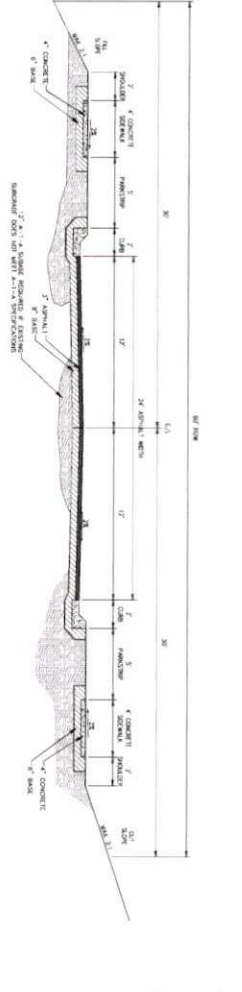
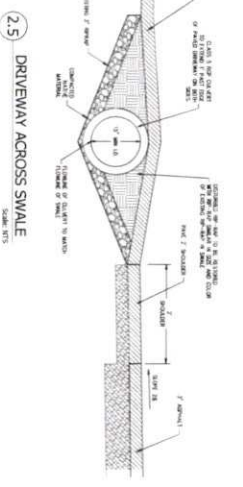
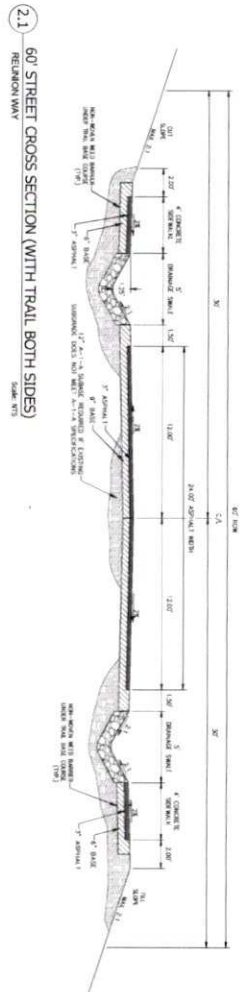
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 1000 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202 • P: 303-733-8222 • F: 303-733-8221



PROJECT: STRAWBERRY RANCH  
 PROJECT ENGINEER: SFB  
 PROJECT MANAGER: BMB  
 DRAWN BY: SFS  
 DATE: 08/22/2022

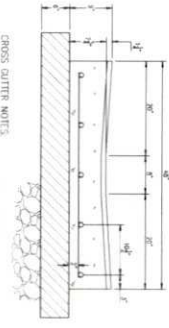
NO.	REVISIONS	DATE	BY
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DESIGN ENGINEER: SFB  
 SCALE: NTS

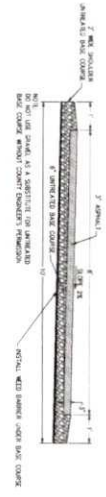
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 SUMMIT & CENTER  
 P.O. BOX 1176  
 WEST CENTER, P.O. BOX 1176  
 HERRIN, ILL. 62539  
 P: 402-851-9229 • F: 402-851-9231



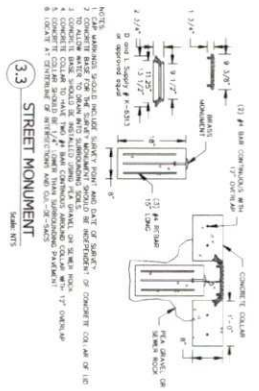
PROJECT: STRAWBERRY RANCH  
 SHEET TITLE: STREET CROSS SECTIONS, SWALE, CURBS, & DRIVEWAY DETAIL  
 SHEET: C21-033  
 D-2



3.1 4' CROSS-GUTTER  
SCALE: NTS



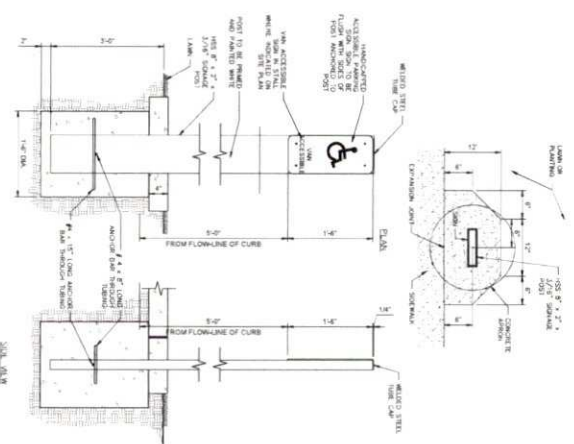
3.2 8' ASPHALT TRAIL  
SCALE: NTS



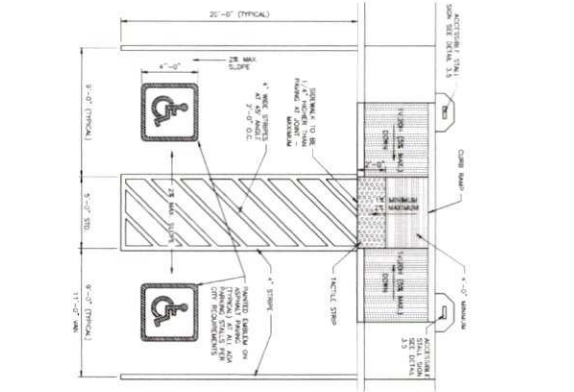
3.3 STREET MONUMENT  
SCALE: NTS

3.4 ASPHALT TRAIL ADA RAMP  
SCALE: NTS

- NOTES:
1. PROVIDE SLOPED WALKING SURFACE FROM ADA REQUIREMENTS IN POSITIVE DIRECTION OF WAY'S CURVE OR
  2. PROVIDE SLOPED WALKING SURFACE FROM ADA REQUIREMENTS IN POSITIVE DIRECTION OF WAY'S CURVE OR
  3. PROVIDE SLOPED WALKING SURFACE FROM ADA REQUIREMENTS IN POSITIVE DIRECTION OF WAY'S CURVE OR
  4. PROVIDE SLOPED WALKING SURFACE FROM ADA REQUIREMENTS IN POSITIVE DIRECTION OF WAY'S CURVE OR
  5. PROVIDE SLOPED WALKING SURFACE FROM ADA REQUIREMENTS IN POSITIVE DIRECTION OF WAY'S CURVE OR

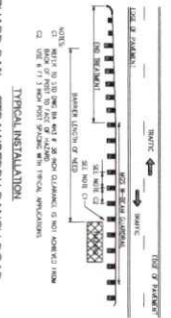


3.5 ADA SIGNS  
SCALE: NTS

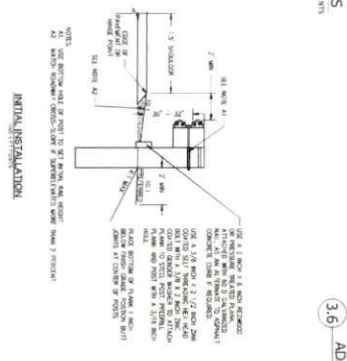


3.6 ADA PARKING  
SCALE: NTS

3.7 GUARD RAIL - STRAWBERRY RANCH ROAD  
SCALE: NTS



3.7 GUARD RAIL - STRAWBERRY RANCH ROAD  
SCALE: NTS



3.7 INITIAL INSTALLATION  
SCALE: NTS

Regulatory Sign Specifications and Placement  
Wasatch County Sign Standard 11-2022



Photographs of Regulatory Signs in the Regulatory Library

Regulatory Sign and Placement

Regulatory signs are used to regulate traffic and control the flow of traffic. They are used to indicate the location of a hazard, the location of a traffic control device, or the location of a traffic sign. Regulatory signs are used to indicate the location of a hazard, the location of a traffic control device, or the location of a traffic sign. Regulatory signs are used to indicate the location of a hazard, the location of a traffic control device, or the location of a traffic sign.

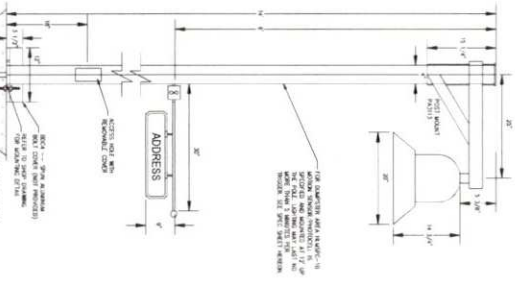
4.1 WASATCH COUNTY REGULATORY SIGNAGE

Sign Type	Sign Size	Sign Color	Sign Material	Sign Placement
STOP	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
YIELD	36" x 36"	White background, red triangle	Aluminum	At the intersection of two streets
SPEED LIMIT	36" x 36"	White background, black text	Aluminum	Along the roadway
NO LEFT TURN	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
NO RIGHT TURN	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
NO U-TURN	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
NO THROUGH TRUCKS	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0" AND 10'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0" AND 10'6" AND 10'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0" AND 10'6" AND 10'6" AND 10'6"	36" x 36"	White background, black text	Aluminum	Along the roadway

4.5 STREET LIGHT SHROUD & BULB DETAIL



4.6 STREET LIGHT POLE DETAIL



4.2 WASATCH COUNTY STREET SIGNAGE

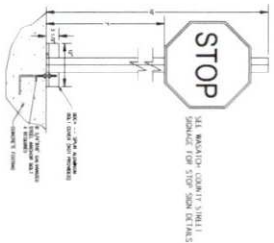


Photographs of Street Signage in the Regulatory Library

Street Signage

Street signage is used to provide information to drivers and pedestrians. It includes address signs, directional signs, and other signs that provide information about the location and direction of travel. Street signage is used to provide information to drivers and pedestrians. It includes address signs, directional signs, and other signs that provide information about the location and direction of travel.

Street Sign Specifications and Placement  
Wasatch County Sign Standard 11-2022

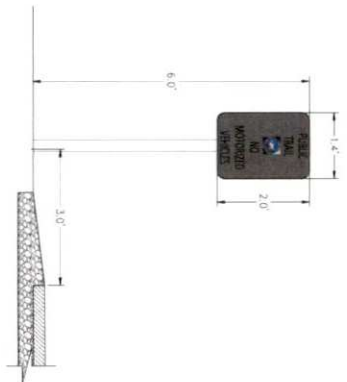


4.3 STOP SIGN DETAIL

4.2 WASATCH COUNTY STREET SIGNAGE

Sign Type	Sign Size	Sign Color	Sign Material	Sign Placement
STOP	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
YIELD	36" x 36"	White background, red triangle	Aluminum	At the intersection of two streets
SPEED LIMIT	36" x 36"	White background, black text	Aluminum	Along the roadway
NO LEFT TURN	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
NO RIGHT TURN	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
NO U-TURN	36" x 36"	White background, black text	Aluminum	At the intersection of two streets
NO THROUGH TRUCKS	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0" AND 10'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0" AND 10'6" AND 10'6"	36" x 36"	White background, black text	Aluminum	Along the roadway
NO TRUCKS OVER 10,000 LBS AND 6'6" AND 8'0" AND 8'6" AND 9'0" AND 9'6" AND 10'0" AND 10'6" AND 10'6" AND 10'6"	36" x 36"	White background, black text	Aluminum	Along the roadway

4.7 FIRE HYDRANT LIGHT BOLLARD



4.4 WASATCH COUNTY TRAIL SIGNAGE

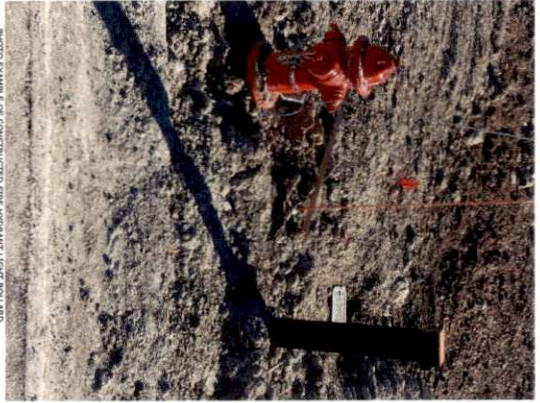


PHOTO EXAMPLE OF CONSTRUCTED FIRE HYDRANT LIGHT BOLLARD

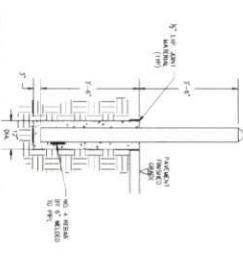
2. USE PROJECT CURRENT PROJECTS C21-033 STRAWBERRY RANCH C&I WORKING FILED ENGINEERING DRAWING C21-033 DETAILS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENB	DATE: BY:
SHEET NO: C21-033	PROJECT NUMBER: ENB	DATE: BY:
SHEET TITLE: SIGNS AND STREET LIGHT DETAILS	DRAWN BY: SFS	DATE: BY:
SCALE: D-4	DATE: 08/22/2023	DATE: BY:

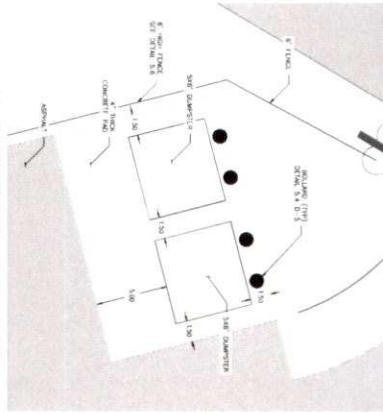
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50 WEST CENTER • P.O. BOX 178  
SALT LAKE CITY, UTAH 84143  
• 435-654-9229 • F 435-654-9231



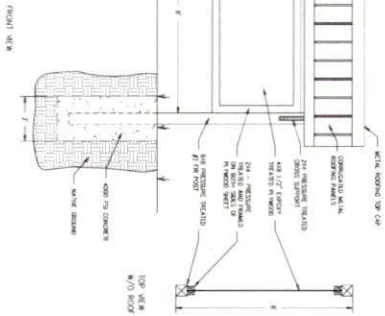
5.1 BACK VINYL COVERED CHAIN LINK FENCE  
SCALE: NTS



5.4 BOLLARD FOR DUMPSTER AREA  
SCALE: NTS



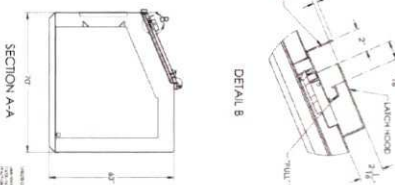
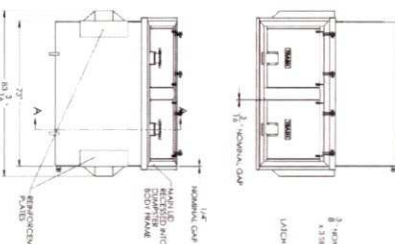
5.2 DUMPSTER AREA PLAN VIEW DETAIL  
SCALE: NTS



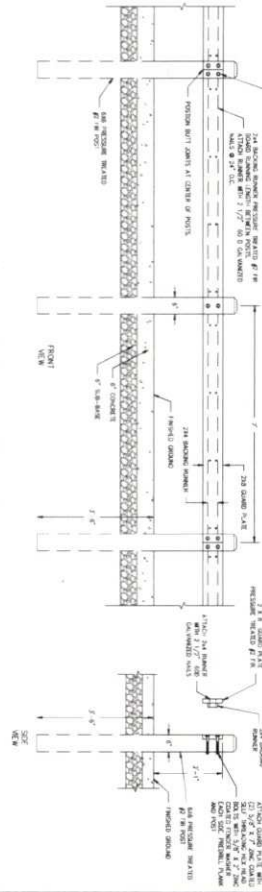
5.3 KIOSK SIGN DETAIL  
SCALE: NTS



5.5 BEAR PROOF DUMPSTER  
21 Layer Curable/UV-Curable - 16mm

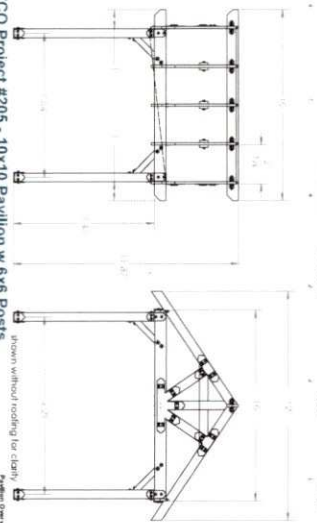


5.9 GUARD RAIL - DUMPSTER AREA  
SCALE: NTS



OZCO Project #206 - 10x10 Pavilion w 6x6 Posts

5.8 PAVILION DETAIL  
SCALE: NTS



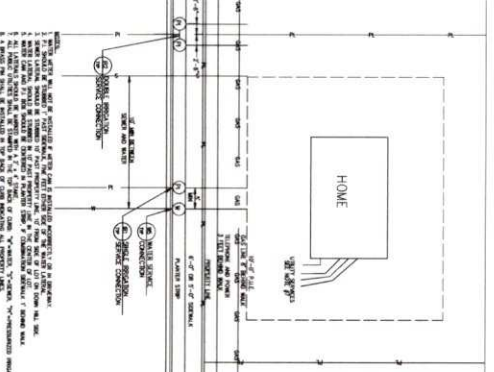
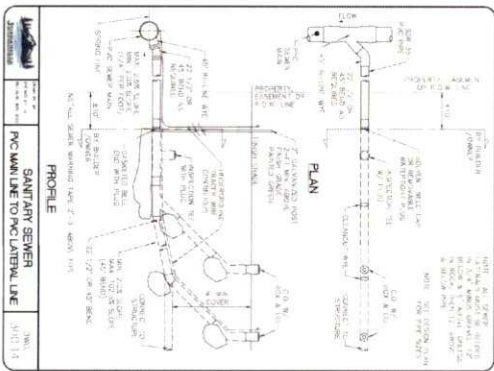
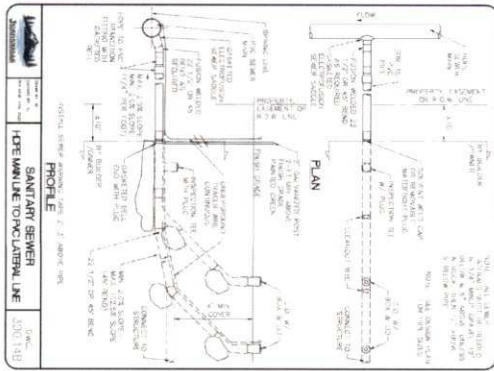
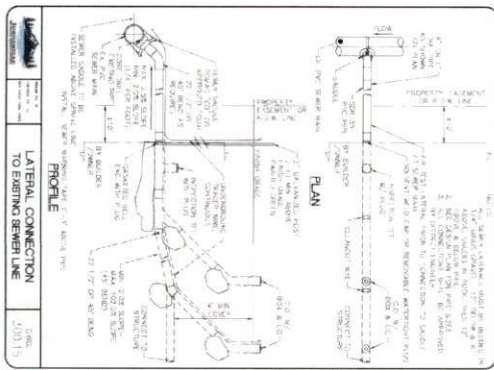
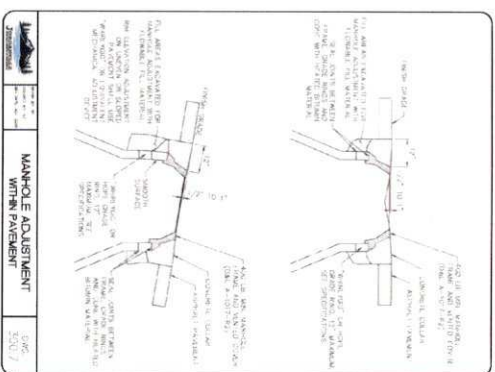
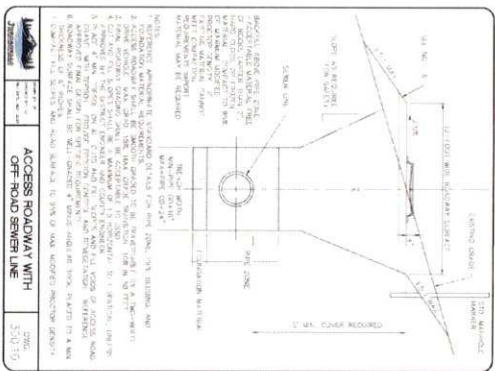
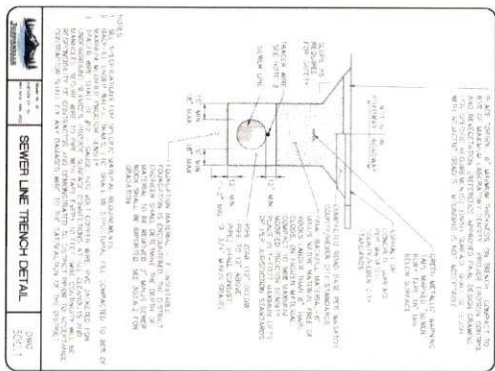
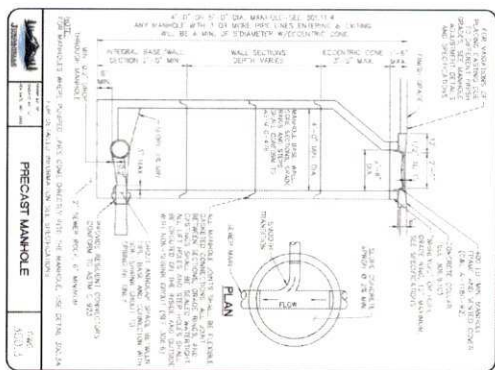
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HEBER, UT 84032  
P: 435-854-8222 • F: 435-854-8231

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BMB	DATE: BY:
SHEET TITLE: FENCE DETAILS, TRAIL KIOSK, DUMPSTER, BOLLARD, GUARDRAIL DETAIL	PROJECT MANAGER: BMB	REVISIONS:
DRAWN BY: SFS	DATE: 08/22/2023	DESIGN ENGINEER: BMB





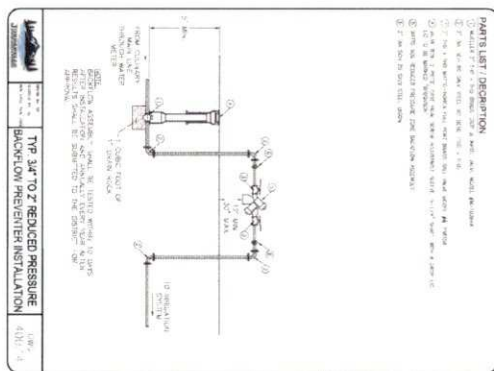
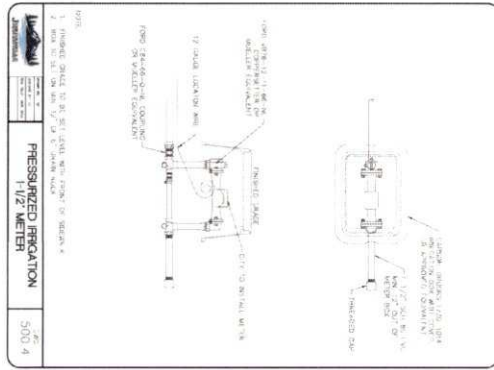
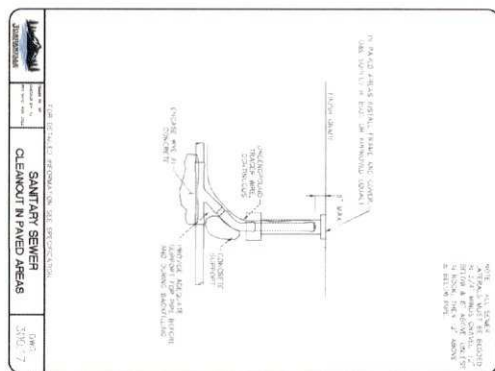
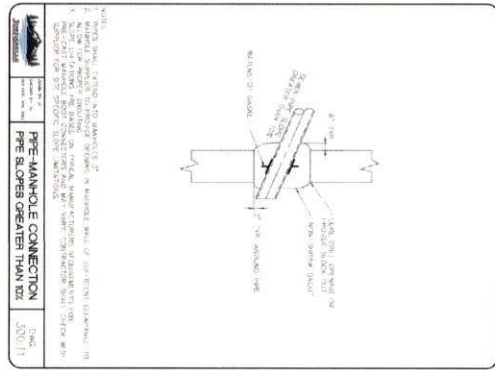


75 SANITARY LATERAL TO EXISTING SEWER MAIN  
SCALE: NTS

76 SANITARY LATERAL HDPE TO PVC  
SCALE: NTS

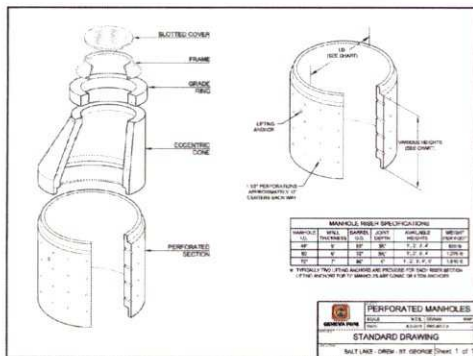
77 SANITARY LATERAL PVC TO PVC  
SCALE: NTS

78 LATERAL LOCATIONS  
SCALE: NTS

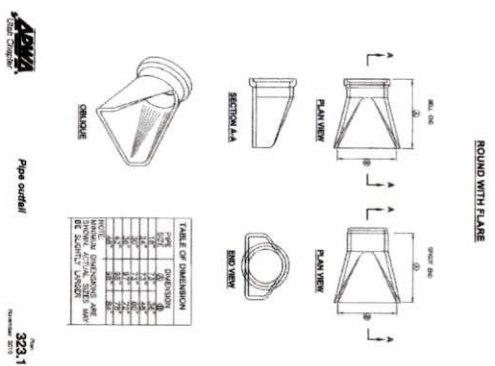


PROJECT: STRAWBERRY RANCH SHEET: C21-033 SHEET TITLE: SANITARY SEWER & IRRIGATION DETAILS		PROJECT ENGINEER: EMB PROJECT MANAGER: EMB DRAWN BY: SFS ISSUE DATE: 08/22/2023		DESIGN ENGINEER: DML	
REVISIONS 1 2 3 4 5 6 7 8		DATE BY		COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 176 WEBER CITY, IOWA 50571 P: 402-854-9229 • F: 402-854-9231	

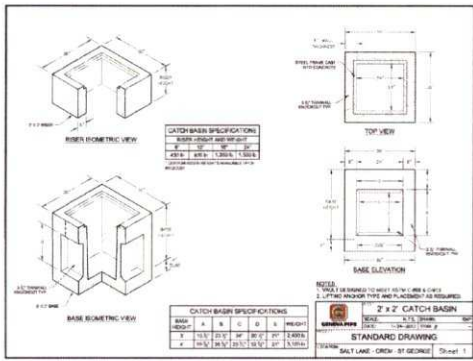
9.5 SUMP MANHOLE DETAIL  
SCALE: 1/8" = 1'-0"



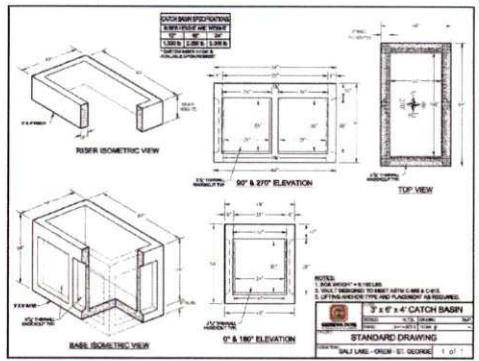
9.1 PIPE OUTFALL  
SCALE: 1/8" = 1'-0"



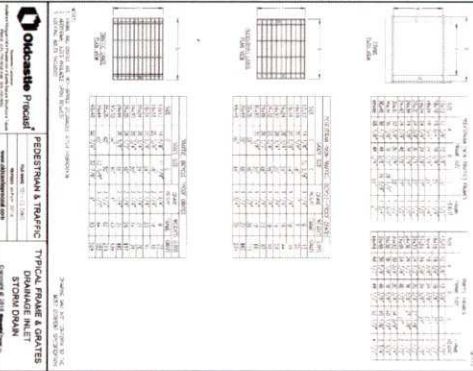
9.6 3x3 CATCH BASIN DETAIL  
SCALE: 1/8" = 1'-0"



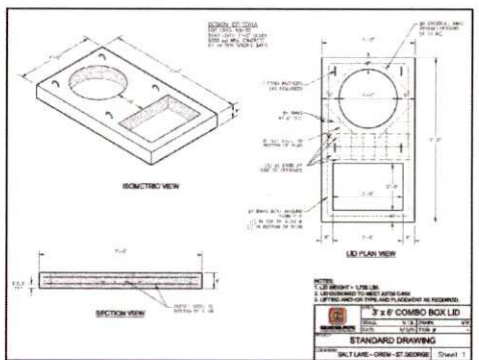
9.2 3x6 CATCH BASIN DETAIL  
SCALE: 1/8" = 1'-0"



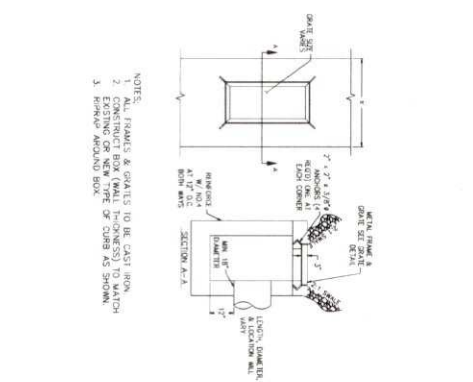
9.7 GRATE & FRAME DETAIL  
SCALE: 1/8" = 1'-0"



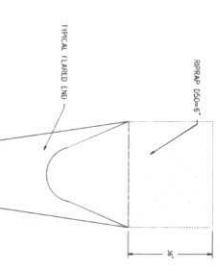
9.3 3x6 COMBO BOX LID  
SCALE: 1/8" = 1'-0"

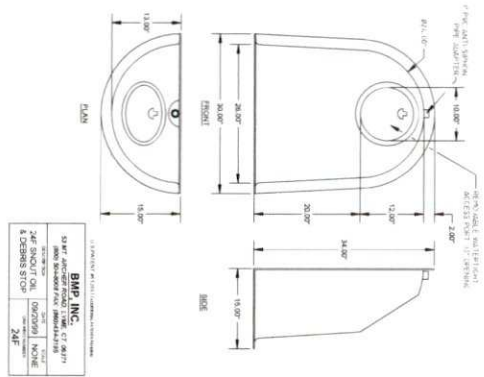


9.8 INLET IN SWALE DETAIL  
SCALE: 1/8" = 1'-0"

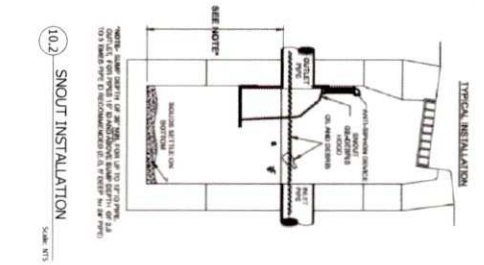


9.4 PIPE OUTLET WITH RIPRAP PROTECTION  
SCALE: 1/8" = 1'-0"

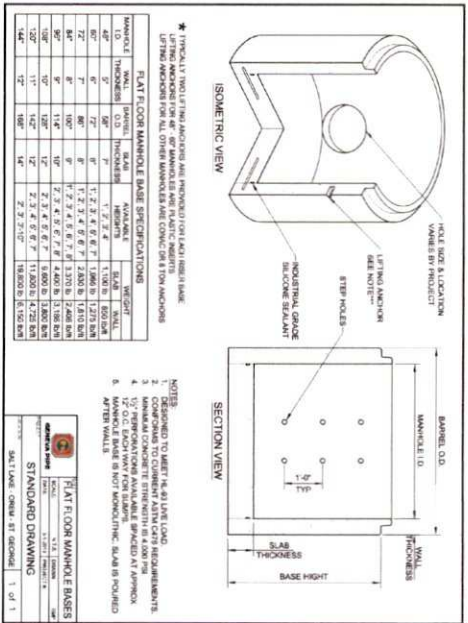




10.1 SNOOT  
SCALE: NTS



10.2 SNOOT INSTALLATION  
SCALE: NTS



\* TYPICAL TYPICAL ANCHORS ARE PROVIDED FOR ALL OTHER MANHOLE BASES.

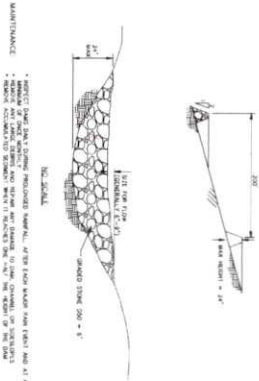
LETTING ANCHORS FOR ALL OTHER MANHOLES ARE CONCRETE TYPICAL ANCHORS

MANHOLE	WALL	THICKNESS	BASE	MANHOLE	WEIGHT
48"	6"	7 1/2"	1' 2" x 4' x 6' 7"	1,900 LB	1,275 BN
60"	6"	7 1/2"	1' 2" x 4' x 6' 7"	2,300 LB	1,575 BN
72"	6"	7 1/2"	1' 2" x 4' x 6' 7"	2,700 LB	1,875 BN
84"	6"	7 1/2"	1' 2" x 4' x 6' 7"	3,100 LB	2,175 BN
96"	6"	7 1/2"	1' 2" x 4' x 6' 7"	3,500 LB	2,475 BN
108"	6"	7 1/2"	1' 2" x 4' x 6' 7"	3,900 LB	2,775 BN
120"	6"	7 1/2"	1' 2" x 4' x 6' 7"	4,300 LB	3,075 BN
132"	6"	7 1/2"	1' 2" x 4' x 6' 7"	4,700 LB	3,375 BN
144"	6"	7 1/2"	1' 2" x 4' x 6' 7"	5,100 LB	3,675 BN

NOTES:  
 1. REFER TO SHEET 14.1 FOR ALL NOTES.  
 2. CONFORM TO CURRENT AUSTIN CITY REQUIREMENTS.  
 3. MANHOLE CONCRETE STRENGTH IS 4,000 PSI.  
 4. 12" O.C. EACH WAY FOR SLABS SPACED AT 18" ON CENTER.  
 5. MANHOLE BASE IS NOT MONOLITHIC. SLAB IS POURED IN TWO PARTS.

DATE	BY

STANDARD DRAWING  
 SCALE: 1/8" = 1'-0"  
 1 OF 1



10.4 ROCK CHECK DAM  
SCALE: NTS

1. USER PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH C&P\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: EMB	DATE: 08/22/2023
PROJECT MANAGER: EMB	SCALE: NTS	DATE: 08/22/2023
SHEET TITLE: STORM WATER DETAILS	DESIGN ENGINEER: EMB	DATE: 08/22/2023
PROJECT: C21-033	SCALE: NTS	DATE: 08/22/2023
SHEET: D-10	SCALE: NTS	DATE: 08/22/2023

REVISIONS

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**EXHIBIT Ad1-A – Legal Descriptions for Phase 1a and Phase 1b**

STRAWBERRY RANCH PHASE 1A AMENDED  
BOUNDARY LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17. TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN, SAID PARCEL BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE UINTAH NATIONAL FOREST BOUNDARY WHICH IS NORTH 317.33 FEET AND WEST 332.06 FEET FROM A FOUND UNITED STATES BUREAU OF RECLAMATION MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN (BASIS OF BEARINGS FOR THIS DESCRIPTION IS N88°57'56"E BETWEEN A FOUND U.S. B.O.R. MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER AND A FOUND U.S. FORESTRY SERVICE MONUMENT REPRESENTING THE NORTHEAST CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN),

AND RUNNING THENCE WEST 169.96 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 460.00 FEET, AND FROM WHICH POINT A RADIAL LINE BEARS S73°34'03"E; THENCE 28.12 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 03°30'08", WITH A CHORD BEARING AND DISTANCE OF S14°40'53"W 28.11 FEET; THENCE N77°04'11"W 206.62 FEET; THENCE N63°23'57"W 120.54 FEET; THENCE S76°11'17"W 406.62 FEET; THENCE N56°50'44"W 130.16 FEET TO THE FOREST SERVICE BOUNDARY; THENCE ALONG THE FOREST SERVICE BOUNDARY THE FOLLOWING SEVEN (7) COURSES: (1) N00°12'34"W 260.01 FEET; (2) N89°03'54"E 329.84 FEET; (3) N00°13'38"W 324.03 FEET; (4) N89°07'01"E 329.65 FEET; (5) N00°16'20"W 323.71 FEET; (6) N89°10'24"E 329.58 FEET; (7) S00°17'24"E 970.10 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 14.167 ACRES, OR 617,130 SQUARE FEET.

STRAWBERRY RANCH PHASE 1B  
BOUNDARY LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17, THE NORTHEAST QUARTER OF SECTION 19, AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN. SAID PARCEL BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE UINTAH NATIONAL FOREST BOUNDARY WHICH IS NORTH 290.13 FEET AND WEST 509.15 FEET FROM THE FOUND BUREAU OF RECLAMATION MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN (BASIS OF BEARINGS FOR THIS DESCRIPTION IS N88°57'56"E BETWEEN THE FOUND B.O.R. MONUMENT REPRESENTING THE NORTH ONE-QUARTER CORNER AND THE FOUND U.S. FORESTRY SERVICE MONUMENT REPRESENTING THE NORTHEAST CORNER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UINTAH SPECIAL MERIDIAN),

SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 460.00 FEET AND FROM WHICH POINT A RADIAL LINE BEARS S77°04'11"E; THENCE 132.33 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 16°28'55", WITH A CHORD BEARING AND DISTANCE OF S04°41'21"W 131.87 FEET; THENCE S03°33'06"E 80.81 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 660.00 FEET; THENCE 292.79 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°25'05", WITH A CHORD BEARING AND DISTANCE OF S09°09'26"W 290.40 FEET; THENCE S21°53'35"W 167.75 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 340.00 FEET; THENCE 403.45 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 67°59'18", WITH A CHORD BEARING AND DISTANCE OF S55°53'13"W 380.19 FEET; THENCE S89°52'52"W 50.40 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 320.00 FEET; THENCE 276.65 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 49°32'03", WITH A CHORD BEARING AND DISTANCE OF S65°06'51"W 268.12 FEET; THENCE S40°20'49"W 112.27 FEET; THENCE N49°39'11"W 80.00 FEET; THENCE S41°02'08"W 163.37 FEET TO THE KESSLER PROPERTY BOUNDARY RECORDED AS ENTRY # 423253; THENCE ALONG SAID BOUNDARY N47°47'41"W 312.09 FEET; THENCE N24°05'40"W 107.70 FEET; THENCE N56°34'23"W 115.84 FEET; THENCE N32°57'41"E 532.87 FEET TO THE FOREST SERVICE BOUNDARY; THENCE ALONG SAID BOUNDARY THE FOLLOWING TWO (2) COURSES; (1) N88°56'53"E 234.21 FEET; (2) N00°12'34"W 388.72 FEET TO THE STRAWBERRY MOUNTAIN RESORT PHASE 1A AMENDED BOUNDARY THE FOLLOWING FOUR (4) COURSES; (1) S56°50'44"E 130.16 FEET; (2) N76°11'17"E 406.62 FEET; (3) S63°23'57"E 120.54 FEET; (4) S77°04'11"E 206.62 FEET TO THE POINT OF BEGINNING.

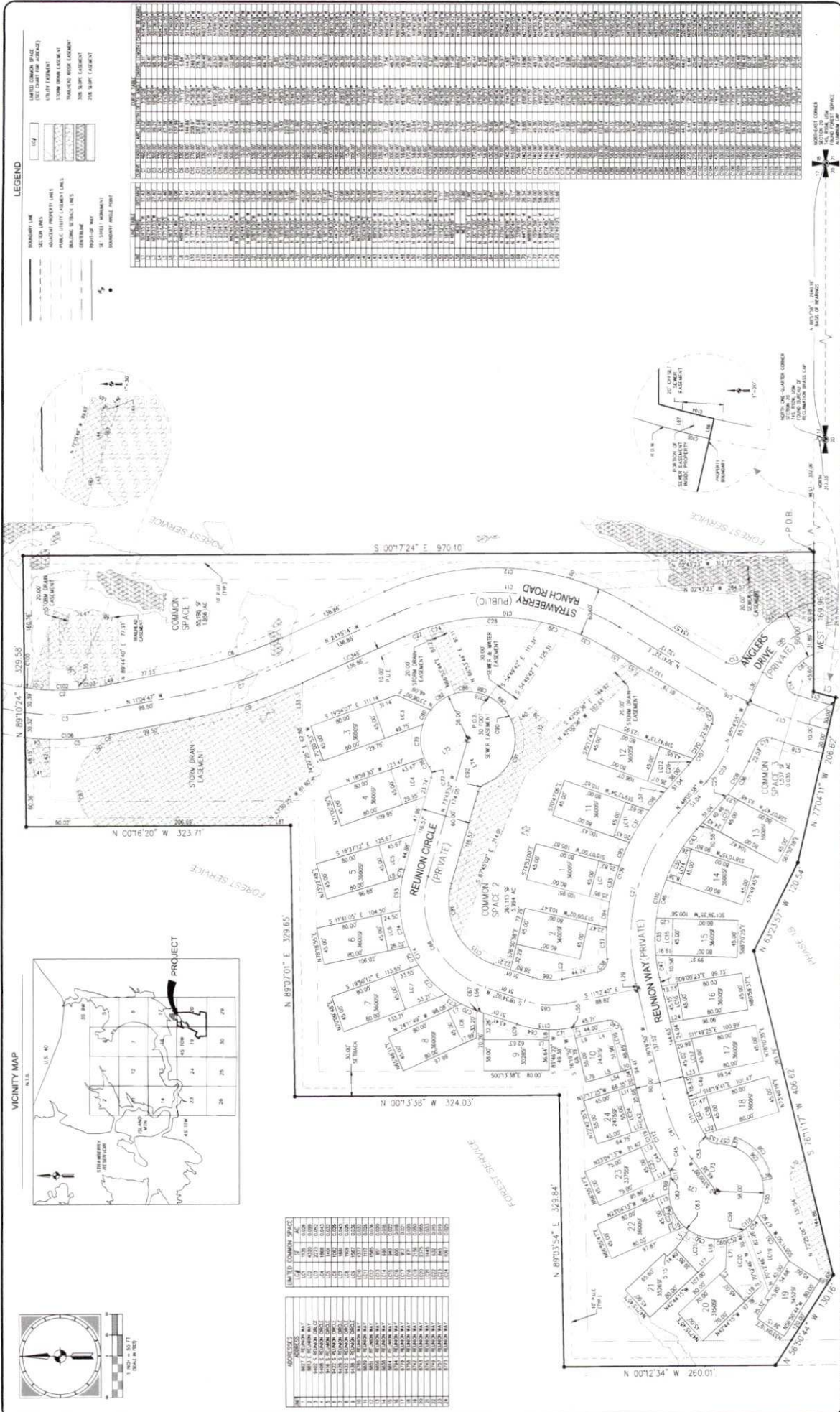
PARCEL CONTAINS 22.648 ACRES, OR 986,543 SQUARE FEET.

**EXHIBIT Ad1-B –Phase 1a and Phase 1b Final Plans**



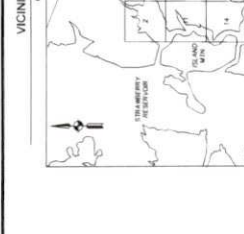
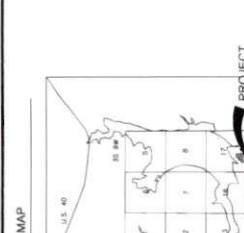
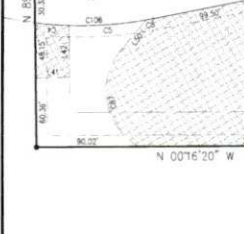






**LEGEND**

- BOUNDARY LINE
- SECTION LINE
- ADJACENT PROPERTY LINES
- PUBLIC UTILITY EASEMENT LINES
- RESERVING EASEMENT LINES
- PROPERTY OF STATE
- BOUNDARY PALETTE POINT
- UNIMproved COMMON SPACE (SEE CHART FOR ALLEGES)
- UTILITY EASEMENT
- COMMON DRIVE EASEMENT
- TRUNKED DRIVE EASEMENT
- TRUNKED DRIVE EASEMENT
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- TRUNKED DRIVE EASEMENT



**ADDRESS LIST**

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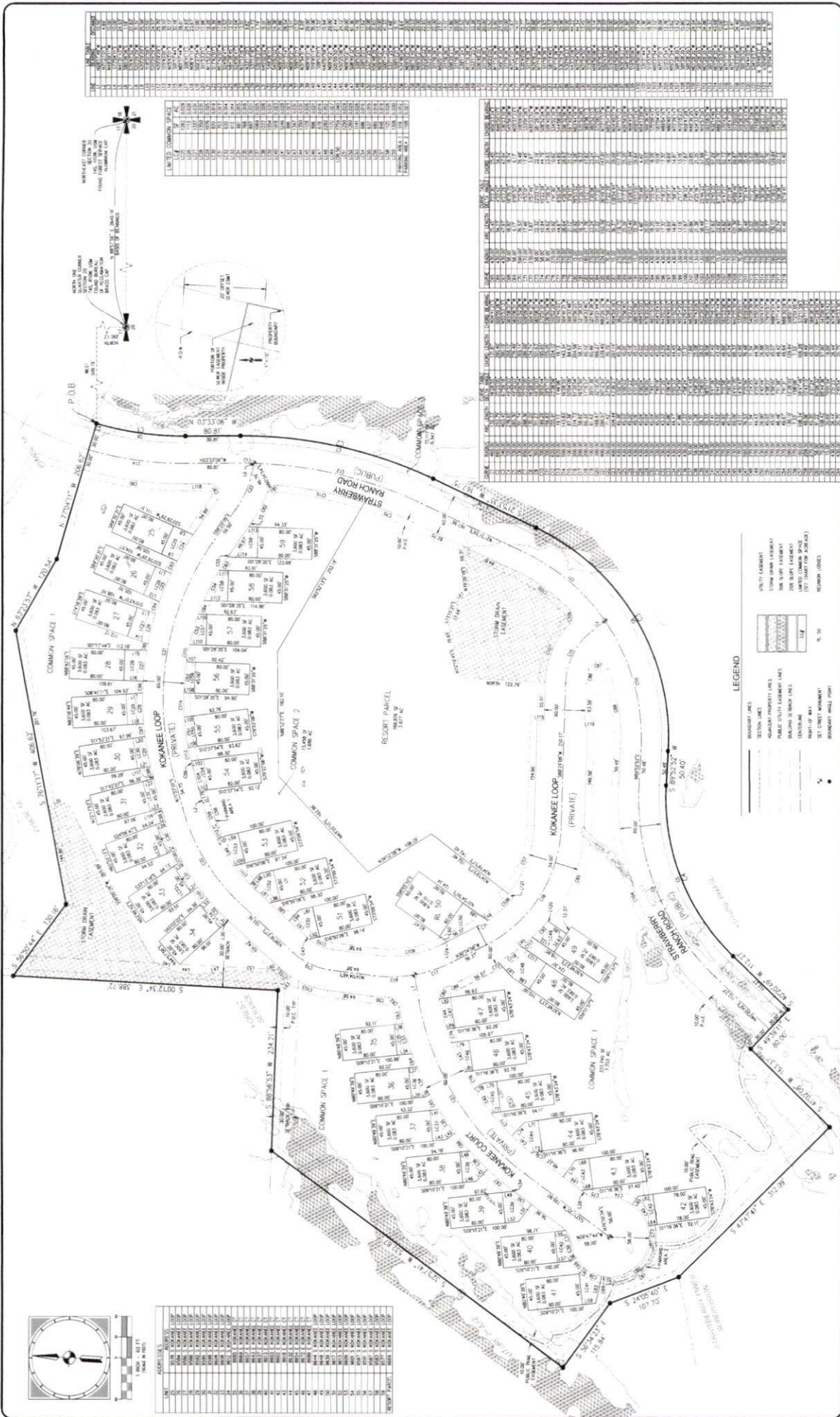
# STRAWBERRY RANCH PHASE 1A AMENDED

AN AMENDMENT TO STRAWBERRY RANCH PHASE 1A (ENTRY #464010)  
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 4 S, RANGE 10 WEST, UNIMproved SPECIAL MERIDIAN

**PROJECT:** C21-033  
**SHEET:** 3 OF 3  
**DATE:** 06/17/2013

**Scale Engineering Group Inc.**  
 1000 S. W. 10th St., Suite 100  
 Ft. Lauderdale, FL 33304  
 Phone: (954) 571-1111 Fax: (954) 571-1112





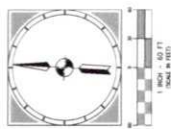
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### STRAWBERRY RANCH PHASE 1B

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17, THE NORTHEAST QUARTER OF SECTION 19, AND THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 10 WEST, UTAH SPECIAL MERIDIAN

**LEGEND**

- BOUNDARY LINES
- ADJACENT PROPERTY LINES
- PUBLIC UTILITY EASEMENT LINES
- RAILROAD EASEMENT LINES
- CENTRAL
- RIGHT-OF-WAY
- SET-BACK EASEMENT
- BOUNDARY MARK CORNER
- UTILITY EASEMENT
- ADJACENT PROPERTY LINES
- PUBLIC UTILITY EASEMENT LINES
- RAILROAD EASEMENT LINES
- CENTRAL
- RIGHT-OF-WAY
- SET-BACK EASEMENT
- BOUNDARY MARK CORNER



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**PROJECT**  
C21-033

**SHEET**  
2 OF 2

**ISSUE DATE**  
06/17/2023

**Prepared by:** [Name]  
**Checked by:** [Name]  
**Designed by:** [Name]  
**Drawn by:** [Name]  
**Reviewed by:** [Name]

**Summit Engineering Group Inc.**  
1111 W. 1000 N., SUITE 100  
SALT LAKE CITY, UT 84119  
P: 801-488-1111 F: 801-488-1112

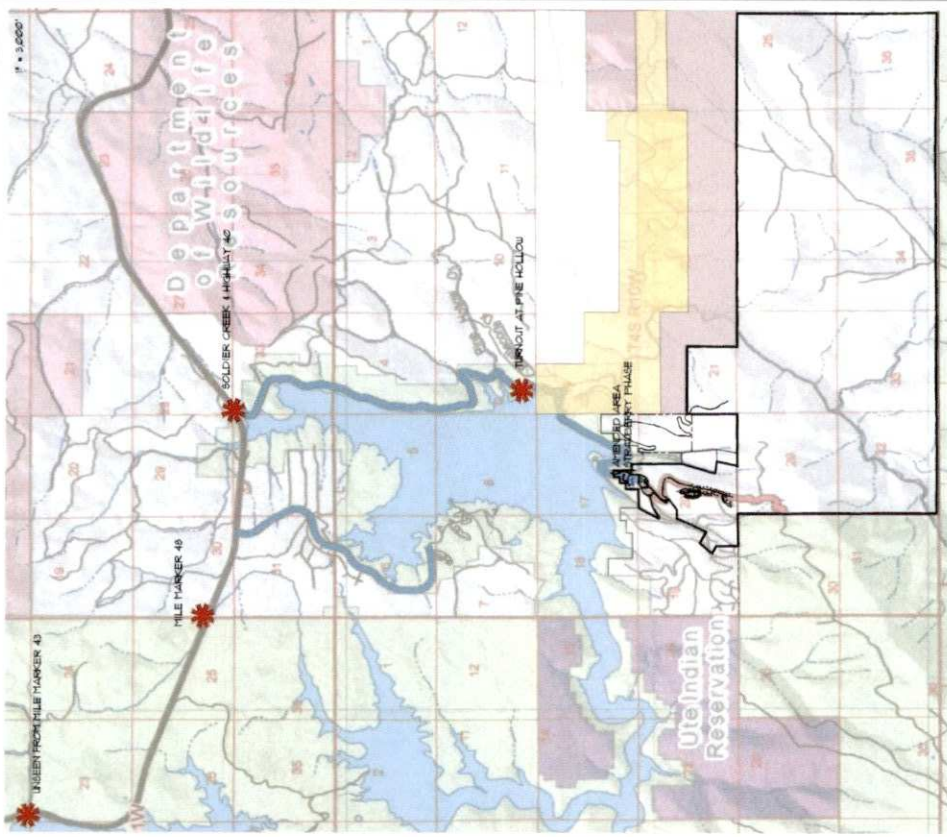


© 2023 PROJECTS\CURRENT PROJECTS\021-033 STRAWBERRY RANCH\03\WORKING FILES\ENGINEERING\021-033 PHYSICAL CONSTRAINTS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER (EM) PROJECT MANAGER (EM) DRAWN BY: SFS ISSUE DATE: 08/22/2023	DATE: 2023.09.11 19:41:00 -06'00'	REVISIONS	DATE	BY
SHEET WC-04	DESIGN ENGINEER		1		
PROJECT FILE PHYSICAL CONSTRAINTS ANALYSIS			2		
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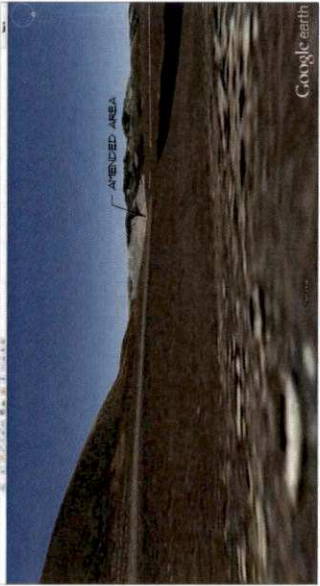
Summit Engineering Group Inc.  
STRUCTURAL • CIVIL • LAND SURVEYING  
80 WEST CENTER • P.O. BOX 178  
PERRY, UT 84650  
P: 435-854-8229 • F: 435-854-8231



STRAWBERRY RANCH  
ARCHITECTS

Revised Sheet 4a  
March 3, 2023

# VIEW SHED ANALYSIS for PHASE 1A(Amended) & 1B



WC-05A



**GENERAL NOTES:**

1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM THE ADJACENT PROPERTY OWNERS.
4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION AND PROVIDING IT TO THE ENGINEER.
5. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA AND PROVIDING IT TO THE ENGINEER.
6. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.
7. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION AND PROVIDING IT TO THE ENGINEER.
8. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.
9. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CULTURAL RESOURCE INFORMATION AND PROVIDING IT TO THE ENGINEER.
10. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHAEOLOGICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.
11. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PALEONTOLOGICAL INFORMATION AND PROVIDING IT TO THE ENGINEER.
12. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PLANT AND ANIMAL COMMUNITY INFORMATION AND PROVIDING IT TO THE ENGINEER.
13. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY VISUAL QUALITY INFORMATION AND PROVIDING IT TO THE ENGINEER.
14. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY AIR QUALITY INFORMATION AND PROVIDING IT TO THE ENGINEER.
15. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY NOISE AND VIBRATION INFORMATION AND PROVIDING IT TO THE ENGINEER.
16. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY TRANSPORTATION INFORMATION AND PROVIDING IT TO THE ENGINEER.
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24. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY FLOOD INFORMATION AND PROVIDING IT TO THE ENGINEER.
25. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY TROPICAL WEATHER INFORMATION AND PROVIDING IT TO THE ENGINEER.
26. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY OTHER INFORMATION AND PROVIDING IT TO THE ENGINEER.

**SCALE:** 1" = 40' (PLAN)

**NORTH:** (North arrow pointing up)

**DATE:** 08/22/2023

**PROJECT:** STRAWBERRY RANCH

**CLIENT:** C21-033

**ENGINEER:** SUMMIT ENGINEERING GROUP, INC.

2. USES PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\C21-033 SITE PLAN.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: DMG	DATE: 08/22/2023
SHEET: C-1-4	PROJECT MANAGER: DMG	DESIGN ENGINEER: [ ]
PROJECT: STRAWBERRY RANCH	PROJECT MANAGER: DMG	DATE: 08/22/2023
SHEET: C-1-4	PROJECT MANAGER: DMG	DATE: 08/22/2023

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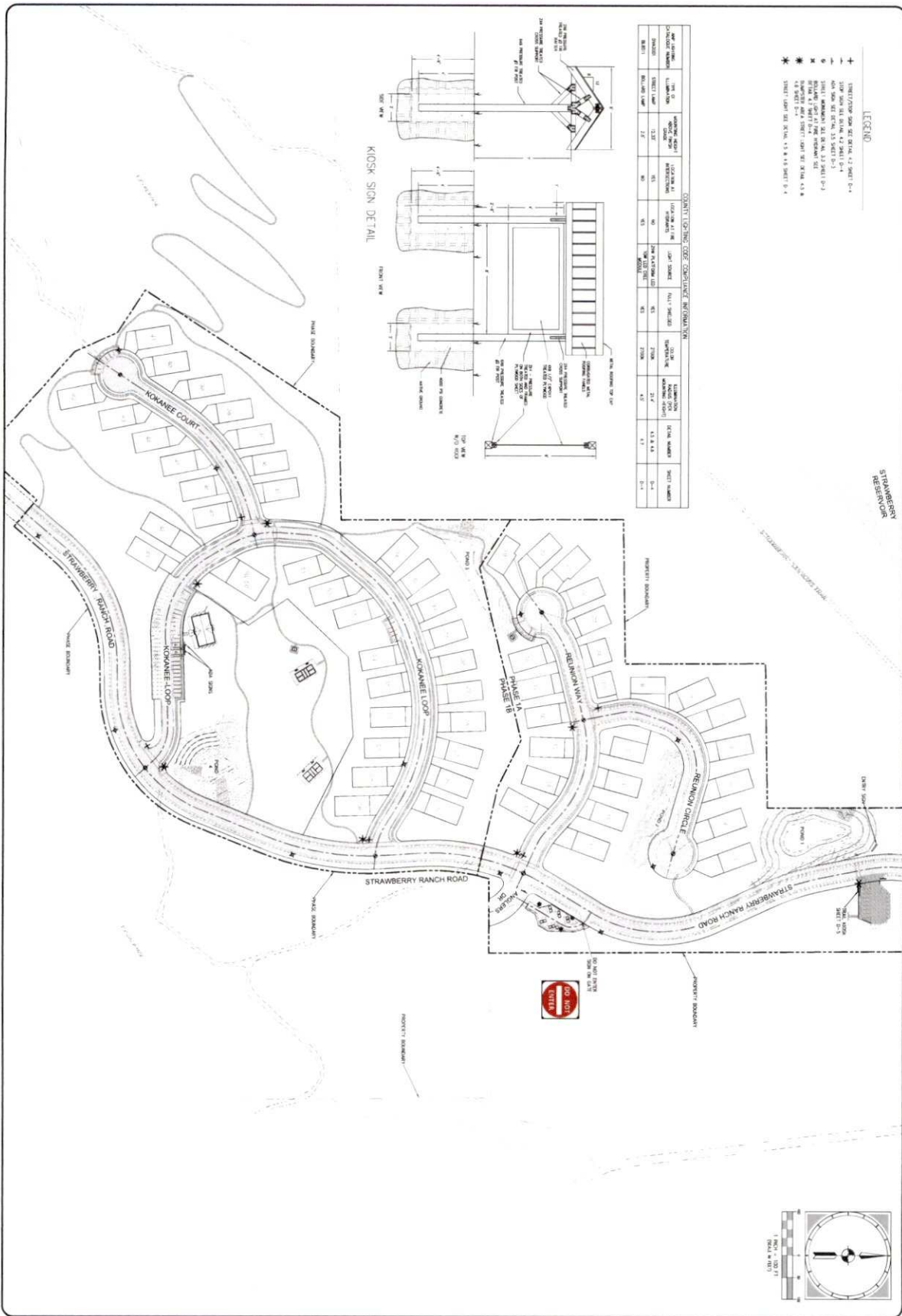
**Summit Engineering Group, Inc.**  
 STRUCTURAL • CIVIL • LAND SURVEYING  
 55 WEST CENTER • P.O. BOX 176  
 HENDER CITY, OH 44822  
 P. 432-854-8229 • F. 432-854-8231





Z:\USERS\PROJECTS\CURRENT\PROJECTS\021-033 STRAWBERRY RANCH\021-033 STRAWBERRY RANCH\021-033 CLUBHOUSE SITE PLAN.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: [NAME]	DATE: [DATE]	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. 50 WOOD CENTER • P.O. BOX 178 WOOD CENTER, CO 80022 P. 435-554-8220 • F. 435-554-8231
SHEET: C-1-15	PROJECT NUMBER: [NUMBER]	DATE: [DATE]	
PROJECT: WELCOME CENTER SITE PLAN	DRAWN BY: [NAME]	DATE: [DATE]	Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING 50 WOOD CENTER • P.O. BOX 178 WOOD CENTER, CO 80022 P. 435-554-8220 • F. 435-554-8231
	DESIGN ENGINEER: [NAME]	DATE: [DATE]	



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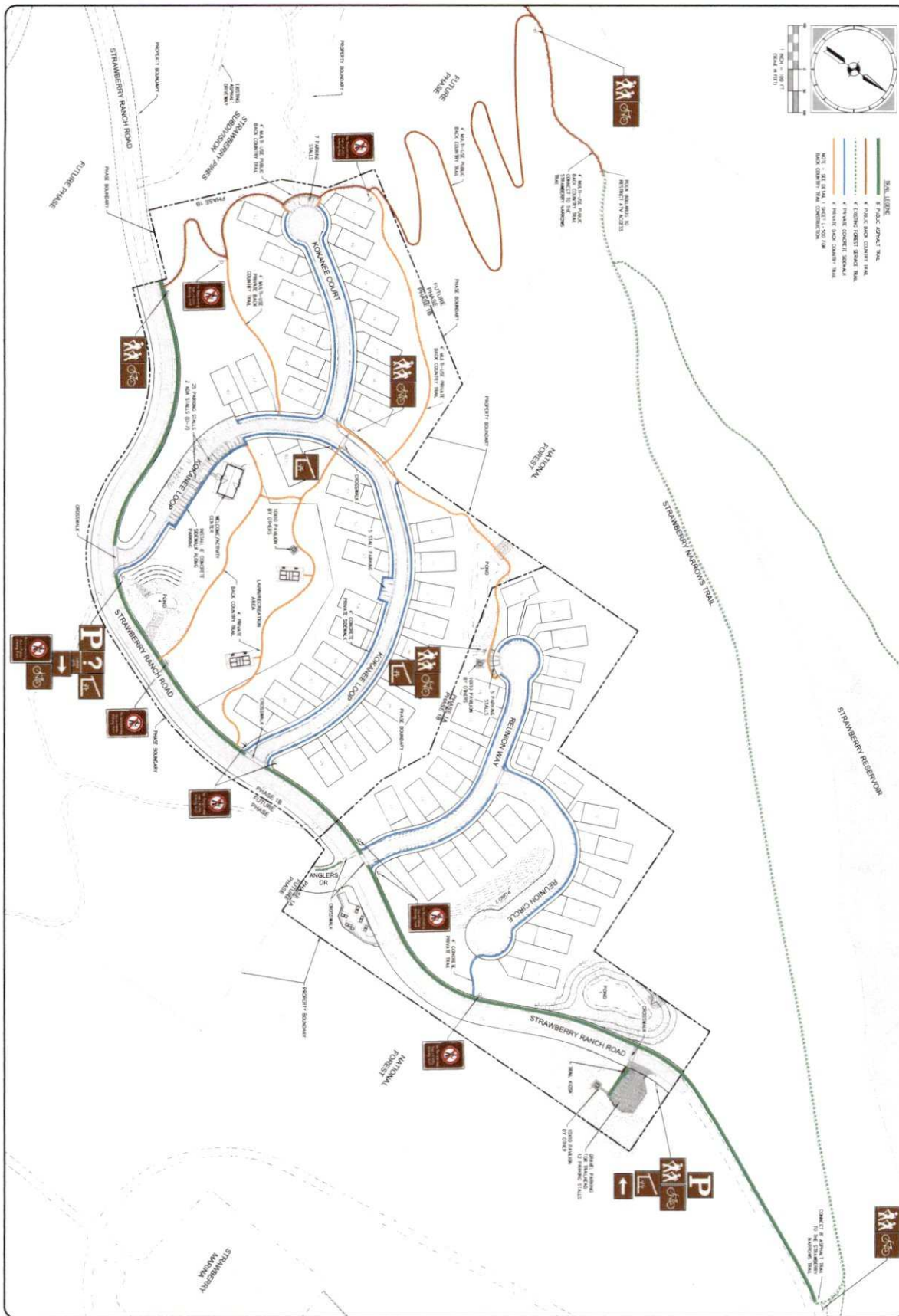
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PROJECT MANAGER BWB	DESIGNER BWB	DATE 08/22/2023	BY BWB
SHEET TITLE STREET SIGN, STREET MONUMENT AND STREET LIGHT PLAN	SCALE AS SHOWN	DATE 08/22/2023	BY BWB
DATE 08/22/2023	SCALE AS SHOWN	DATE 08/22/2023	BY BWB

REVISIONS

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COMPANIES & 2023  
SUMMIT ENGINEERING GROUP, INC.

Summit Engineering Group Inc.  
STRUCTURAL • CIVIL • LAND SURVEYING  
30 WEST CENTER • P.O. BOX 176  
STEELE, NEBRASKA 68301  
P: 435-654-8228 • F: 435-654-8631



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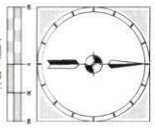
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PROJECT C21_033	ISSUE DATE 08/22/2023		
OVERALL TRAIL PLAN			

NO.	DESCRIPTION	DATE	BY

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50 WEST CENTER • P.O. BOX 178  
HEBER CITY, UTAH 84057  
• 435-854-9229 • F 435-854-9231



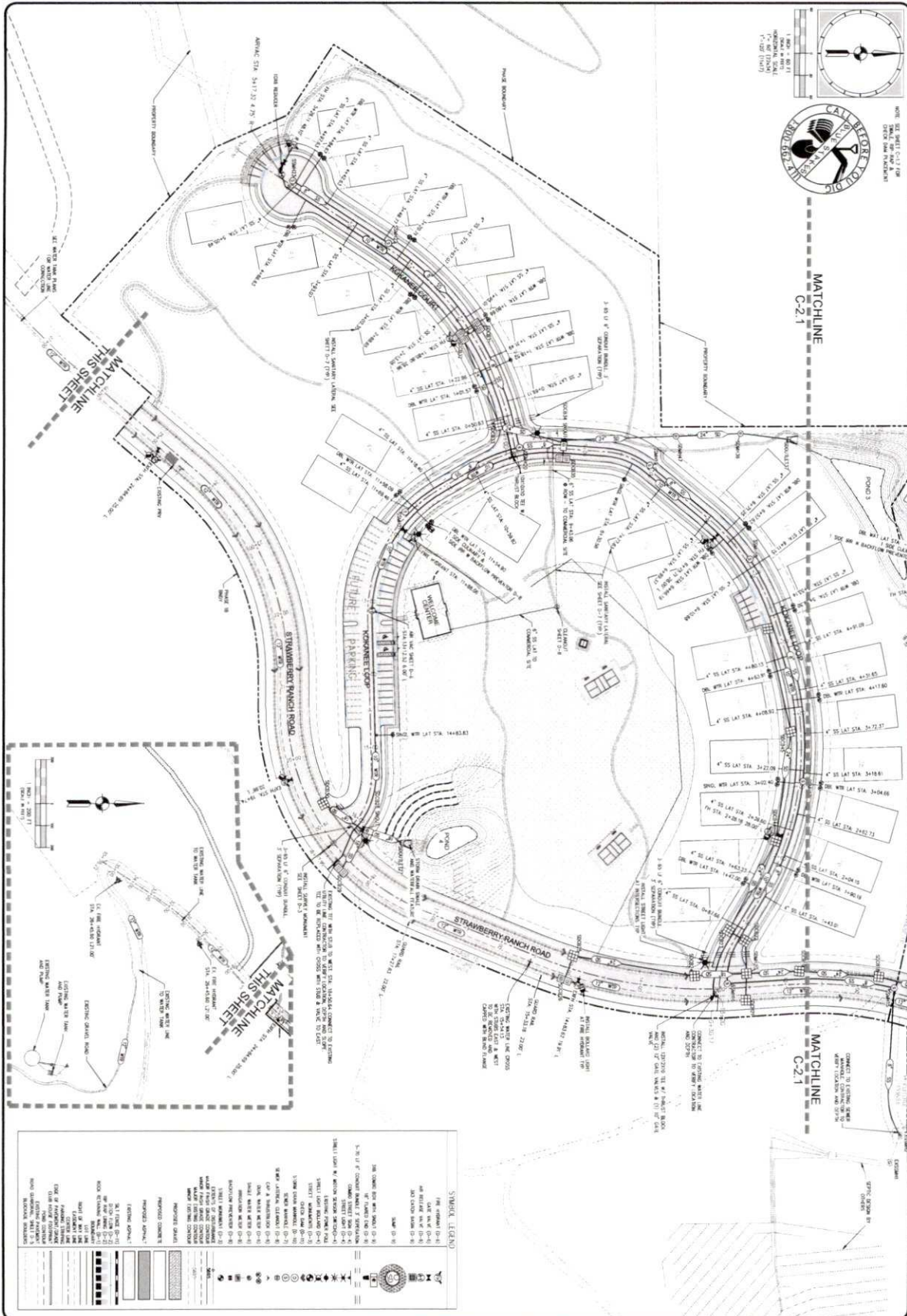
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STATIONING AND ELEVATIONS  
DATE: 08/22/2022



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64" = 10'	64" = 10'
65" = 10'	65" = 10'
66" = 10'	66" = 10'
67" = 10'	67" = 10'
68" = 10'	68" = 10'
69" = 10'	69" = 10'
70" = 10'	70" = 10'
71" = 10'	71" = 10'
72" = 10'	72" = 10'
73" = 10'	73" = 10'
74" = 10'	74" = 10'
75" = 10'	75" = 10'
76" = 10'	76" = 10'
77" = 10'	77" = 10'
78" = 10'	78" = 10'
79" = 10'	79" = 10'
80" = 10'	80" = 10'
81" = 10'	81" = 10'
82" = 10'	82" = 10'
83" = 10'	83" = 10'
84" = 10'	84" = 10'
85" = 10'	85" = 10'
86" = 10'	86" = 10'
87" = 10'	87" = 10'
88" = 10'	88" = 10'
89" = 10'	89" = 10'
90" = 10'	90" = 10'
91" = 10'	91" = 10'
92" = 10'	92" = 10'
93" = 10'	93" = 10'
94" = 10'	94" = 10'
95" = 10'	95" = 10'
96" = 10'	96" = 10'
97" = 10'	97" = 10'
98" = 10'	98" = 10'
99" = 10'	99" = 10'
100" = 10'	100" = 10'

PROJECT: STRAWBERRY RANCH SHEET: C-21-033 UTILITY PLAN		PROJECT ENGINEER: BMS PROJECT MANAGER: BMS DRAWN BY: SFS REVISION DATE: 08/22/2022		DESIGN ENGINEER: [Blank]	
REVISIONS		DATE		BY	
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79		80		81	
82		83		84	
85		86		87	
88		89		90	
91		92		93	
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97		98		99	
100		101		102	

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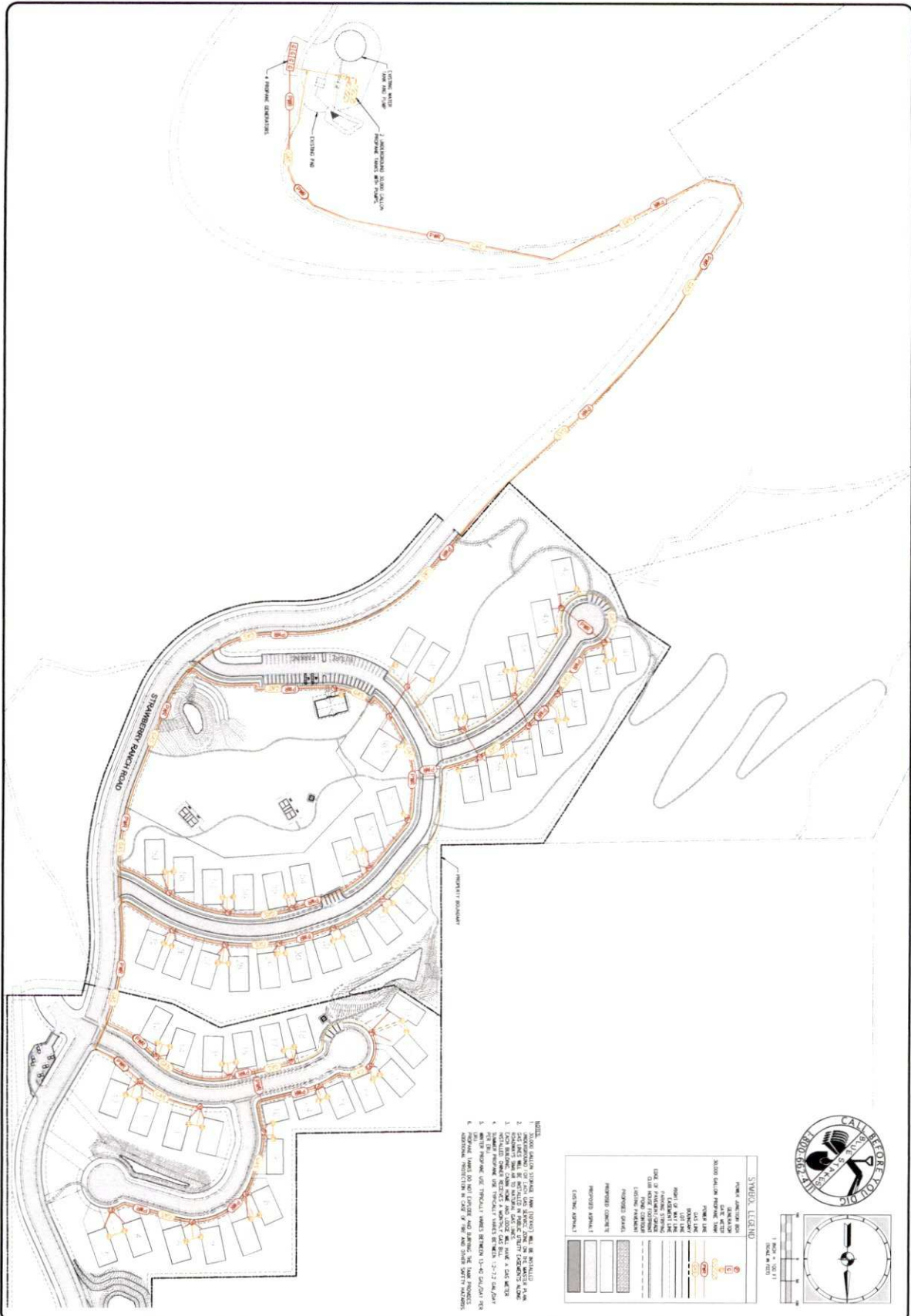
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1" = 10'	1" = 20'	1" = 40'	1" = 80'	1" = 160'
1" = 320'	1" = 640'	1" = 1280'	1" = 2560'	1" = 5120'
1" = 10240'	1" = 20480'	1" = 40960'	1" = 81920'	1" = 163840'
1" = 327680'	1" = 655360'	1" = 1310720'	1" = 2621440'	1" = 5242880'
1" = 10485760'	1" = 20971520'	1" = 41943040'	1" = 83886080'	1" = 167772160'
1" = 335910400'	1" = 671820800'	1" = 1343641600'	1" = 2687283200'	1" = 5374566400'

**SYMBOL LEGEND**

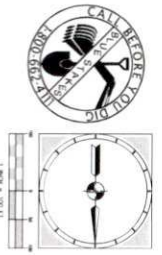
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- 1" = 20' CONCRETE
- 1" = 40' CONCRETE
- 1" = 80' CONCRETE
- 1" = 160' CONCRETE
- 1" = 320' CONCRETE
- 1" = 640' CONCRETE
- 1" = 1280' CONCRETE
- 1" = 2560' CONCRETE
- 1" = 5120' CONCRETE
- 1" = 10240' CONCRETE
- 1" = 20480' CONCRETE
- 1" = 40960' CONCRETE
- 1" = 81920' CONCRETE
- 1" = 163840' CONCRETE
- 1" = 327680' CONCRETE
- 1" = 655360' CONCRETE
- 1" = 1310720' CONCRETE
- 1" = 2621440' CONCRETE
- 1" = 5242880' CONCRETE
- 1" = 10485760' CONCRETE
- 1" = 20971520' CONCRETE
- 1" = 41943040' CONCRETE
- 1" = 83886080' CONCRETE
- 1" = 167772160' CONCRETE
- 1" = 335910400' CONCRETE
- 1" = 671820800' CONCRETE
- 1" = 1343641600' CONCRETE
- 1" = 2687283200' CONCRETE
- 1" = 5374566400' CONCRETE

PROJECT: STRAWBERRY RANCH		PROJECT ENGINEER: [NAME]		DATE: 08/22/2023		REVISIONS 1 2 3 4 5 6 7 8	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. DESIGN & CONSTRUCTION STRUCTURAL • CIVIL • LAND SURVEYING 50 WEST CENTER • P.O. BOX 175 VANDERBILT CITY, TENNESSEE P. 423-684-8222 • F. 423-684-8221
SHEET: C-2.1-033		PROJECT MANAGER: [NAME]		DRAWN BY: SPS			
MATCHLINE TO THIS SHEET		MATCHLINE TO THIS SHEET		MATCHLINE TO THIS SHEET		SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 50 WEST CENTER • P.O. BOX 175 VANDERBILT CITY, TENNESSEE P. 423-684-8222 • F. 423-684-8221	



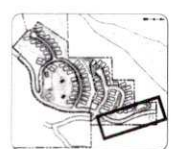
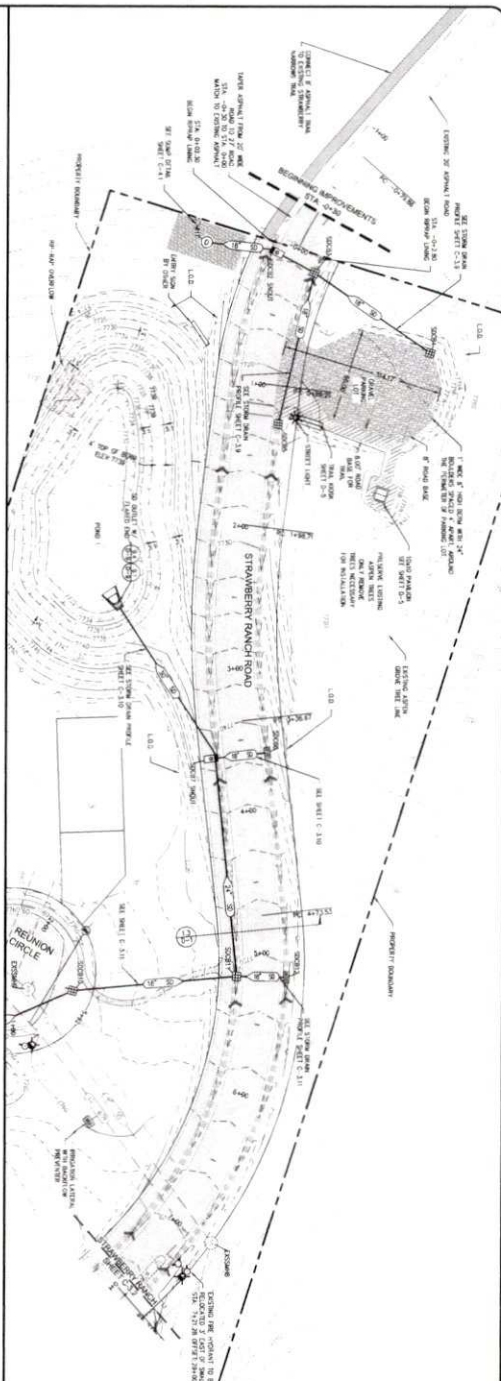
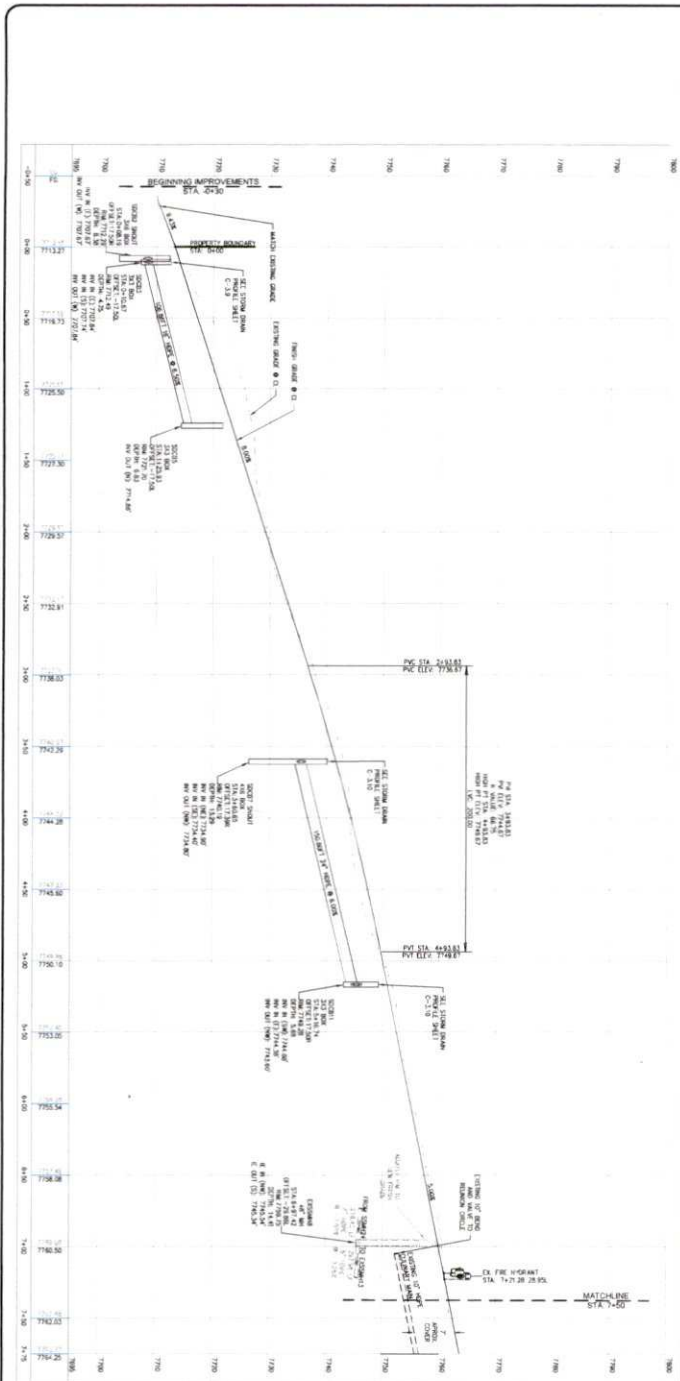
- NOTES:**
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  2. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
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  4. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
  5. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
  6. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.

SYMBOLS - LEGEND	
	12" WATER MAIN
	8" WATER MAIN
	6" WATER MAIN
	4" WATER MAIN
	3" WATER MAIN
	2" WATER MAIN
	1" WATER MAIN
	12" SANITARY SEWER
	8" SANITARY SEWER
	6" SANITARY SEWER
	4" SANITARY SEWER
	3" SANITARY SEWER
	2" SANITARY SEWER
	1" SANITARY SEWER
	12" STORM SEWER
	8" STORM SEWER
	6" STORM SEWER
	4" STORM SEWER
	3" STORM SEWER
	2" STORM SEWER
	1" STORM SEWER
	12" GAS
	8" GAS
	6" GAS
	4" GAS
	3" GAS
	2" GAS
	1" GAS
	12" ELECTRIC
	8" ELECTRIC
	6" ELECTRIC
	4" ELECTRIC
	3" ELECTRIC
	2" ELECTRIC
	1" ELECTRIC



Z:\2022 PROJECTS\CURRENT PROJECTS\021-033 STRAWBERRY RANCH\CAD\WORKING FILES\ENGINEERING\021-033 DRY UTILITY.DWG

PROJECT: STRAWBERRY RANCH SHEET TITLE: DRY UTILITY PLAN C21-033 C-23	PROJECT ENGINEER: SWS	REVISIONS DATE BY 1 2 3 4 5 6 7 8	COPYRIGHT © 2022 SUMMIT ENGINEERING GROUP, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SUMMIT ENGINEERING GROUP, INC.	STRUCTURAL • CIVIL • LAND SURVEYING 30 WEST CENTER • P.O. BOX 176 HERRING CITY, CALIF. 92525 P. 435-854-8228 • F. 435-854-8231
	PROJECT MANAGER: SWS DRAWN BY: ANJ CHECK DATE: 08/22/2022 DESIGN ENGINEER: SWS			



KEY PLAN

1" = 40' HORIZONTAL SCALE  
1" = 10' VERTICAL SCALE  
DATE: 08/22/2023

\\S:\PROJECTS\CURRENT\PROJECTS\21-033 STRAWBERRY RANCH\WORKING FILES\ENGINEERING\DWG\21-033 RW SHEETS.DWG

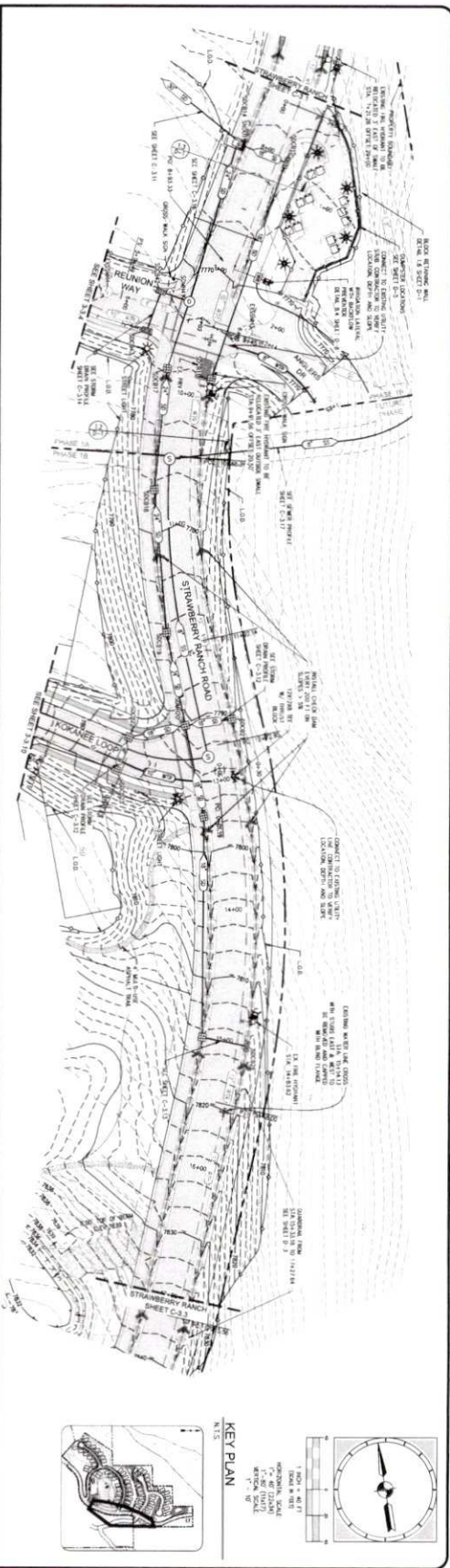
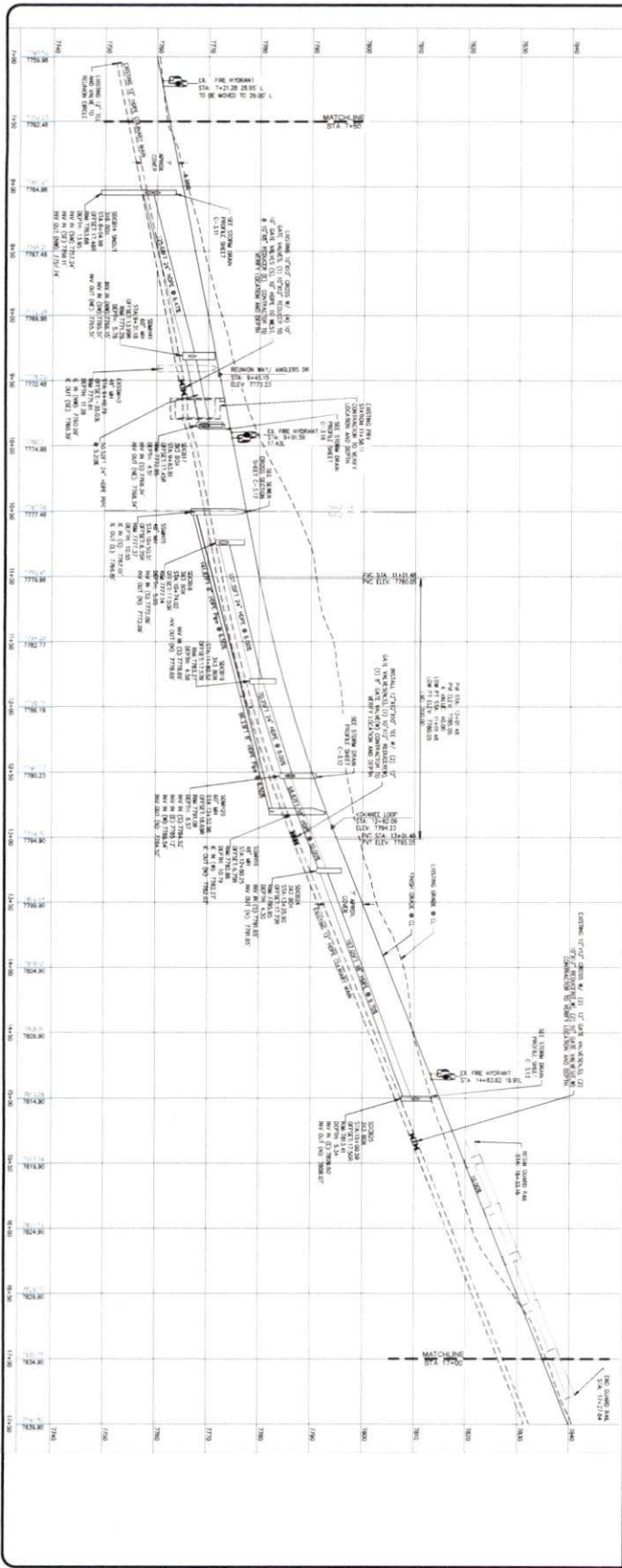
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMB
SHEET TITLE STRAWBERRY RANCH ROAD PLAN AND PROFILE STA -04.30 TO 7-50	PROJECT MANAGER BMB
PROJECT NO. C21-033	DRAWN BY STS
SHEET NO. C-31	DATE 08/22/2023

DESIGN ENGINEER BMB
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NO.	REVISIONS	DATE BY
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**KEY PLAN**

1" = 40' HORIZONTAL SCALE  
 1" = 20' VERTICAL SCALE  
 NORTH

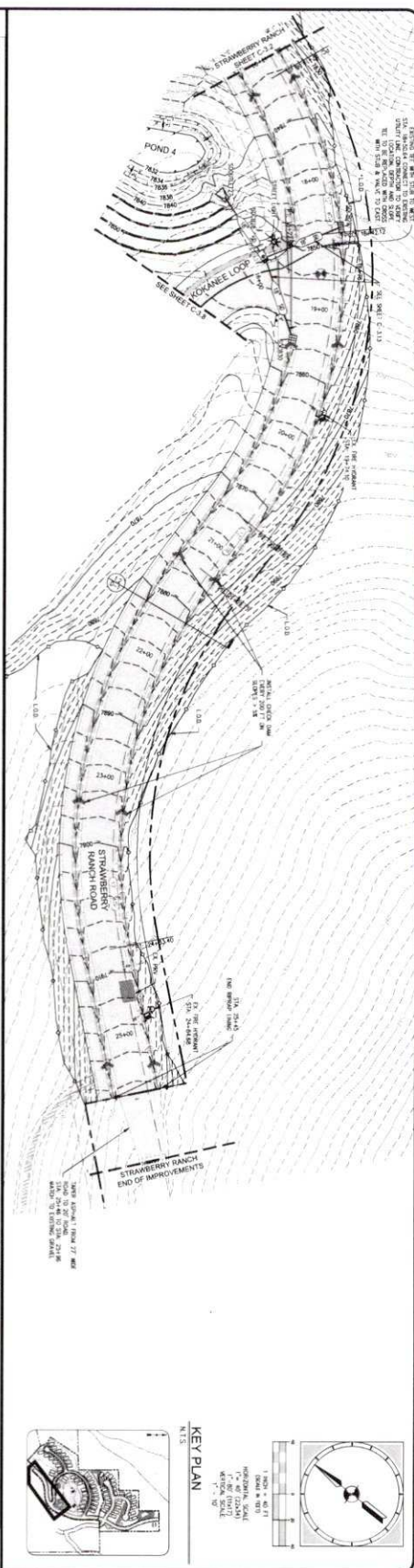
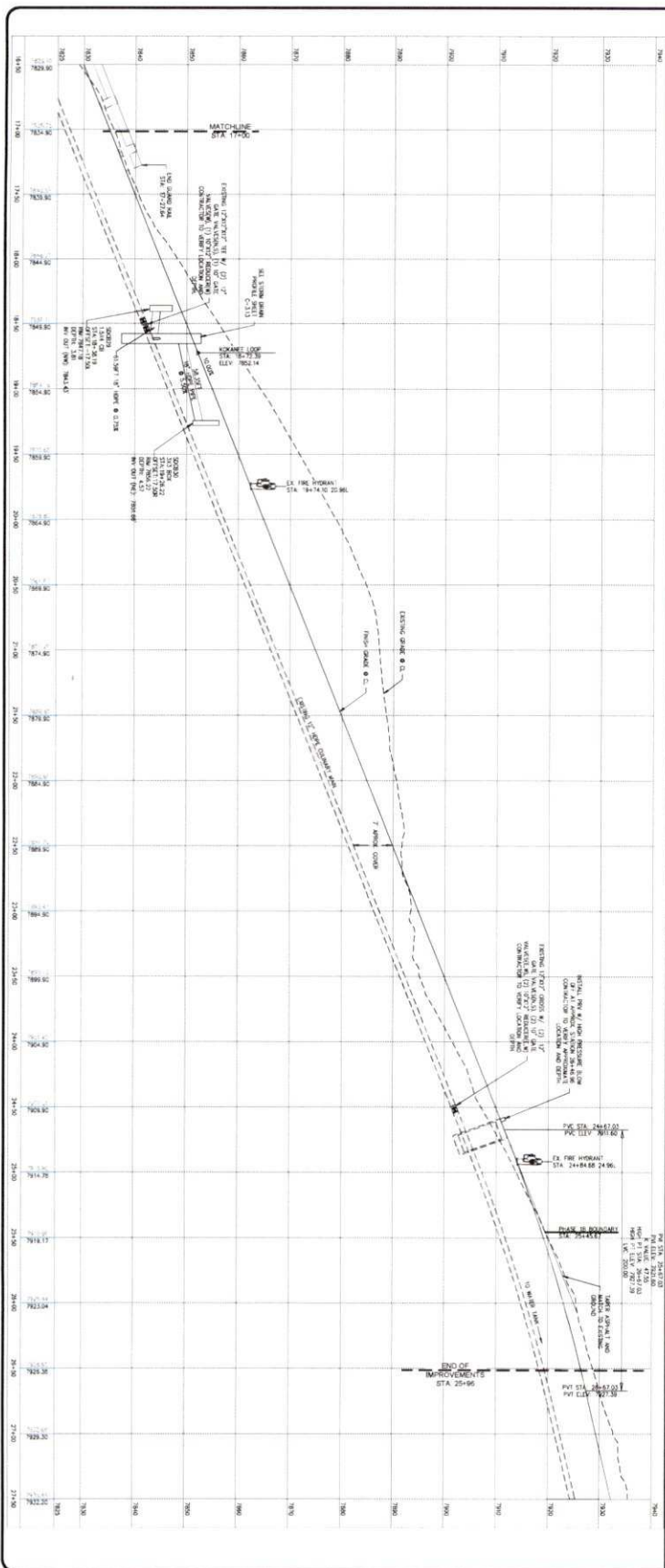
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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENR	DATE: BY:	REVISIONS:
PROJECT MANAGER: ENR	DATE: BY:	1	
SHEET TITLE: STRAWBERRY RANCH ROAD PLAN AND PROFILE STA 7+50 TO 17+00	DRAWN BY: STS	2	
	DATE: 08/22/2023	3	
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**KEY PLAN**

1" = 40' HORIZONTAL SCALE  
1" = 20' VERTICAL SCALE

**KEY PLAN**

1" = 40' HORIZONTAL SCALE  
1" = 20' VERTICAL SCALE

PROJECT: STRAWBERRY RANCH  
SHEET: C-3.3

PROJECT ENGINEER: [Name]  
PROJECT MANAGER: [Name]  
DRAWN BY: [Name]  
DATE: 02/22/2023

LEADER ENGINEER: [Name]

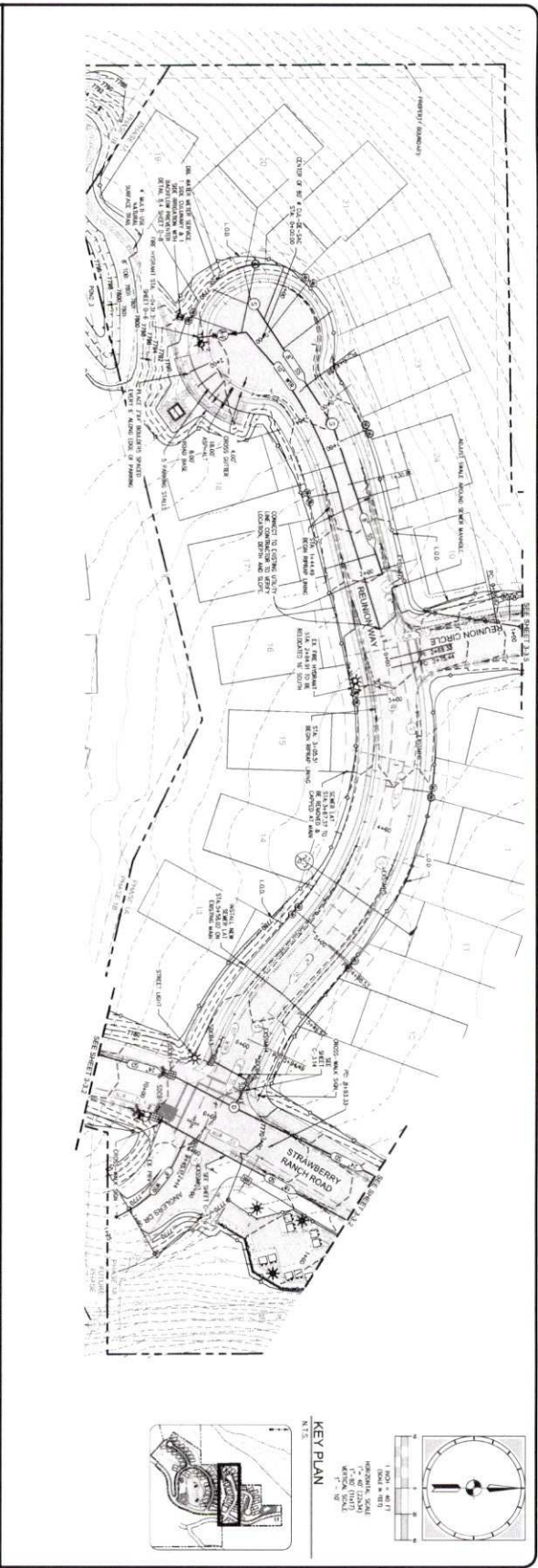
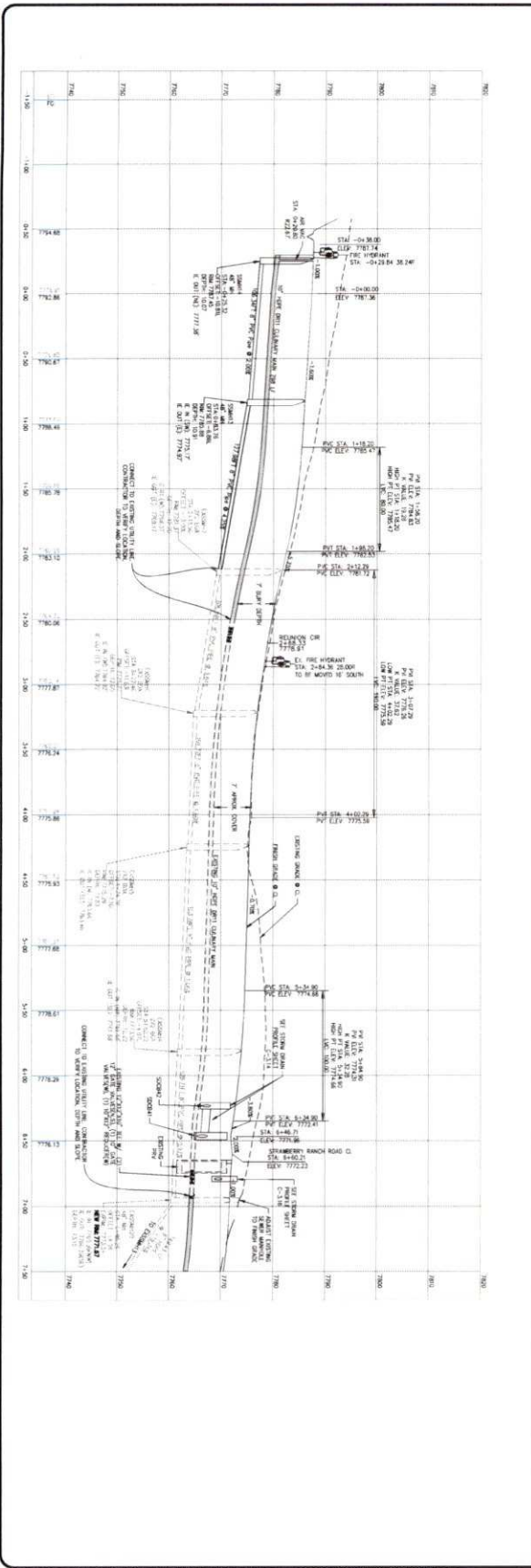
REVISIONS

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DATE: [Date]

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**KEY PLAN**

1" = 40' HORIZONTAL SCALE  
1" = 20' VERTICAL SCALE  
NAD 83

PROJECT: STRAWBERRY RANCH

SHEET: C21-033

SHEET TITLE: RELIAN WAY PLAN AND PROFILE STA 0+00 TO 6+66.67

PROJECT ENGINEER: [Signature]

PROJECT MANAGER: [Signature]

DRAWN BY: SFS

DATE: 08/22/2023

REVISIONS:

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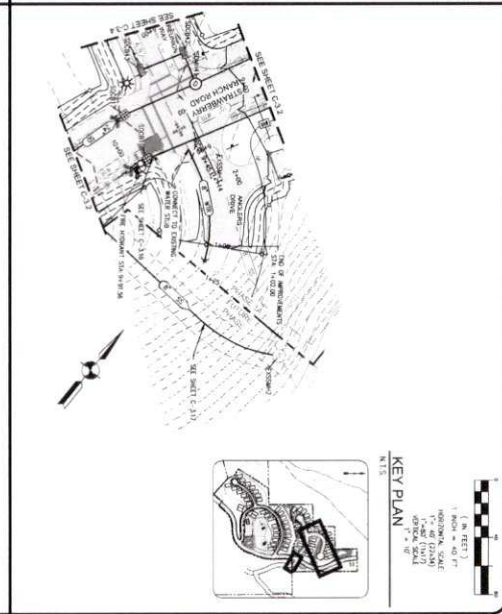
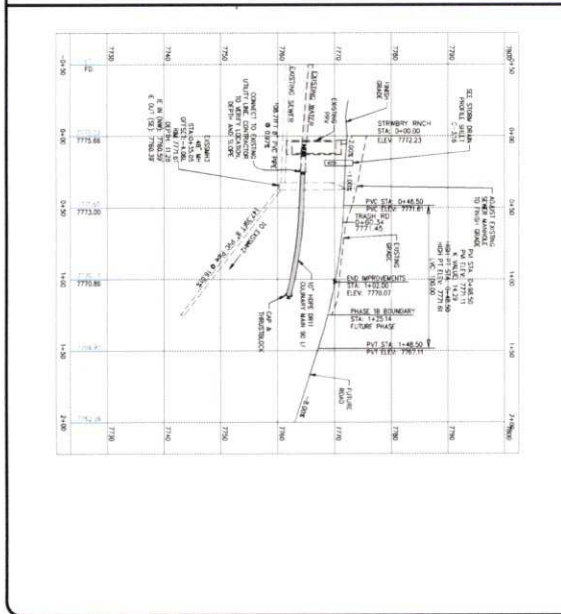
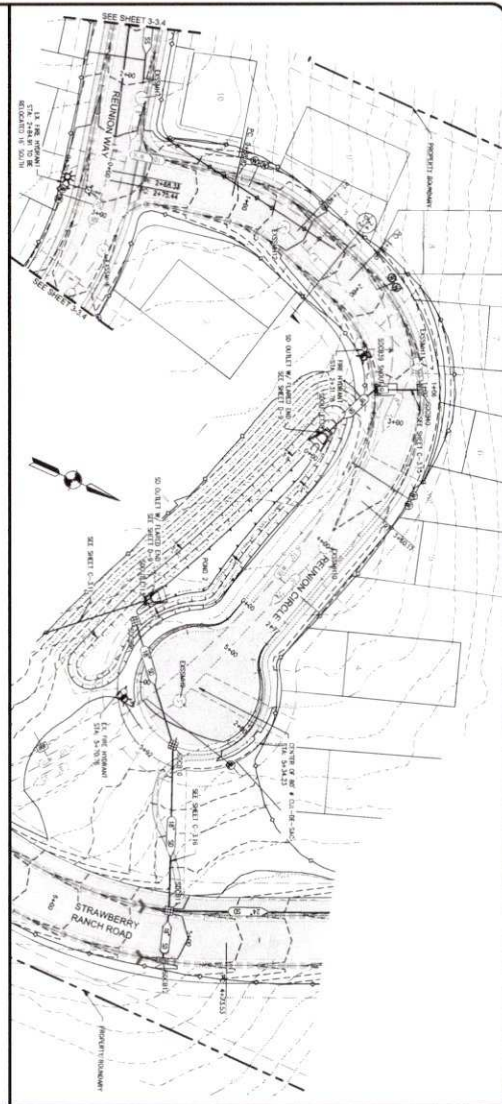
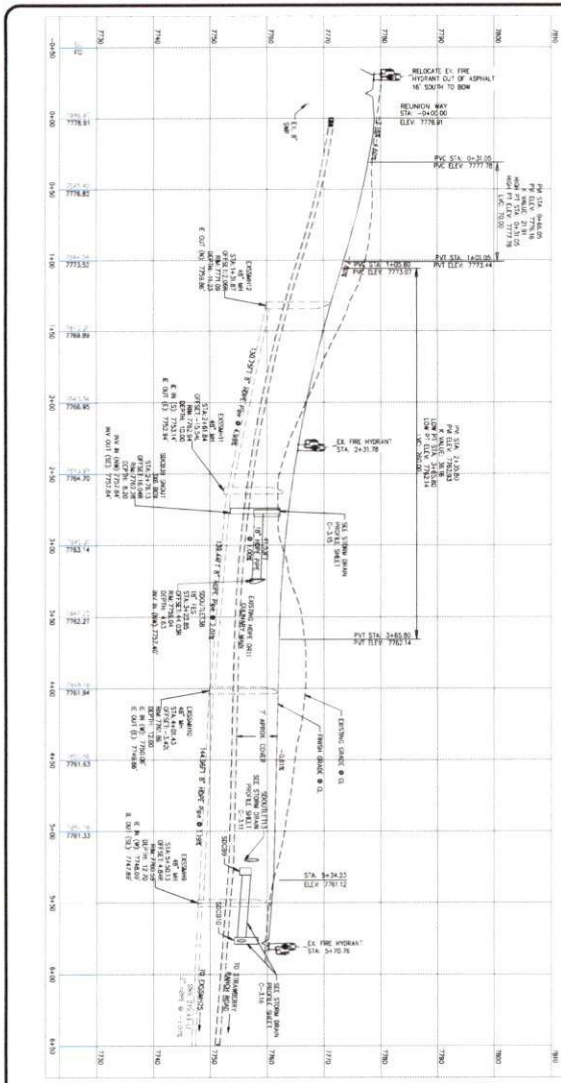
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DESIGN ENGINEER: [Blank]

DATE: [Blank]

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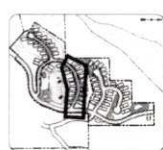
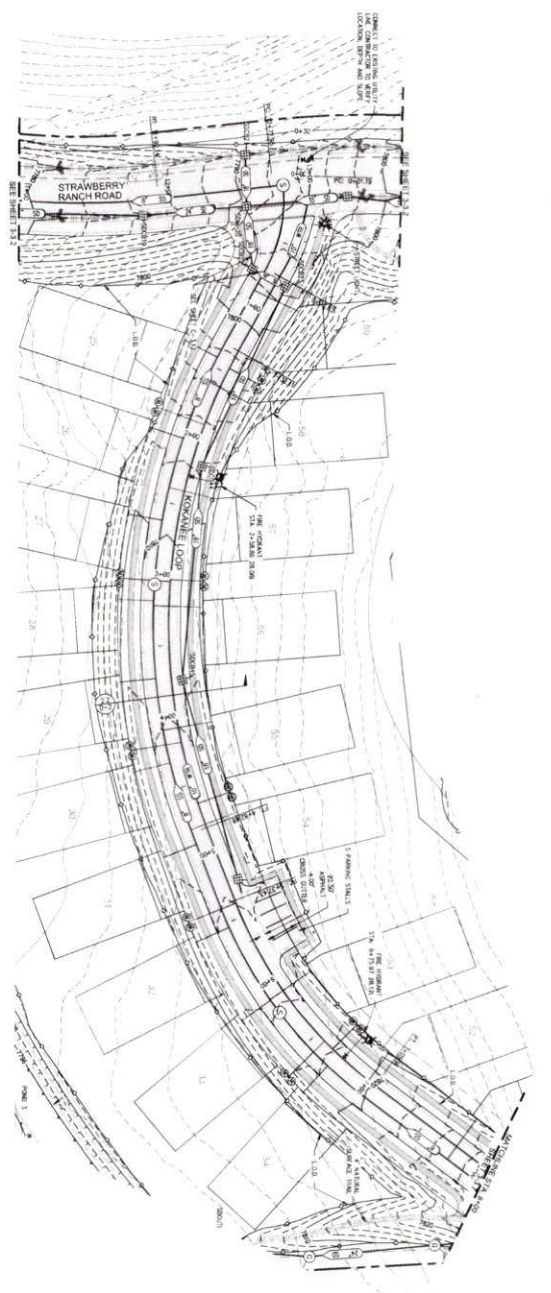
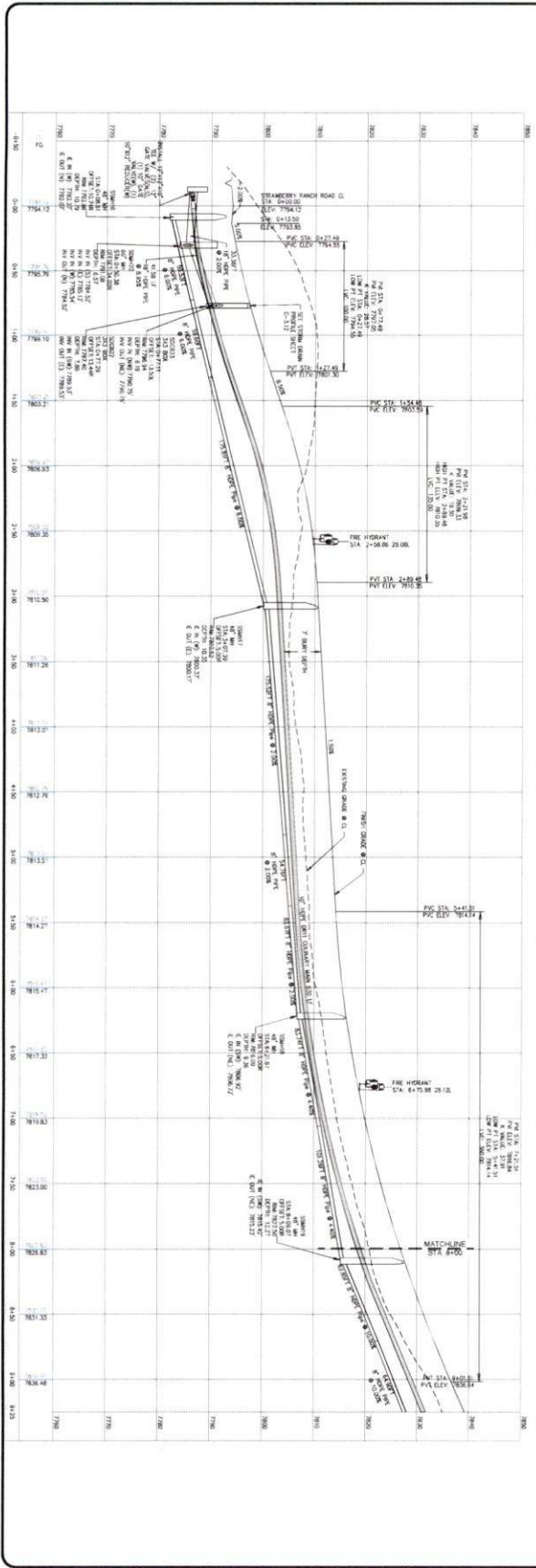
**KEY PLAN**  
 1" = 40' (HORIZONTAL)  
 1" = 10' (VERTICAL)  
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2:166 PROJECT CURRENT PROJECTS\21-033 STRAWBERRY RANCH C&S\WORKING FILES\ENGINEERING\DWG\21-033 PP SHEETS\DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMB	DATE BY	REVISIONS
DRAWN BY SFS	PROJECT MANAGER BMB		
CHECKED BY SFS	DATE 08/22/2023		
DESIGN ENGINEER			

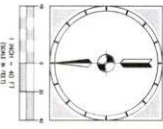
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 SHEET: C-35  
 SHEET TITLE: REINFORCED CONCRETE DRIVE PLAN AND PROFILE STA. 0+00 TO 6+50 & ANGLERS DRIVE PLAN AND PROFILE STA. 0+00 TO 2+00

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KEY PLAN

1" = 400' HORIZONTAL SCALE  
1" = 40' VERTICAL SCALE



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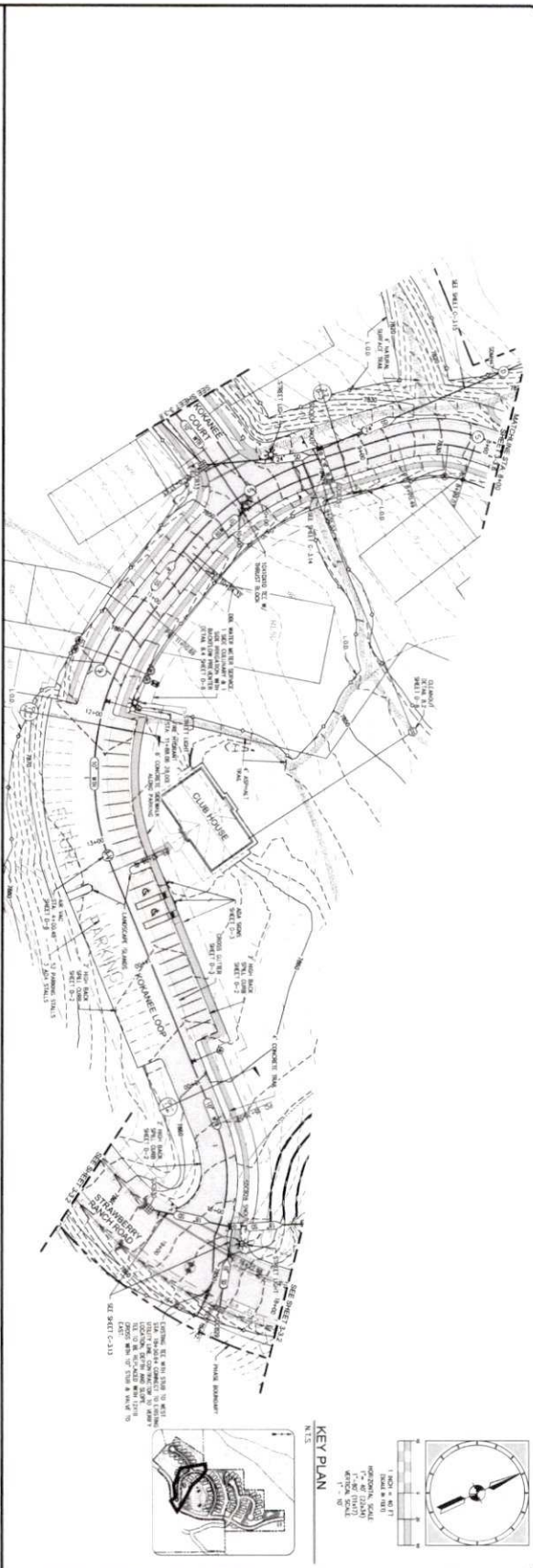
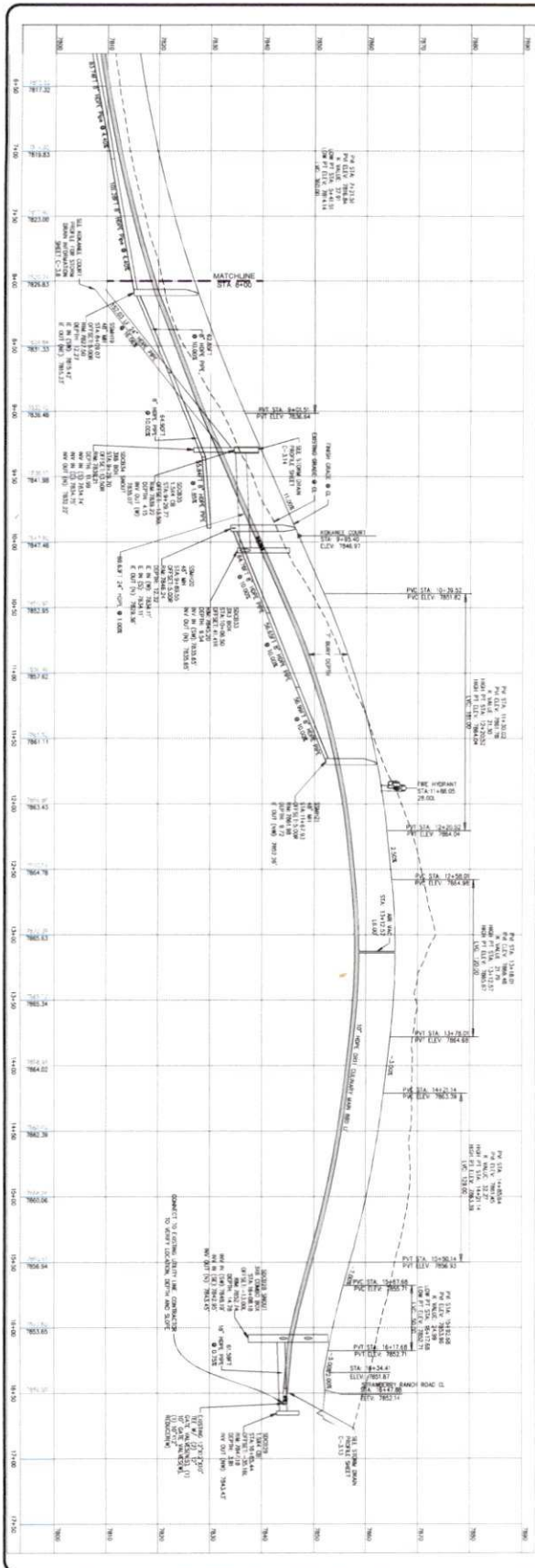
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SHEET TITLE: KOKANEE LOOP PLAN AND PROFILE STA 0+00 TO 84+00  
PROJECT NUMBER: C21-033  
DRAWN BY: SPS  
DATE: 08/22/2023

PROJECT ENGINEER: ENW  
PROJECT MANAGER: ENW  
DRAWN BY: SPS  
DATE: 08/22/2023  
CHECKER: [ ]  
DATE: [ ]

NO.	REVISIONS	DATE	BY
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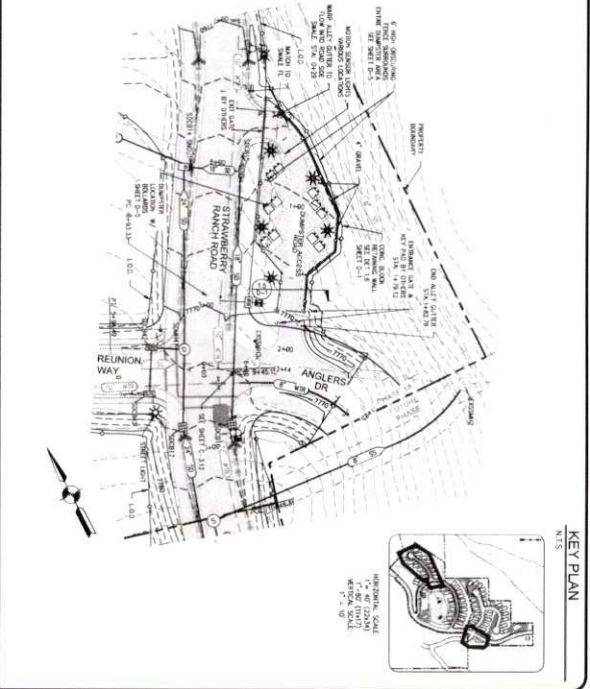
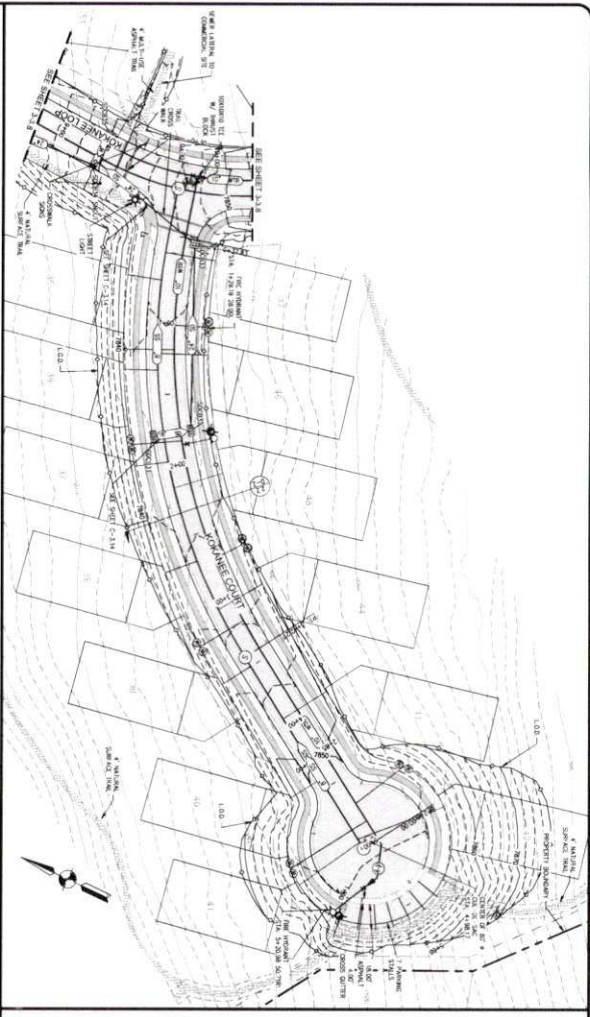
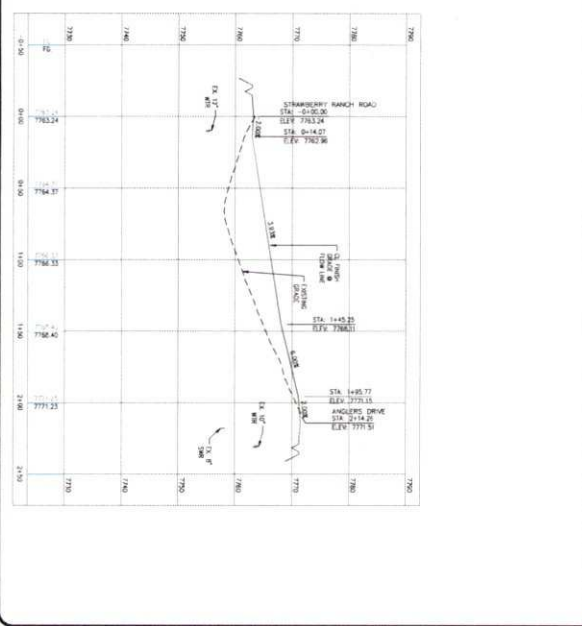
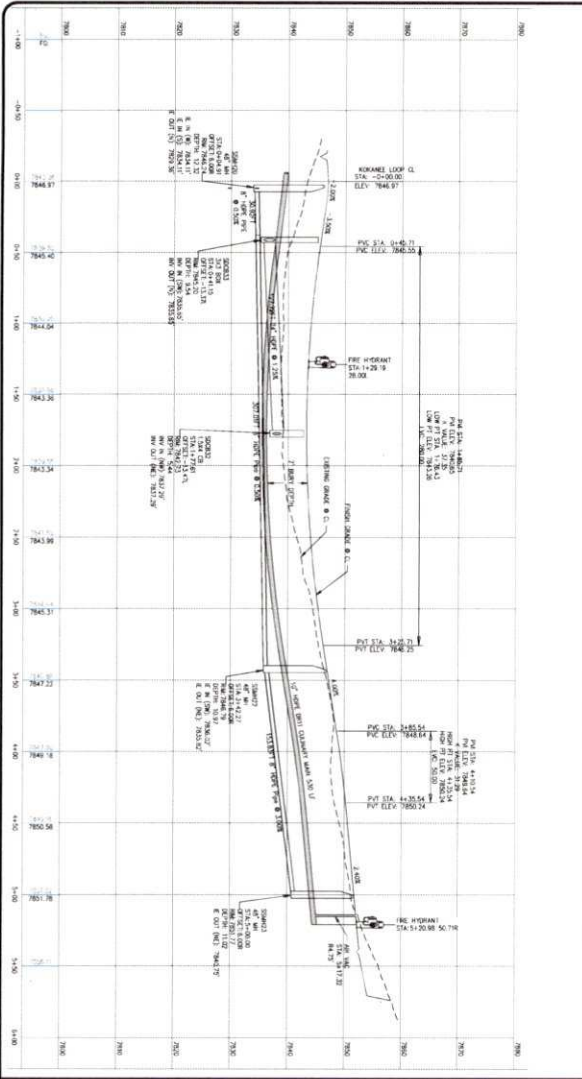
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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER EMH
SHEET NO. C-3-7	PROJECT MANAGER EMH
SHEET TITLE KOKANEF LOOP STA 8+00 TO 17+00	DRAWN BY SFS
	DATE 08/22/2013
	DESIGN ENGINEER SME

NO.	REVISIONS	DATE	BY

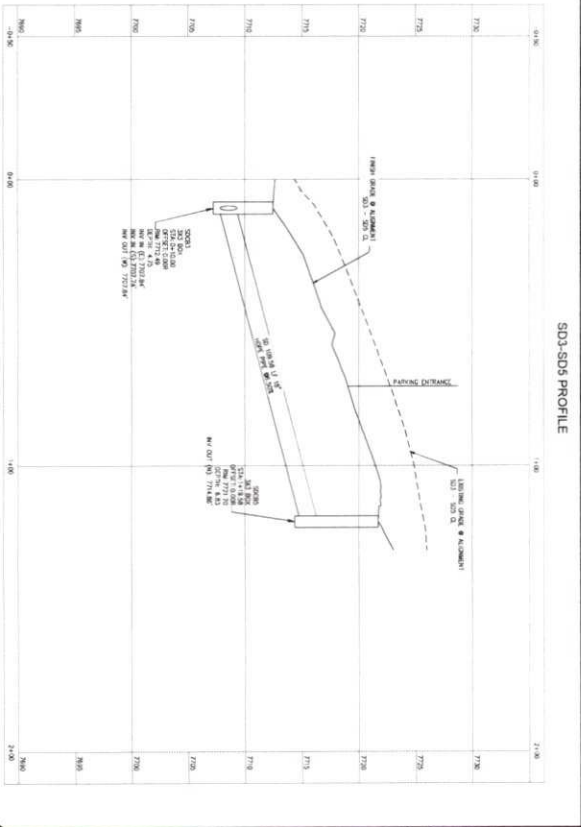
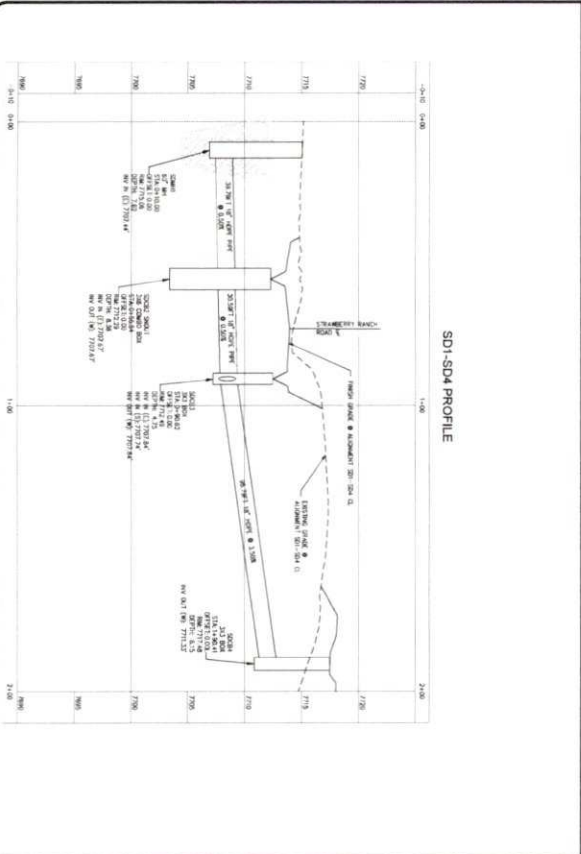
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SANDY, UT 84085-0176  
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KEY PLAN  
1" = 50'

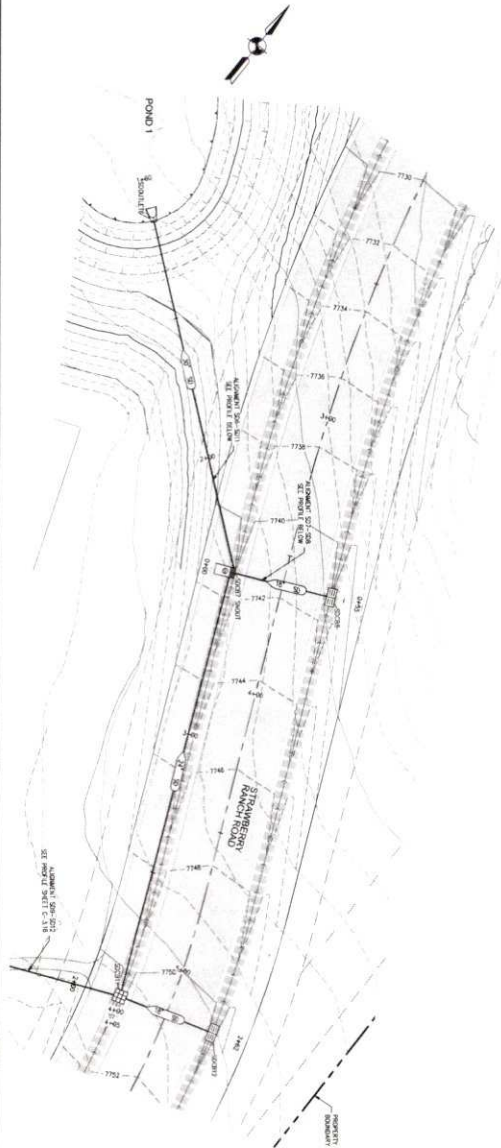
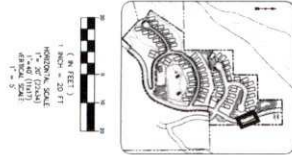
PROJECT: STRAWBERRY RANCH SHEET: C21-033 SHEET TITLE: KOKANE COURT PLAN AND PROFILE STA: 0+00 TO 2+00 DUMPISTER ACCESS ROAD PLAN AND PROFILE STA: 0+00 TO 2+00		PROJECT ENGINEER: BMB PROJECT MANAGER: BMB DRAWN BY: SFS ISSUE DATE: 06/22/2023 DESIGN ENGINEER: GML	REVISIONS DATE BY 1 2 3 4 5 6 7 8	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP SUMMIT ENGINEERING GROUP 55 WEST CENTER • P.O. BOX 176 HEARST CITY, UTAH 84020 • 435-654-9229 • F. 435-654-9231
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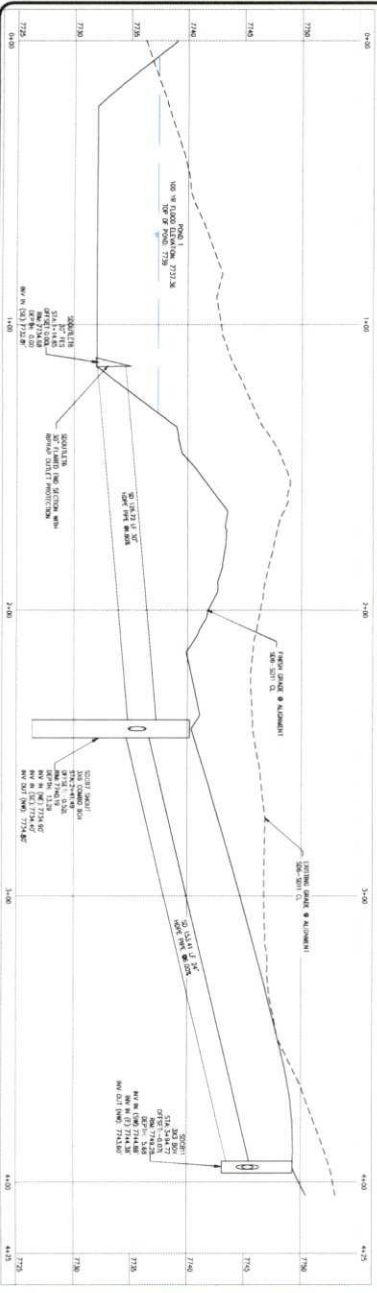
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NO.	DATE	BY	DESCRIPTION									



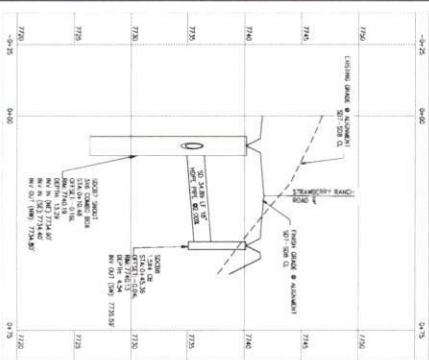
KEY PLAN



SDOUTLETS-SDCB11 PROFILE



SDCB7-SDCB8 PROFILE



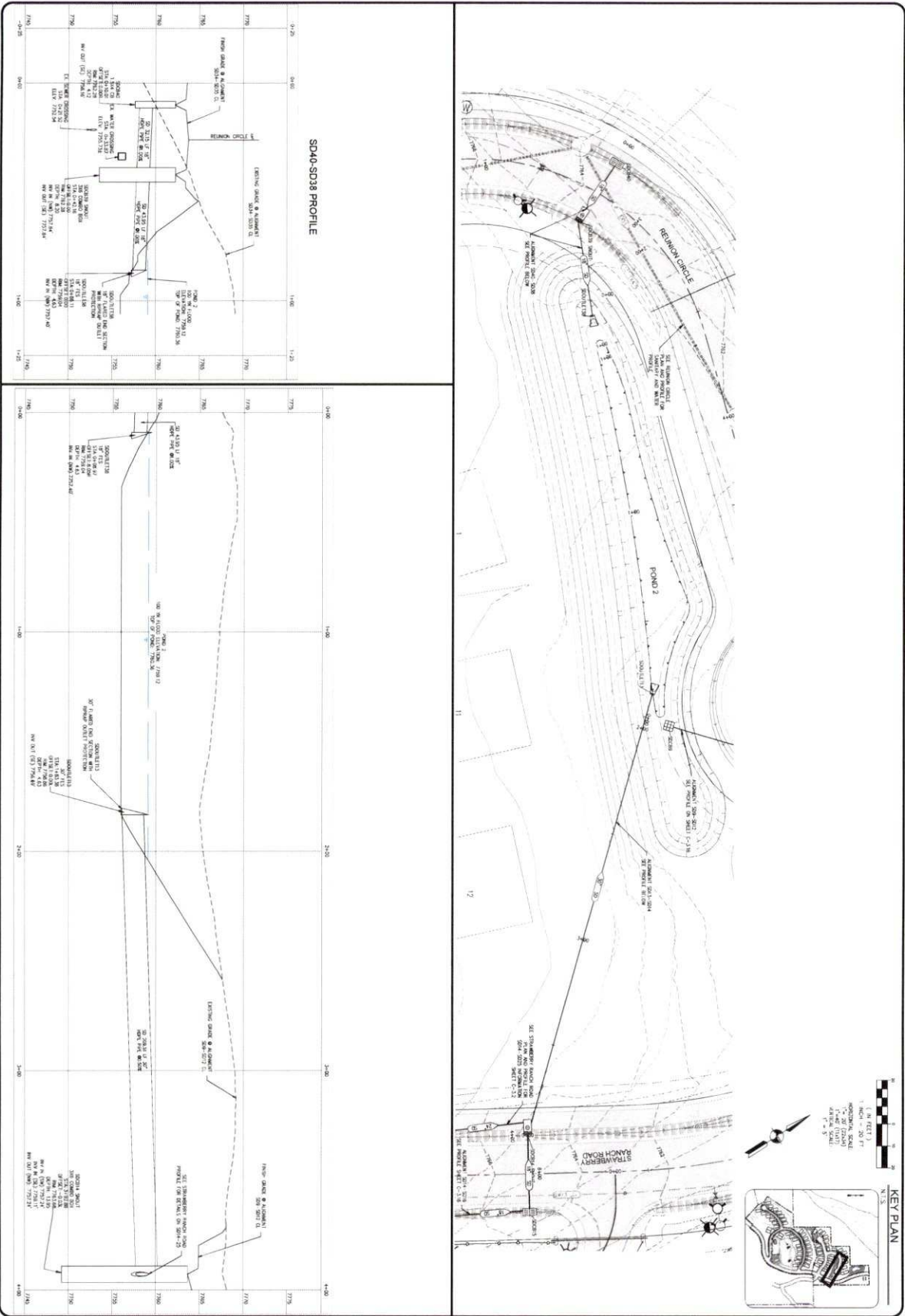
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PROJECT	STRAWBERRY RANCH
SHEET	C-310
PROJECT NO.	C21-033
SHEET TITLE	SDOUTLETS TO SDCB11 0+00 TO 4+25 SDCB7 TO SDCB8 - 0+25 TO 0+75
DATE	08/22/2023

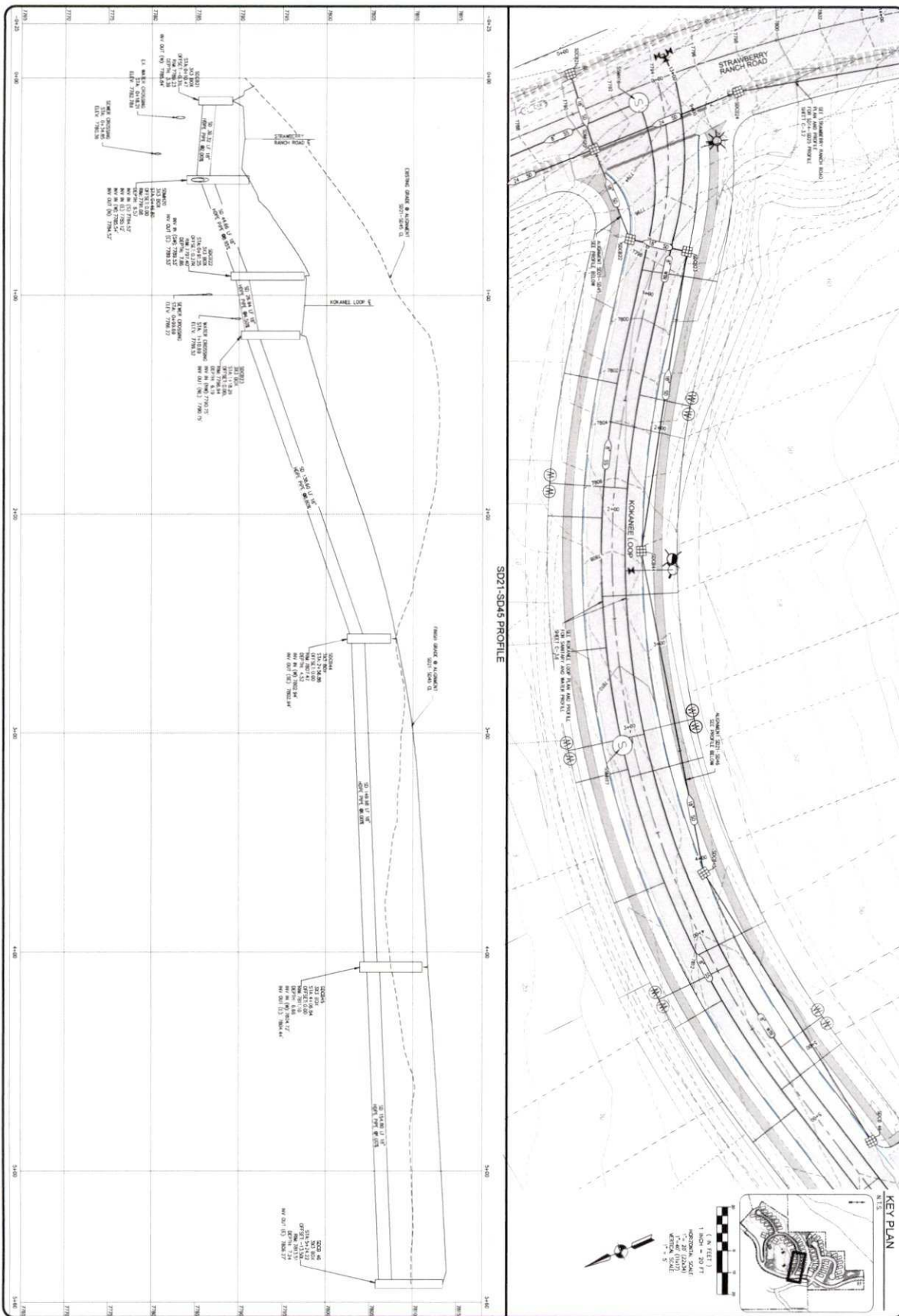
PROJECT ENGINEER	SMR
PROJECT MANAGER	EMR
DRAWN BY	SJS
CHECKED BY	SMR
DATE	08/22/2023

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Z:\MSR\PROJECTS\CURRENT\PROJECTS\021-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\DWG\021-033 SD SHEETS.DWG		REVISIONS		DATE BY		COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC.	
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER SWE	PROJECT MANAGER EMR	1			 Summit Engineering Group Inc. STRUCTURAL • CME • LAND SURVEYING 55 WEST CENTER • P.O. BOX 176 HERRIN CITY, TENN 37633 • 423-534-9229 • F. 423-534-9231	
SHEET C-311	SHEET TITLE SC0240 TO SC0216 STA: -0+00 TO 1+25 SC0217 TO SC0218 STA: -0+00 TO 4+00	DRAWN BY SFS	2				
	ISSUE DATE 08/22/2023	CHECK ENGINEER DML	3				
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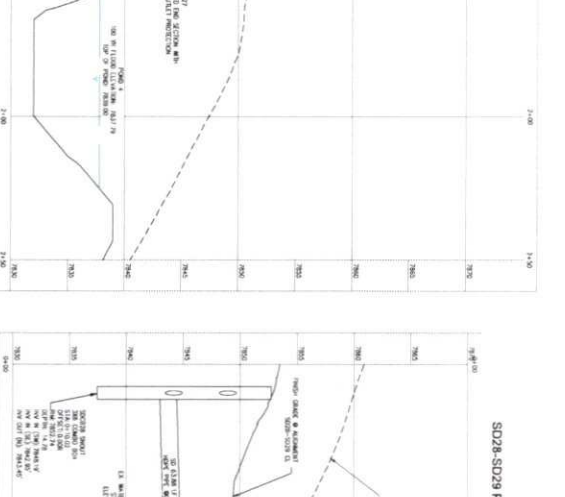
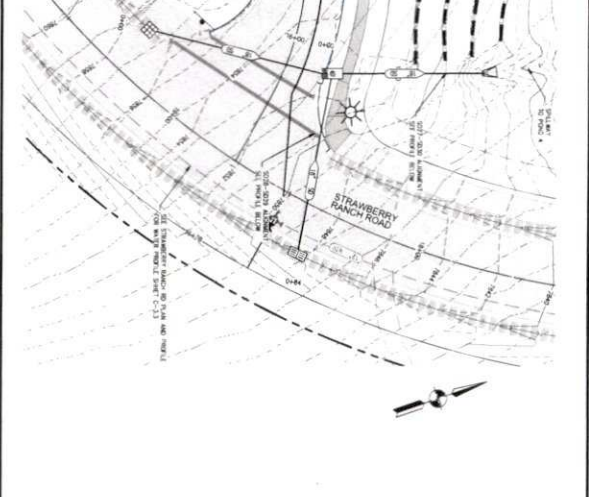
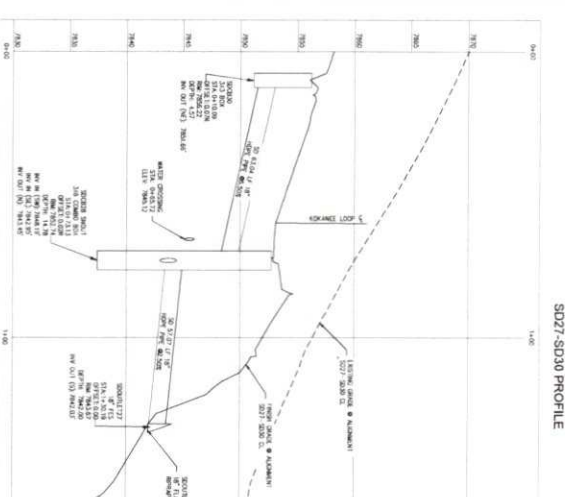
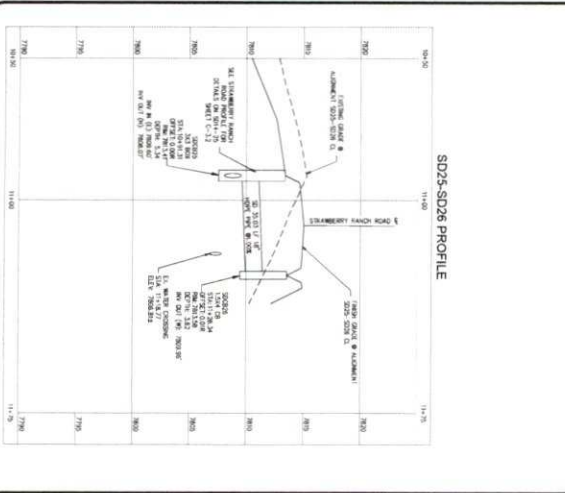
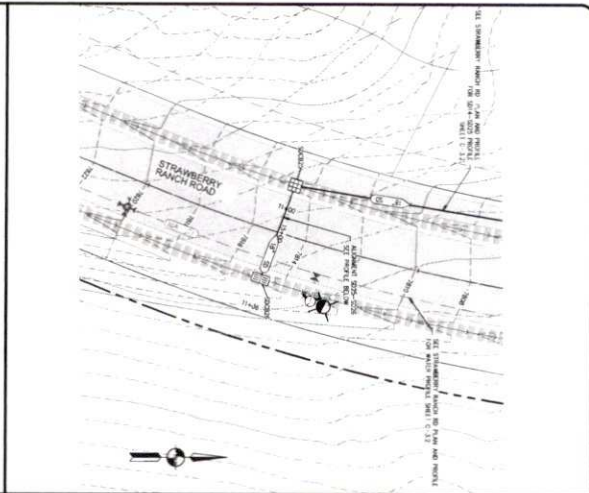
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SHEET FILE SD0B21 TO SD0B45 -0+25 TO 5+00	PROJECT NUMBER BWS		
	DESIGNER SJS		
	CHECKER SJS		
	DATE 08/22/2003		

REVISIONS

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**KEY PLAN**  
N.T.S.

1" = 40' HORIZONTAL SCALE  
1" = 20' VERTICAL SCALE  
(AS SHOWN)

PROJECT: STRAWBERRY RANCH  
SHEET: C-3.13

PROJECT ENGINEER: [Name]  
PROJECT MANAGER: [Name]  
DRAWN BY: [Name]  
DATE: 02/22/2023

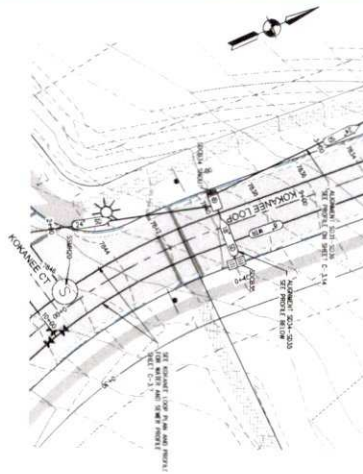
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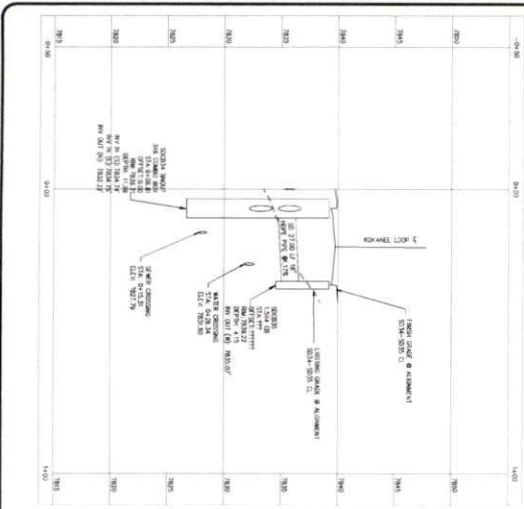
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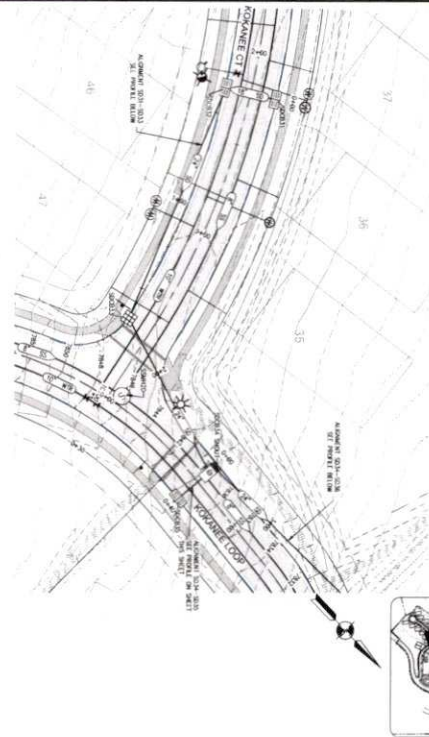
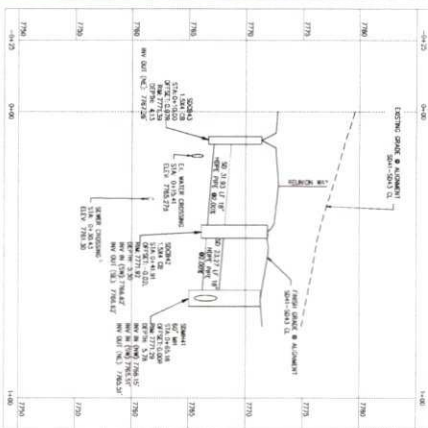
50 WEST CENTER ST. SUITE 170  
HEBER CITY, UTAH 84052  
P: 435-884-9222 • F: 435-884-9231



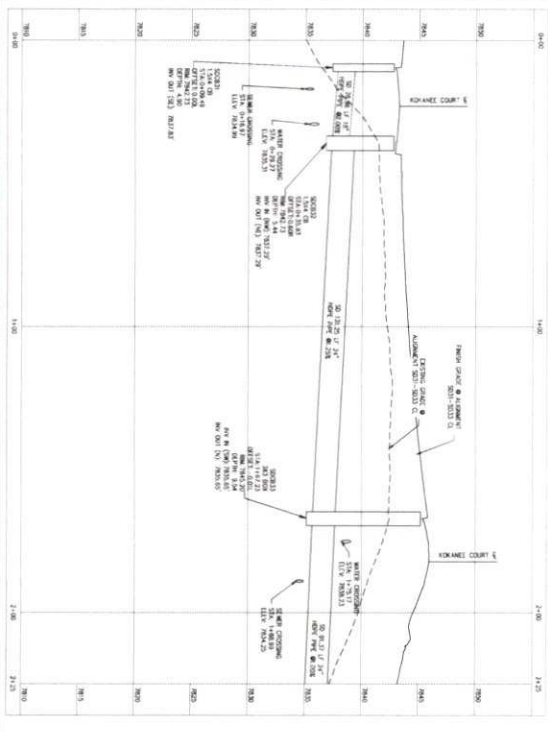
SD34-SD35 PROFILE



SD43-SD41 PROFILE



SD31-SD33 PROFILE



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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BWS	PROJECT MANAGER BWS	DESIGN ENGINEER BWS
SHEET TITLE C21-033	DATE 08/22/2023	SCALE AS SHOWN	
DATE 08/22/2023			

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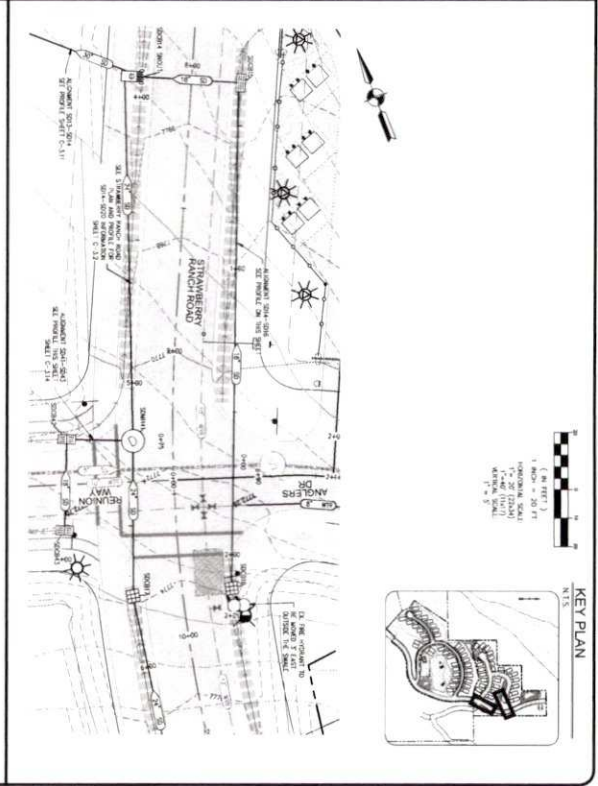
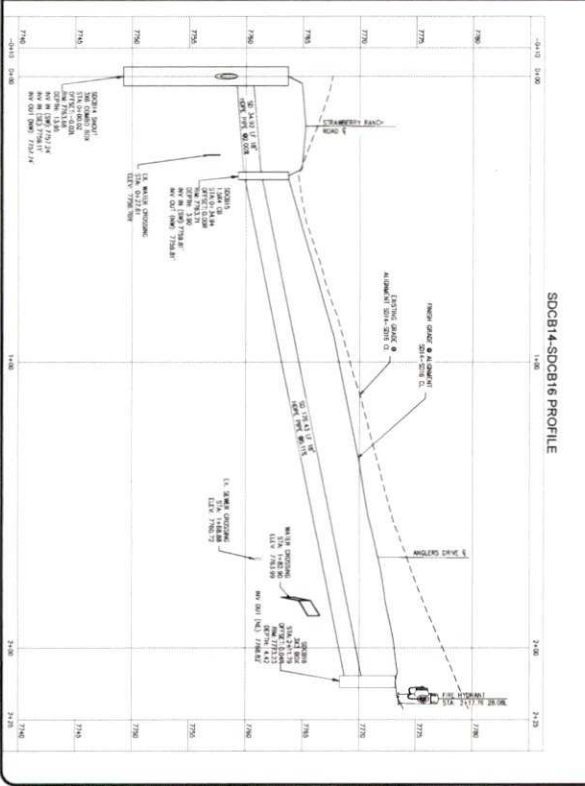
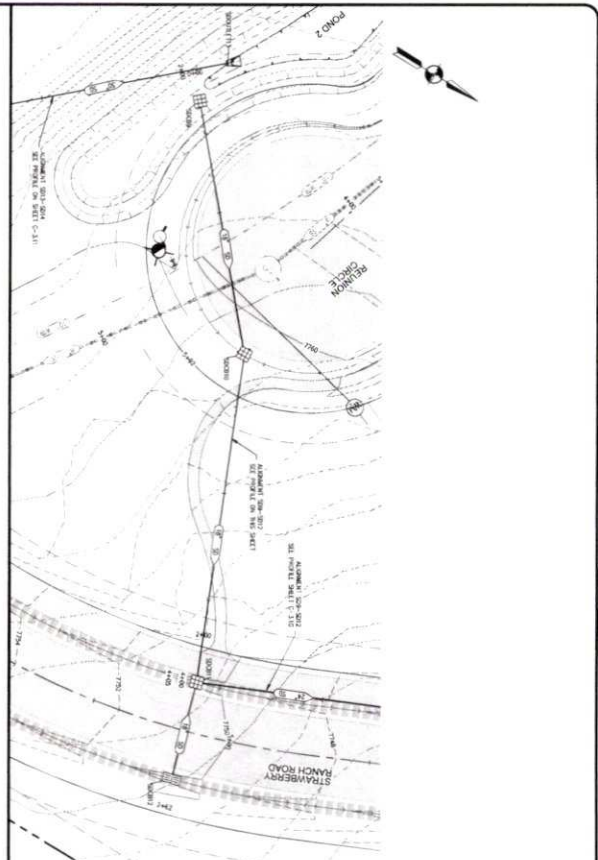
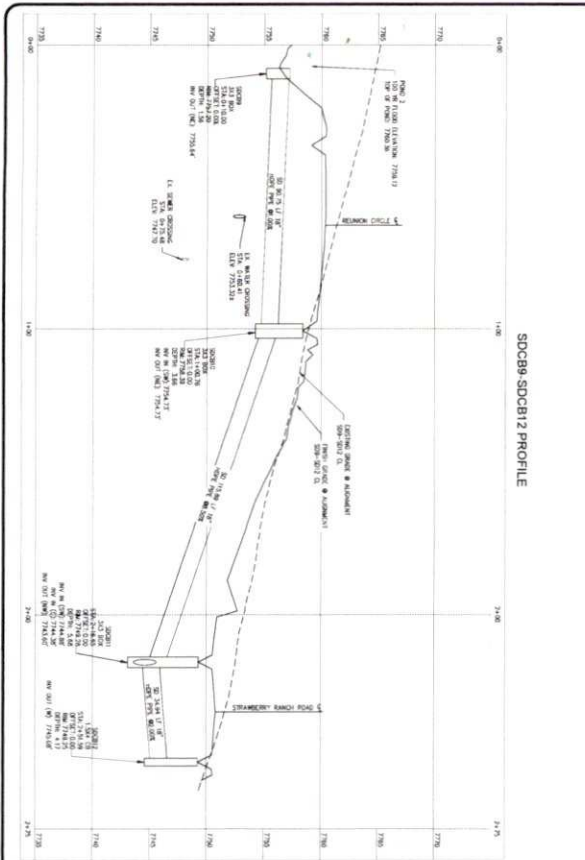
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SHEET TITLE SD33-SD37 7+00 TO 7+50	PROJECT MANAGER BWB	REVISIONS	
PROJECT NUMBER C21-033	DRAWN BY SFS	DATE 08/22/2023	1 2 3 4 5 6 7 8
SHEET C-315	CHECK ENGINEER		SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING

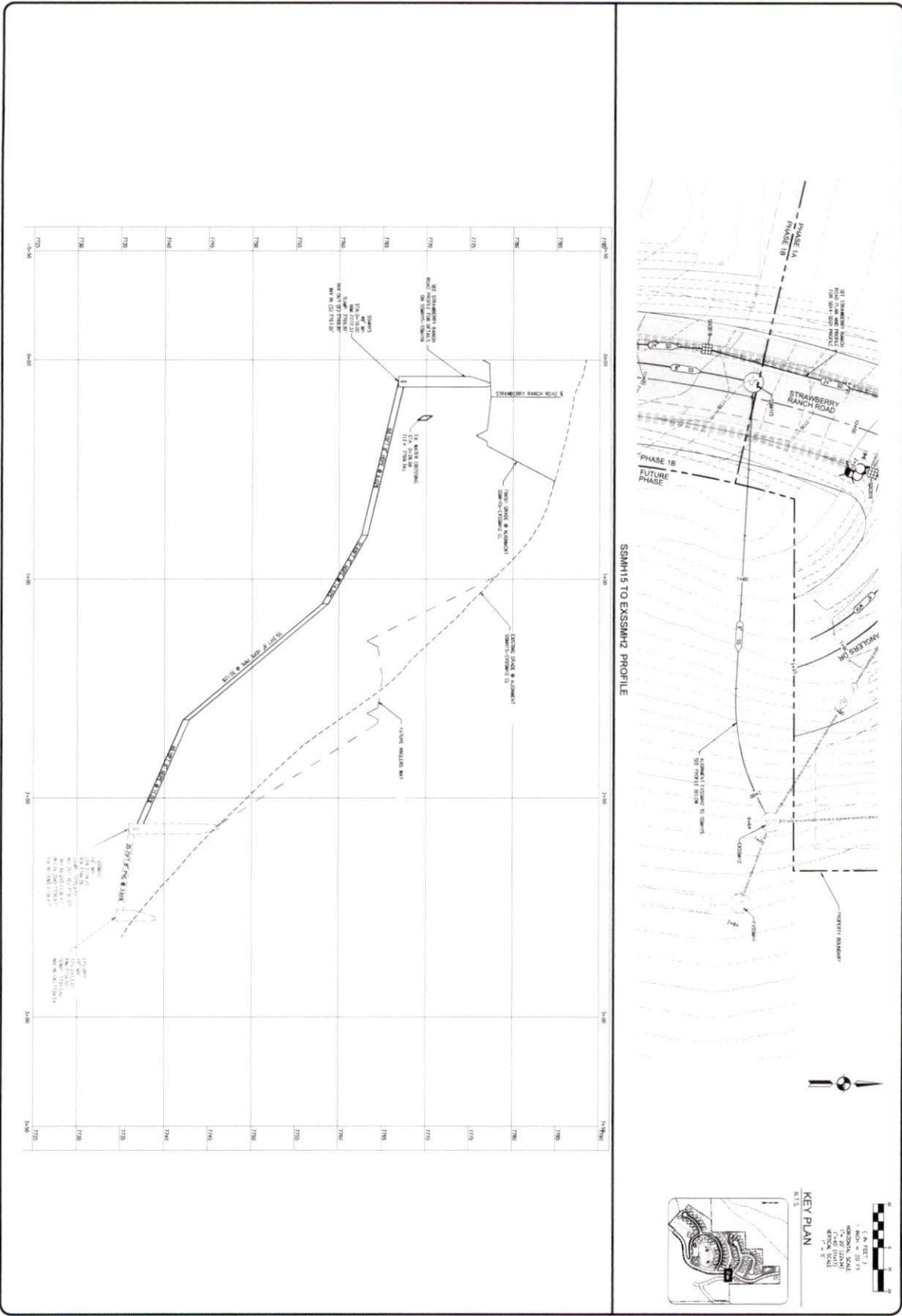


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 SHEET: C-3.16  
 PROJECT MANAGER: EMB  
 SHEET TITLE: SDCB8 TO SDCB12 - 0+50 TO 2+75  
 SDCB14 TO SDCB16 STA - 0+10 TO 2+25  
 DATE: 08/22/2023  
 DESIGN ENGINEER: [Signature]

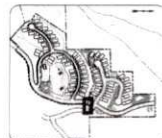
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KEY PLAN  
 N.T.S.  
 1" = 40' HORIZONTAL SCALE  
 1" = 20' VERTICAL SCALE  
 1" = 10' ALTIMETER SCALE



SSMH15 TO EXSSMH2 PROFILE



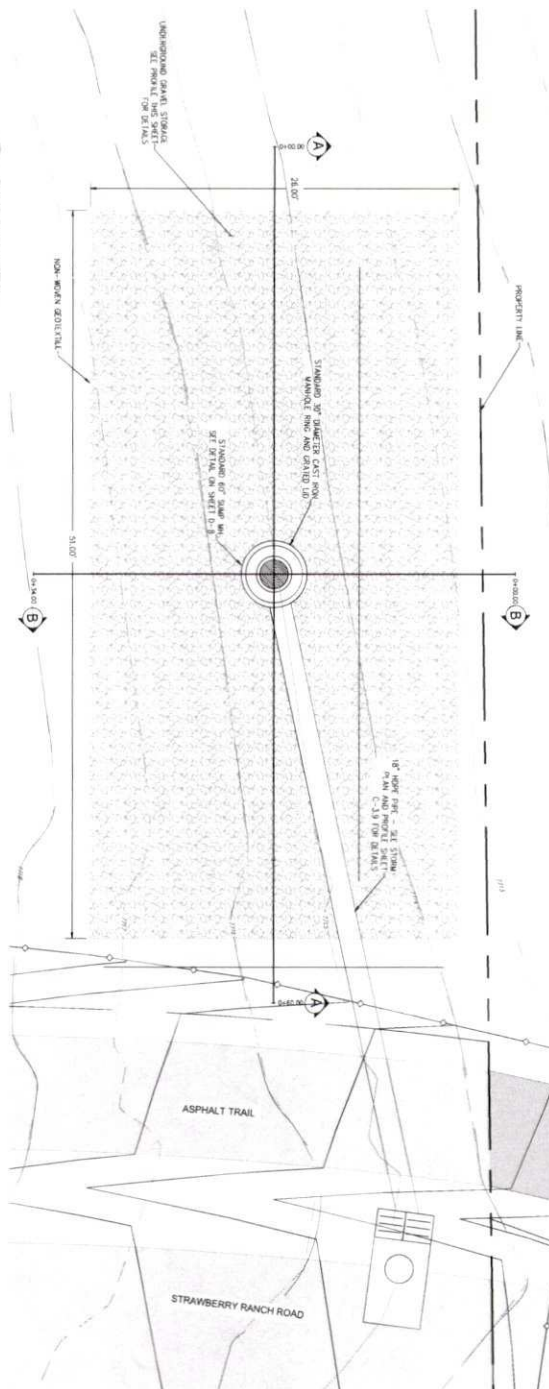
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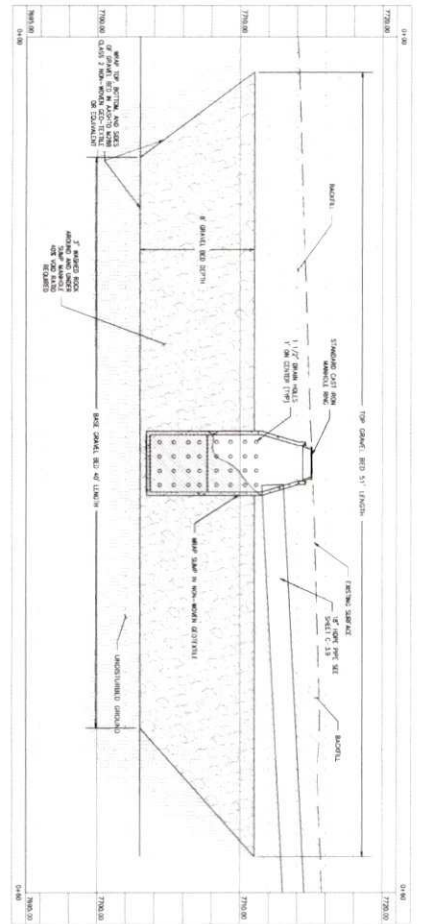
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<p>PROJECT STRAWBERRY RANCH</p> <p>SHEET C-317</p>	<p>SHEET TITLE SANITARY PLAN AND PROFILE SSMH15-EXSSMH2 STA -D+50 TO 3-0C</p>	<p>PROJECT ENGINEER SMB</p> <p>PROJECT MANAGER BMB</p>	<p>DRAWN BY STS</p> <p>DATE 08/22/2023</p>	<p>DESIGN ENGINEER SMB</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td>1</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td><td></td></tr> </tbody> </table>	NO.	REVISIONS	DATE	BY	1				2				3				4				5				6				7				8				<p>Copyright © 2023 Summit Engineering Group, Inc.</p> <p>Summit Engineering Group Inc. STRUCTURAL • C&amp;I • LAND SURVEYING</p> <p>100 WEST CENTER • P.O. BOX 1718 WEBER CITY, UTAH 84083 • 435-651-9329 • F. 435-654-9331</p>
NO.	REVISIONS	DATE	BY																																							
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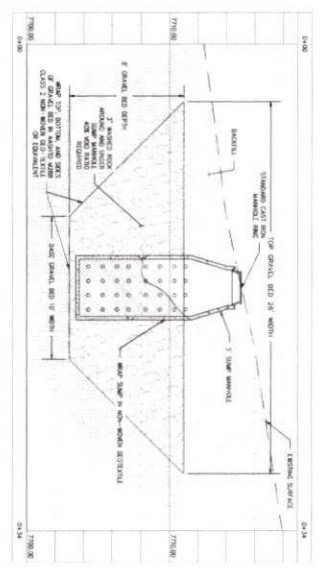




4.1 SUMP PLAN VIEW  
SCALE 1" = 20'



4.2 SUMP PROFILE VIEW A-A  
SCALE 1" = 10' (H AND V)



4.2 SUMP PROFILE VIEW B-B  
SCALE 1" = 10' (H AND V)

**NOTE**  
 1. SUMP SHALL BE CONSTRUCTED WITH 7" THICK CONCRETE WITH 1/2" AGGREGATE.  
 2. SUMP SHALL BE 36" DIA. WITH 36" DIA. SET PIPE.  
 3. SUMP SHALL BE 36" DIA. WITH 36" DIA. SET PIPE.  
 4. SUMP SHALL BE 36" DIA. WITH 36" DIA. SET PIPE.

**MATERIAL LEGEND**

- 7" THICK CONCRETE WITH 1/2" AGGREGATE
- 36" DIA. SET PIPE
- 36" DIA. CAST IRON PIPE
- 1 1/2" DIA. MANHOLE
- 1/2" DIA. SET PIPE
- 10' DIA. SET PIPE

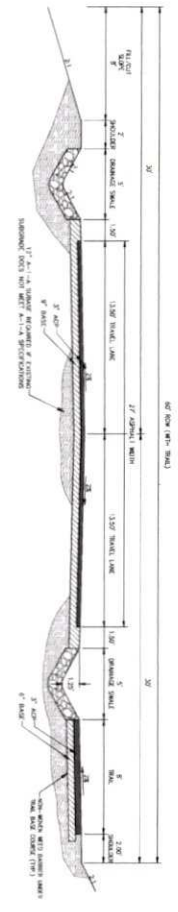
**KEY PLAN**  
 SCALE 1" = 200'

PROJECT: STRAWBERRY RANCH SHEET: C-4.1 SHEET TITLE: SUMP PLAN AND PROFILE	PROJECT ENGINEER: [Signature] PROJECT MANAGER: [Signature] DRAWN BY: SFS ISSUE DATE: 08/22/2023	REVISIONS: [Table with 2 columns: No., Description] DATE: [Table with 2 columns: No., Date]	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 35 WEST CENTER • P.O. BOX 175 HESBURN, OK 73743 P. 405-854-8220 • F. 405-854-8231
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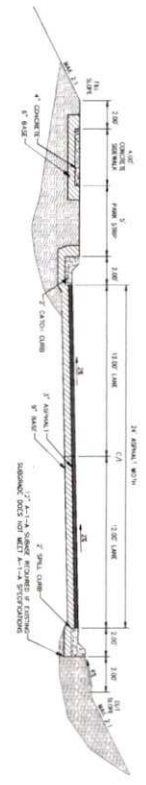
1.1 STANDARD CROSS SECTION NOTES  
SCALE: NTS

- 1. STANDARD WALL IN CONCRETE WITH COMPLETED SOIL SURF
- 2. FINISH GRADE SHALL BE 3" ABOVE FINISH GRADE OF ROAD SURF
- 3. FINISH GRADE SHALL BE 3" ABOVE FINISH GRADE OF ROAD SURF
- 4. FINISH GRADE SHALL BE 3" ABOVE FINISH GRADE OF ROAD SURF
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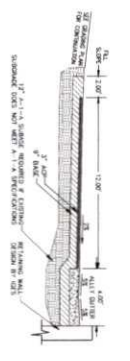
1.2 60' STREET CROSS SECTION (WITH TRAIL RIGHT SIDE)  
STRAWBERRY RANCH ROAD (S17A, D-90 - 27+10)  
SCALE: NTS



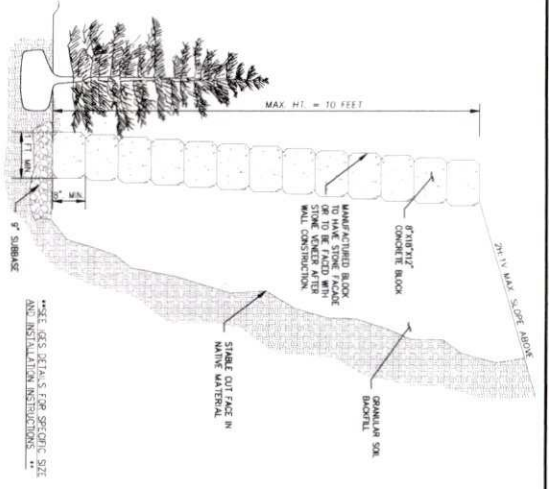
1.4 KOKANEE LOOP - NO CROWN  
S17A, 14+75.30 TO 16+40.0  
SCALE: NTS



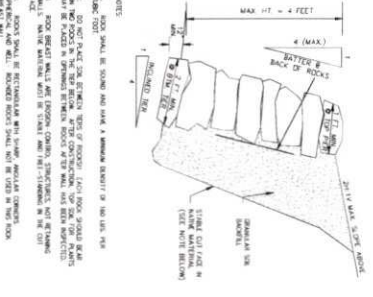
1.5 DUMPSTER ACCESS ROAD  
SCALE: NTS



1.6 BLOCK RETAINING WALL  
SCALE: NTS



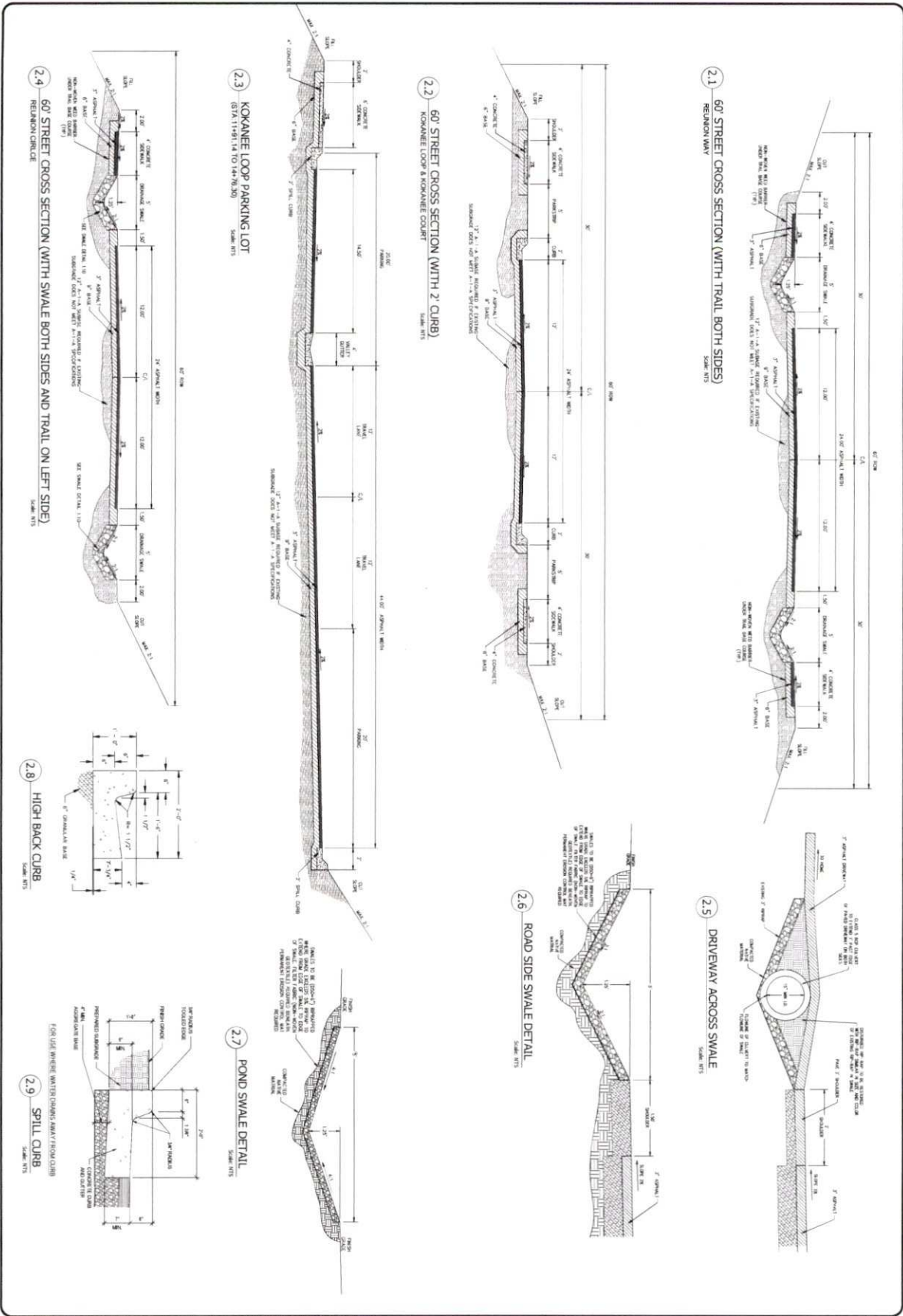
1.7 ROCK RETAINING WALL  
SCALE: NTS



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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENR	DATE: 08/22/2023
SHEET: STREET CROSS SECTIONS, RETAINING WALL DETAILS	PROJECT MANAGER: ENR	DATE: 08/22/2023
SCALE: D-1	ISSUE DATE: 08/22/2023	SCALE: NTS

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2.186 PROJECT CURRENT PROJECT C21-033 STRAWBERRY RANCH C:\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG

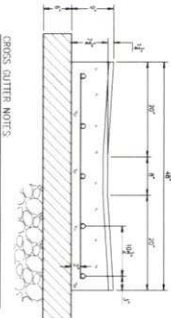
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER ENR	DATE
PROJECT MANAGER ENR	DESIGNER ENR	DATE
DRAWN BY SFS	CHECKER ENR	DATE
DATE 08/22/2023		

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**3.1** 4" CROSS-GUTTER  
SCALE: NTS



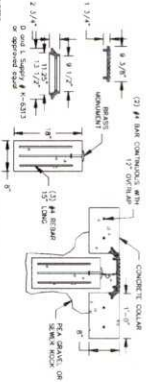
**CROSS-GUTTER NOTES:**  
 1. DO NOT USE SAND AS A FILLING FOR UNFINISHED SIDE CURB. MINIMUM COURSE IS CONCRETE.  
 2. MINIMUM CURB HEIGHT SHALL BE 4" ABOVE FINISHED GRADE.  
 3. MINIMUM CURB WIDTH SHALL BE 12" FOR ALL PAVEMENT TYPES.  
 4. ALL DIMENSIONS MUST MEET OR EXCEED THE PAVEMENT STANDARDS.

**3.2** 8" ASPHALT TRAIL  
SCALE: NTS

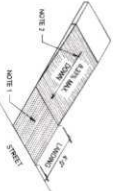


**8" ASPHALT TRAIL NOTES:**  
 1. ASPHALT SHALL BE 1" THICK.  
 2. CONCRETE SHALL BE 7" THICK.  
 3. CONCRETE SHALL BE FINISHED WITH A 1/2" THICK TOP COURSE.  
 4. ALL DIMENSIONS MUST MEET OR EXCEED THE PAVEMENT STANDARDS.

**3.3** STREET MONUMENT  
SCALE: NTS



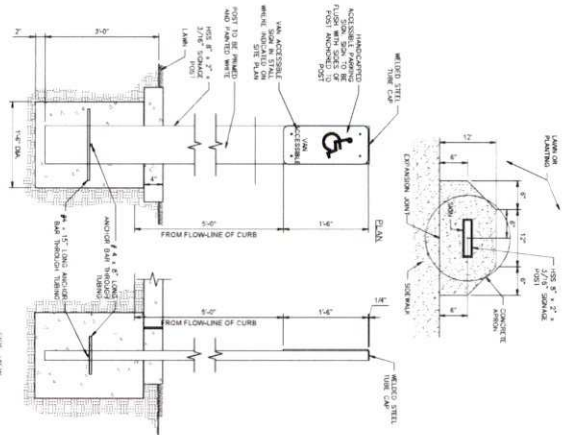
**STREET MONUMENT NOTES:**  
 1. MONUMENT SHALL BE 12" SQUARE.  
 2. MONUMENT SHALL BE MADE OF CONCRETE.  
 3. MONUMENT SHALL BE FINISHED WITH A 1/2" THICK TOP COURSE.  
 4. ALL DIMENSIONS MUST MEET OR EXCEED THE PAVEMENT STANDARDS.



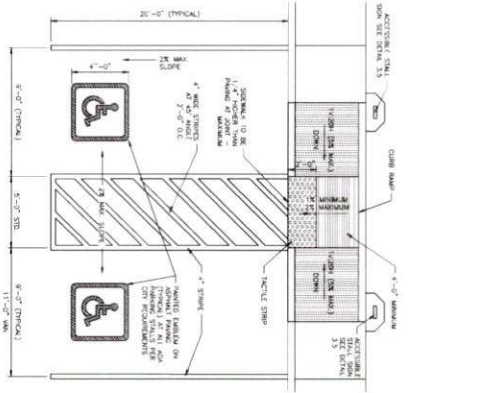
**ASPHALT TRAIL ADA RAMP NOTES:**  
 1. RAMP SHALL BE 48" WIDE AND 48" LONG.  
 2. RAMP SHALL BE MADE OF ASPHALT.  
 3. RAMP SHALL BE FINISHED WITH A 1/2" THICK TOP COURSE.  
 4. ALL DIMENSIONS MUST MEET OR EXCEED THE PAVEMENT STANDARDS.

**3.4** ASPHALT TRAIL ADA RAMP  
SCALE: NTS

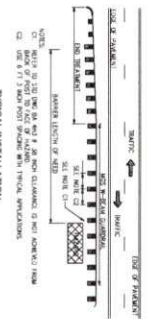
**3.5** ADA SIGNS  
SCALE: NTS



**3.6** ADA PARKING  
SCALE: NTS



**3.7** GUARD RAIL - STRAWBERRY RANCH ROAD  
SCALE: NTS



**GUARD RAIL - STRAWBERRY RANCH ROAD NOTES:**  
 1. GUARD RAIL SHALL BE 4" HIGH.  
 2. GUARD RAIL SHALL BE MADE OF METAL.  
 3. GUARD RAIL SHALL BE FINISHED WITH A 4" WIDE TOP COURSE.  
 4. ALL DIMENSIONS MUST MEET OR EXCEED THE PAVEMENT STANDARDS.

PROJECT: STRAWBERRY RANCH  
 SHEET TITLE: STREET CROSS SECTIONS, STREET MONUMENT, TRAIL DETAIL, ADA  
 PROJECT ENGINEER: [Name]  
 PROJECT MANAGER: [Name]  
 DRAWN BY: [Name]  
 REVISIONS: [Table]  
 DATE: [Date]  
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 55 WEST CENTER • P.O. BOX 176  
 DENVER, CO 80202  
 TEL: 303-733-8888 FAX: 303-733-8889

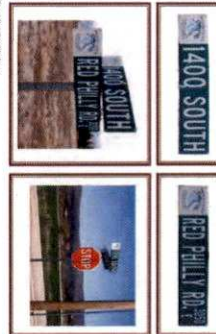
Regulatory Sign Specifications and Placement  
Wasatch County Sign, November 17, 2022



Regulatory Sign Specifications and Placement

Regulatory sign specifications...  
 4.1 WASATCH COUNTY REGULATORY SIGNAGE

Street Sign Specifications and Placement  
Wasatch County Sign, November 17, 2022



Street Sign Specifications and Placement

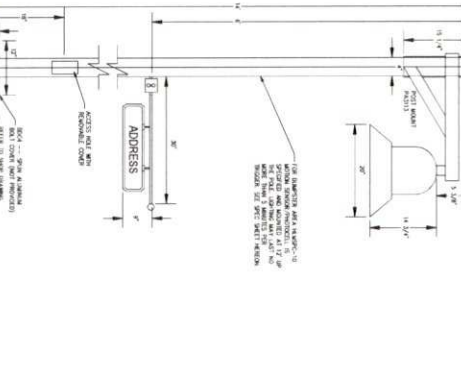
Street sign specifications...  
 4.2 WASATCH COUNTY STREET SIGNAGE

Specifications BW4001

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	LED SIGN	1	EA		
2	...	...	...	...	...

4.5 STREET LIGHT SHROUD & BULB DETAIL

Specifications BL8811



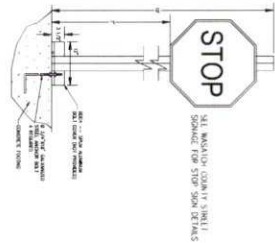
4.6 STREET LIGHT POLE DETAIL

Specifications BL8811

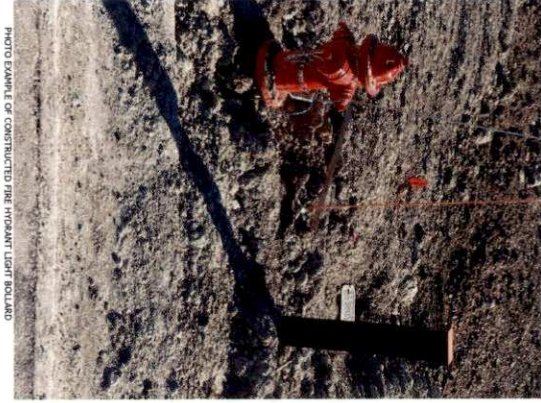
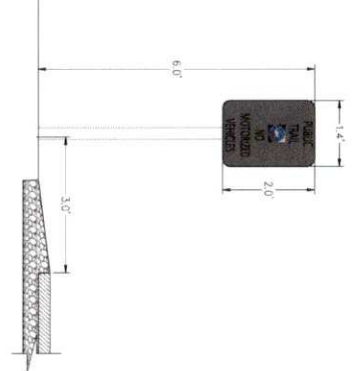
ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	LED SIGN	1	EA		
2	...	...	...	...	...

4.7 FIRE HYDRANT LIGHT BOLLARD

4.3 STOP SIGN DETAIL



4.4 WASATCH COUNTY TRAIL SIGNAGE



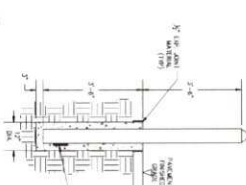
PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: EWR
SHEET TITLE: SIGNS AND STREET LIGHT DETAILS	DESIGN ENGINEER: GML

NO.	DATE	BY	REVISIONS

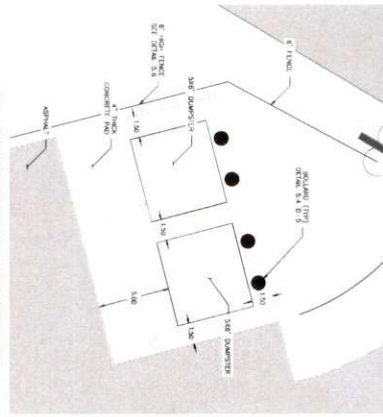
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 35 WOLF CANYON • P.O. BOX 178  
 HEALY CITY, UT 84038  
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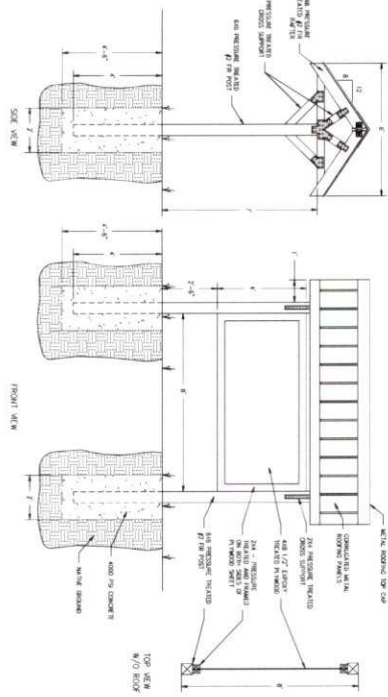
5.1 BACK VINYL COVERED CHAIN LINK FENCE  
SCALE: NTS



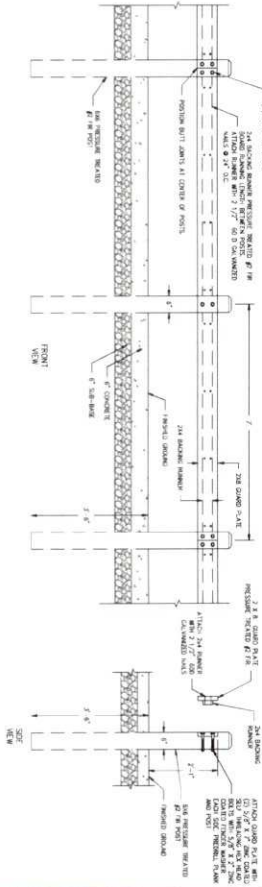
5.4 BOLLARD FOR DUMPSTER AREA  
SCALE: 1/8" = 1'-0"



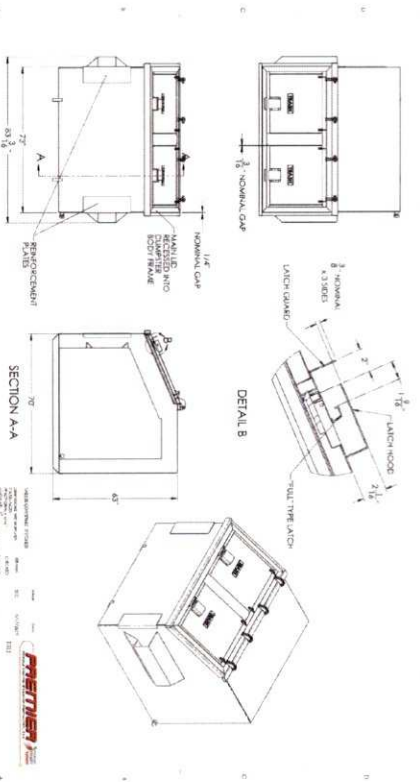
5.2 DUMPSTER AREA PLAN VIEW DETAIL  
SCALE: 1/8" = 1'-0"



5.3 KIOSK SIGN DETAIL  
SCALE: NTS



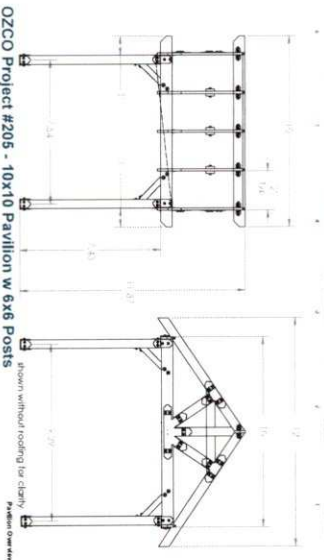
5.9 GUARD RAIL - DUMPSTER AREA  
SCALE: NTS



5.5 BEAR PROOF DUMPSTER  
SCALE: NTS



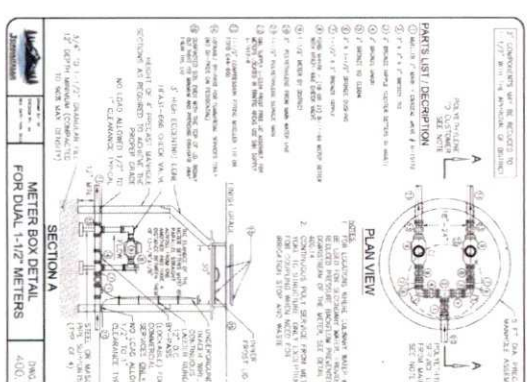
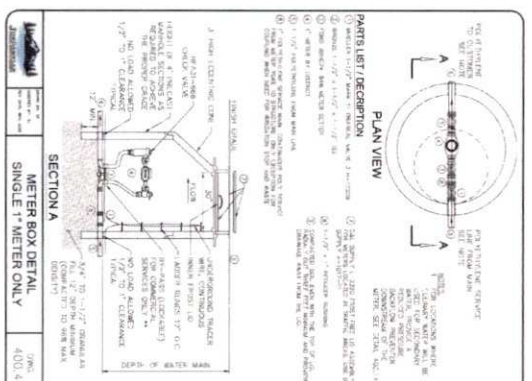
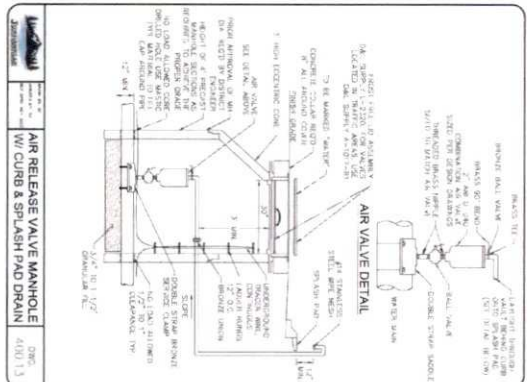
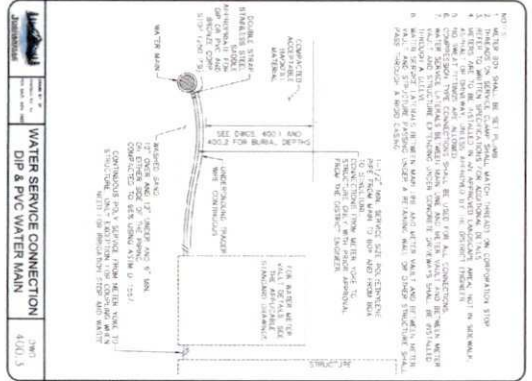
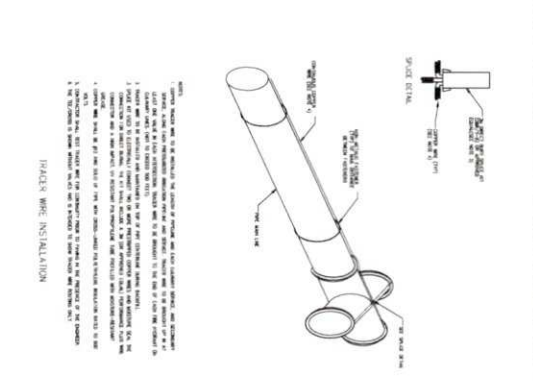
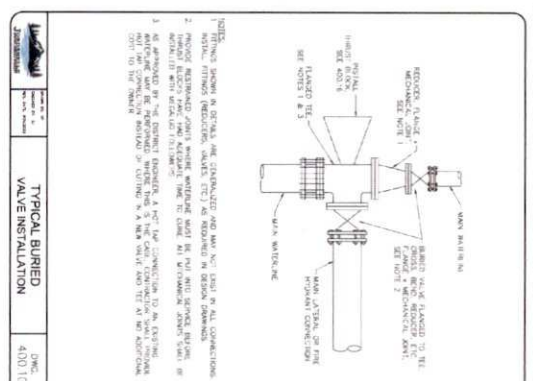
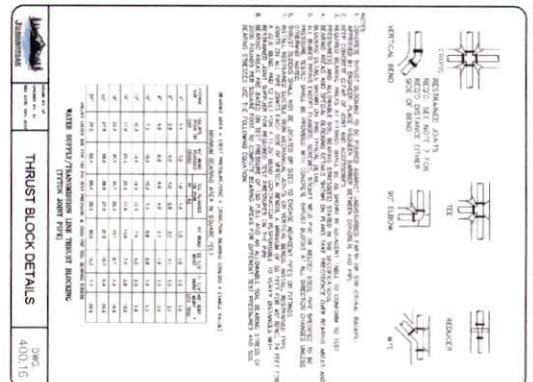
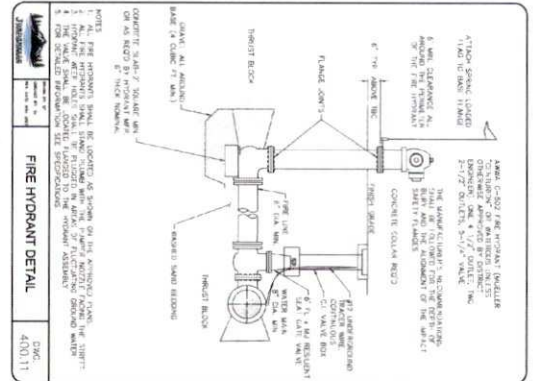
5.8 PAVILLION DETAIL  
SCALE: NTS

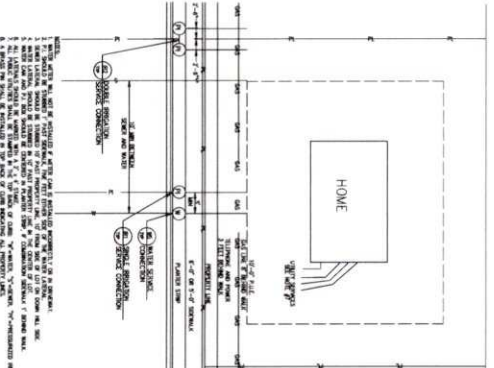
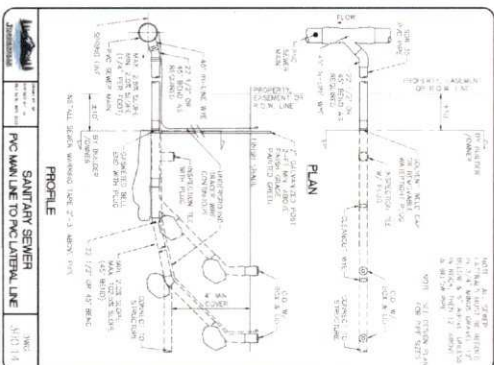
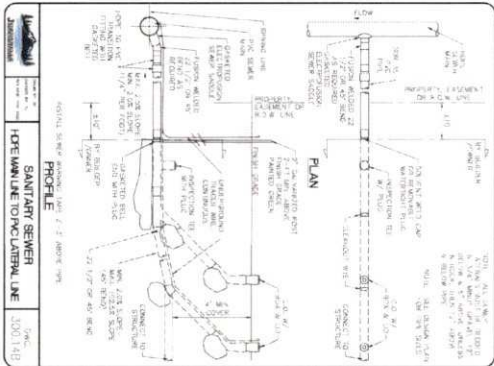
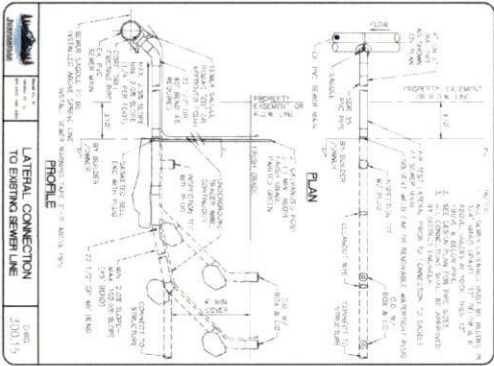
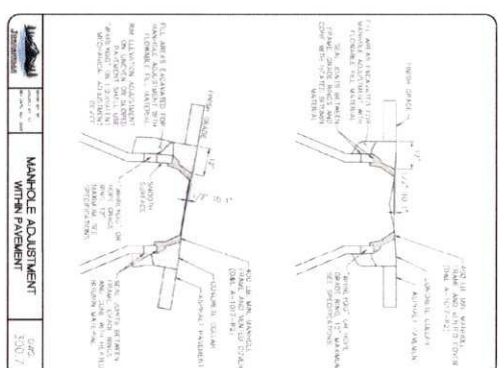
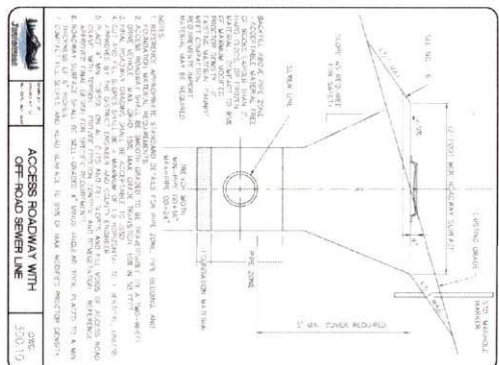
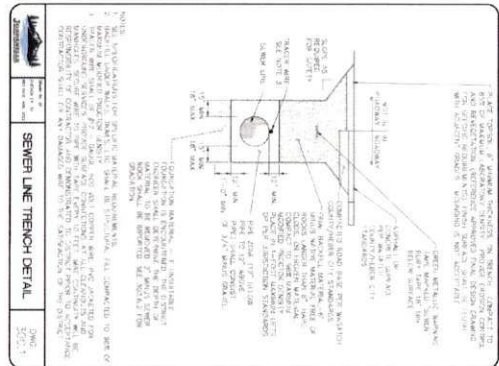
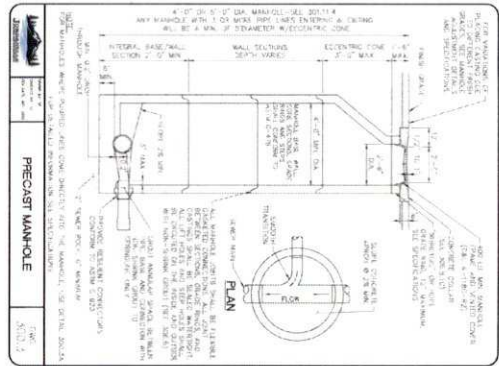


PROJECT: STRAWBERRY RANCH  
PROJECT ENGINEER: EMB  
PROJECT MANAGER: EMB  
SCALE: 1/8" = 1'-0"  
SHEET: 0-5  
DATE: 08/22/2023  
DESIGNER: GML

REVISIONS:

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7.5 SANITARY LATERAL TO EXISTING SEWER MAIN  
SCALE: 1/8" = 1'-0"

7.6 SANITARY LATERAL HOPE TO PVC  
SCALE: 1/8" = 1'-0"

7.7 SANITARY LATERAL PVC TO PVC  
SCALE: 1/8" = 1'-0"

7.8 LATERAL LOCATIONS  
SCALE: 1/8" = 1'-0"

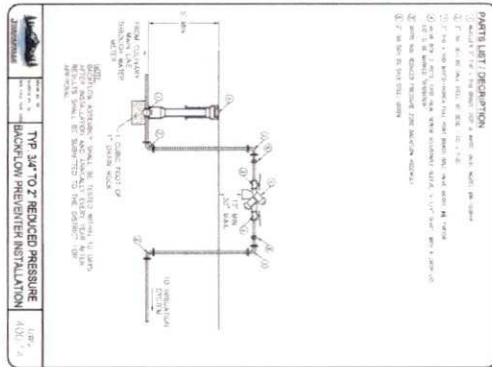
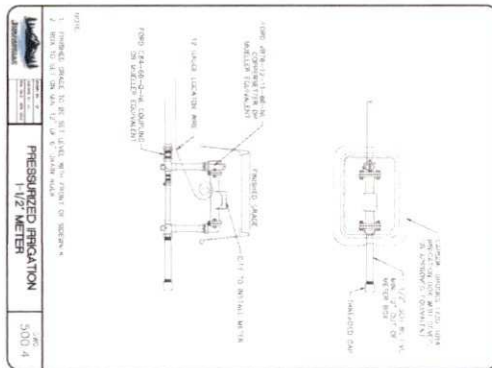
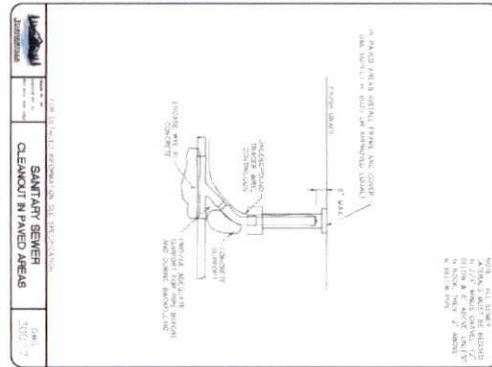
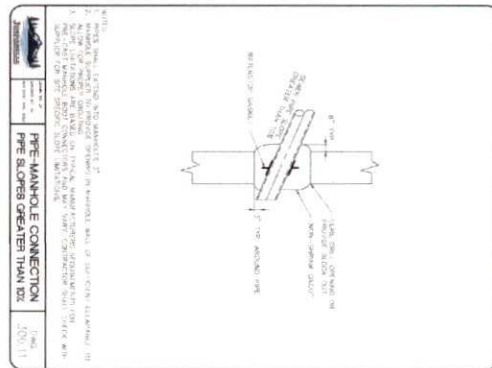
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MODEL: C21-033	PROJECT NUMBER: 20230801	DATE: 08/22/2023	
DWG: D-7	DRAWN BY: SFS	DATE: 08/22/2023	
SANTARIY SEWER DETAILS			

NO.	REVISIONS	DATE	BY
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2			
3			
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8.3 IRRIGATION METER SCALE: NTS

8.4 BACKFLOW PREVENTER SCALE: NTS

2. USE PROJECT'S CURRENT PROJECT'S C21-033 STRAWBERRY RANCH - CSU WORKING FILES ENGINEERING/DM/C21-033 DETAILS

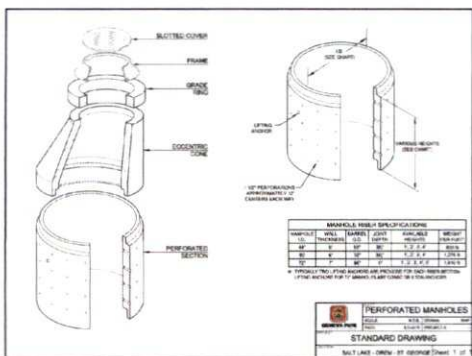
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DRAWN BY: SFS		
GROUP: SMT		
DATE: 08/22/2013		

NO.	REVISIONS	DATE	BY

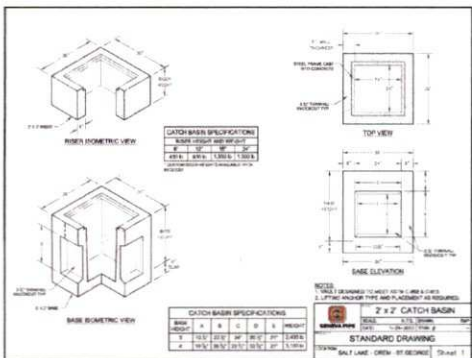
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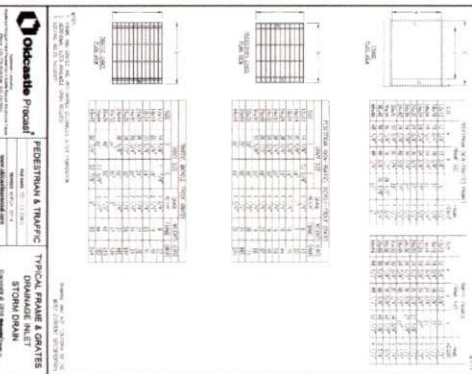
95 SUMP MANHOLE DETAIL  
SCALE: NTS



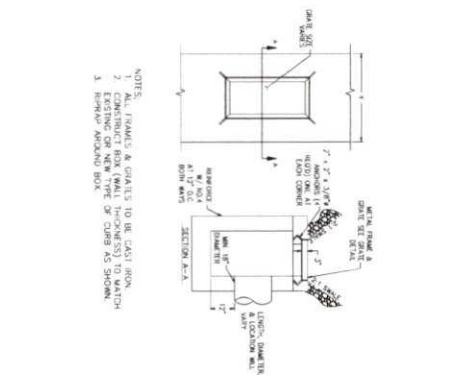
96 3X3 CATCH BASIN DETAIL  
SCALE: NTS



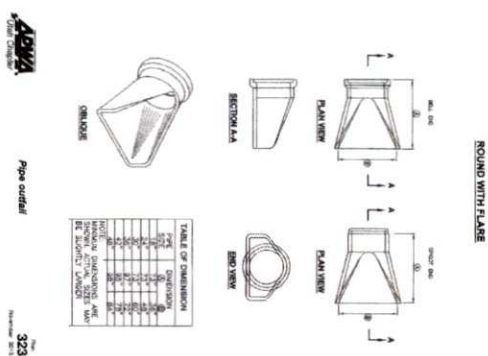
97 GRATE & FRAME DETAIL  
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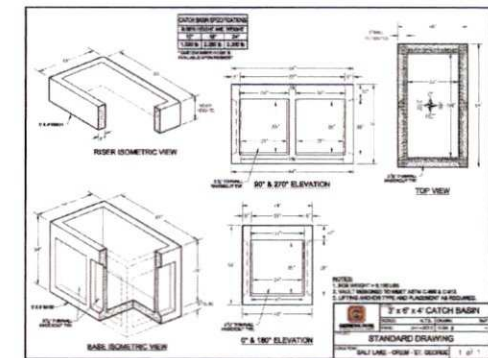
98 INLET IN SWALE DETAIL  
SCALE: NTS



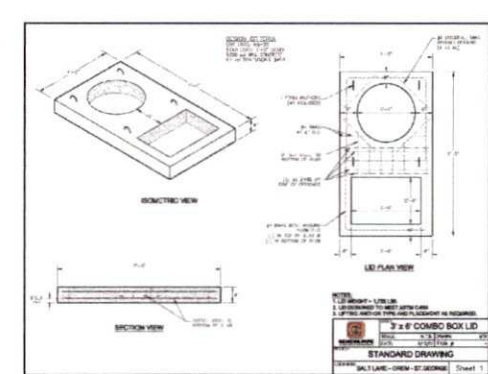
91 PIPE OUTFALL  
SCALE: NTS



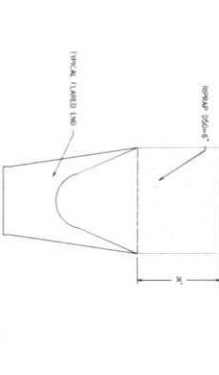
92 3X6 CATCH BASIN DETAIL  
SCALE: NTS



93 3X6 COMBO BOX LID  
SCALE: NTS



94 PIPE OUTFLET WITH RIPRAP PROTECTION  
SCALE: NTS



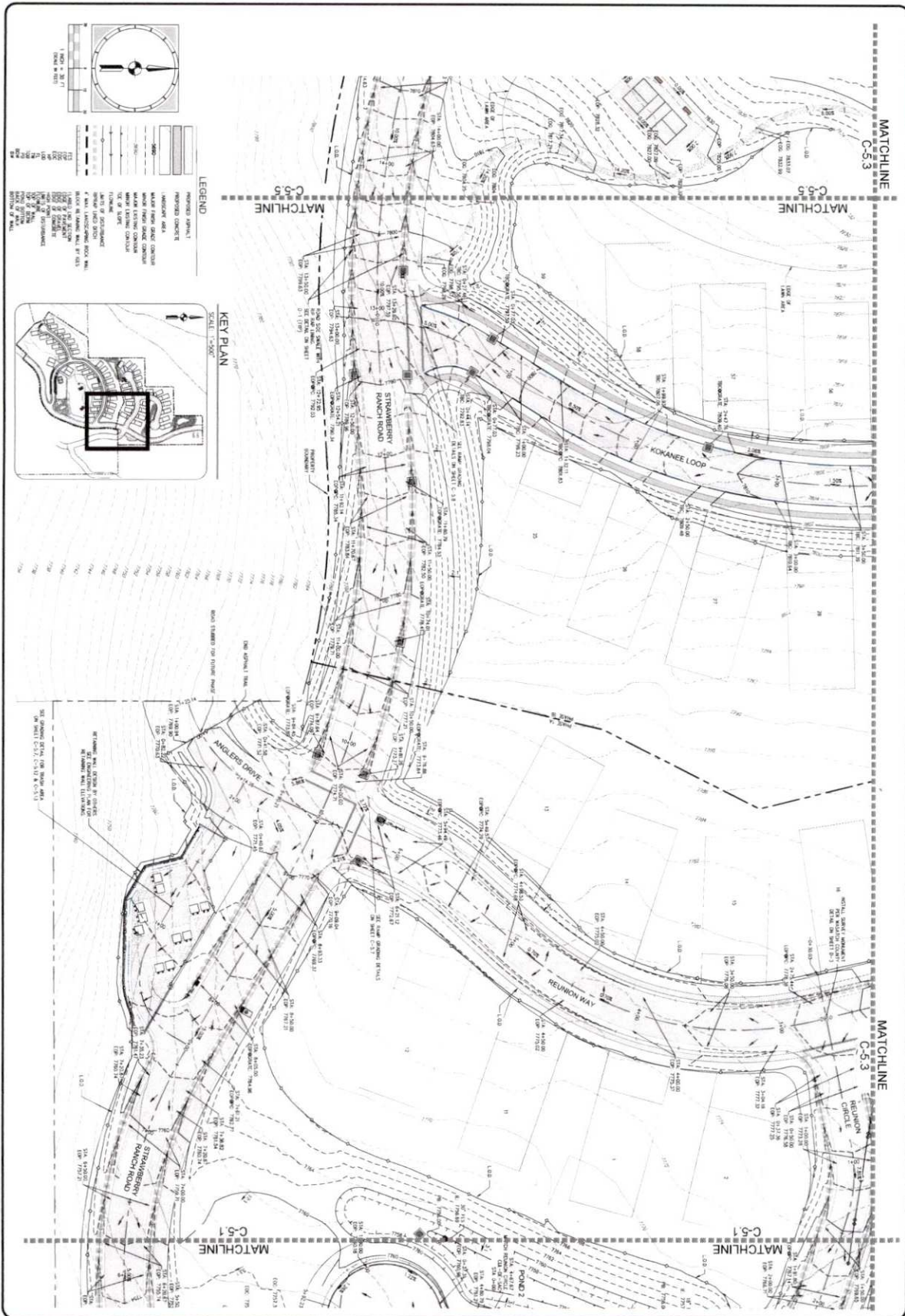
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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BWS	DATE: BY:	COPYRIGHT © 2003 SUMMIT ENGINEERING GROUP, INC. SUMMIT ENGINEERING GROUP, INC. 10 WEST CENTER • P.O. BOX 178 HERRICK, UT 84003 P: 435-854-0229 • F: 435-854-9231
SHEET FILE: C21-033	PROJECT MANAGER: BWS	REVISIONS:	
DRAWN BY: SFS	DESIGN ENGINEER: BWS		
DATE: 08/22/2023			

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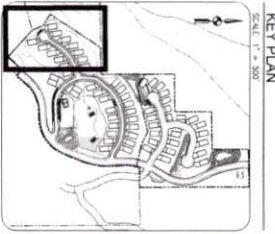
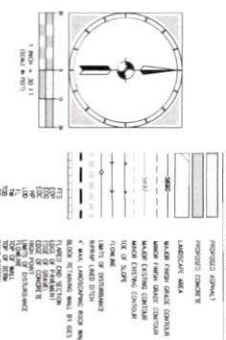
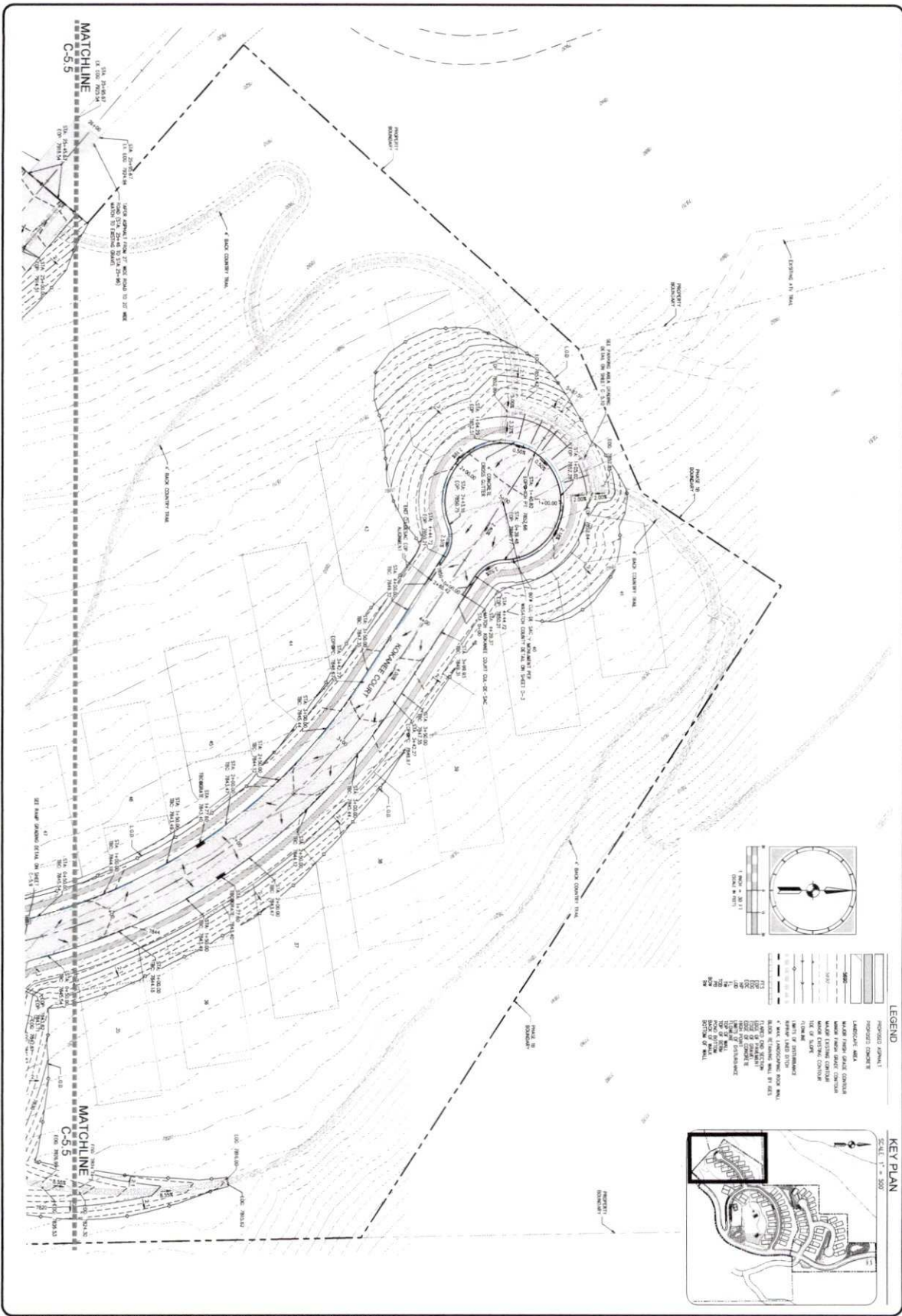


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PROJECT STRAWBERRY RANCH SHEET TITLE GRADING PLAN	PROJECT ENGINEER BMS	DATE 08/22/2023	REVISIONS 1 2 3 4 5 6 7 8 9 10	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 176 HENDER CO., IOWA 50425 P. 402-654-9229 • F. 402-654-9231
	PROJECT MANAGER BMS			

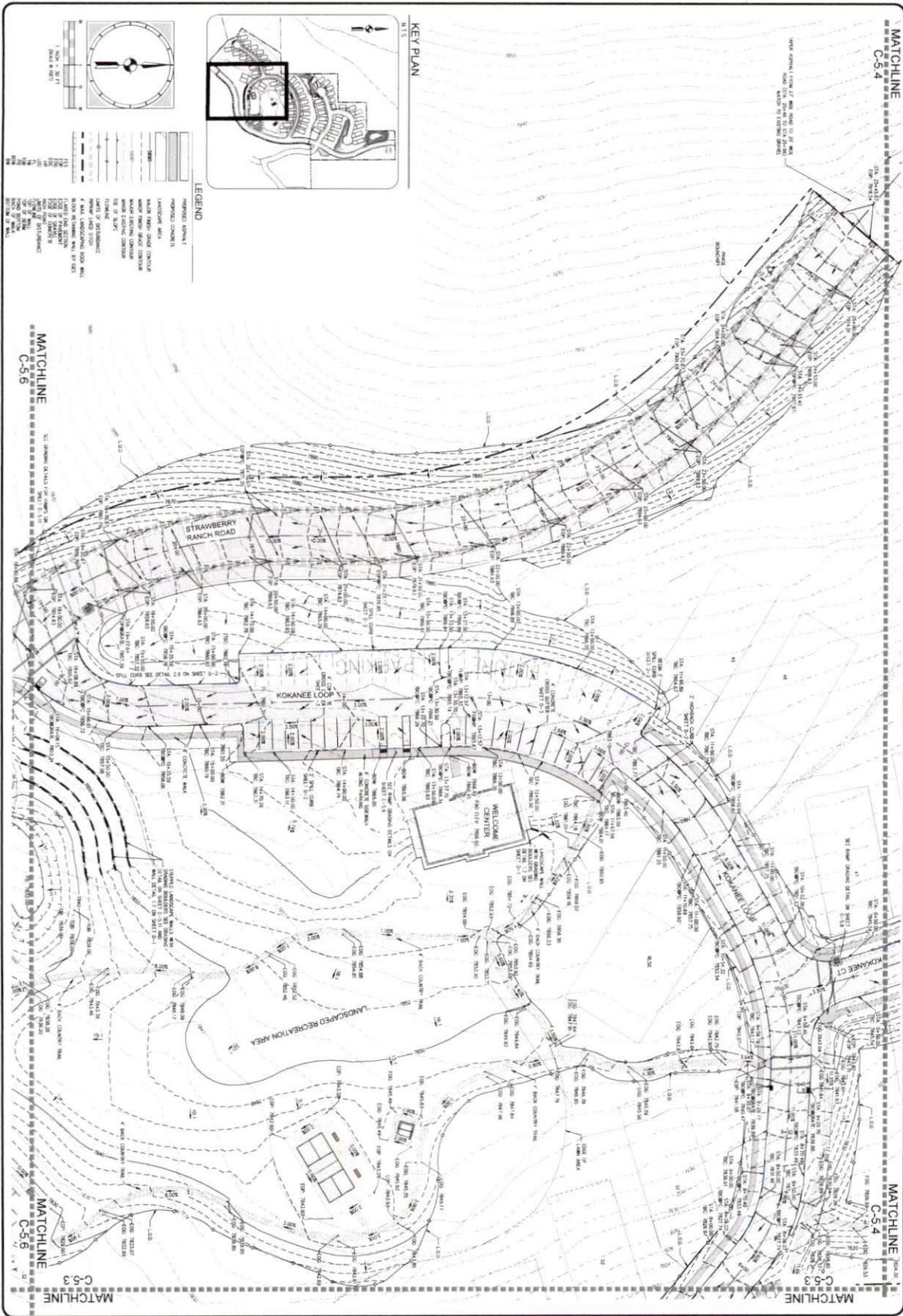






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PROJECT SHEET: C21-033	PROJECT MANAGER: SWS	REVISIONS: 1-5		
SHEET: C-5-4	DESIGNER: SWS	DATE: 08-22-2013		

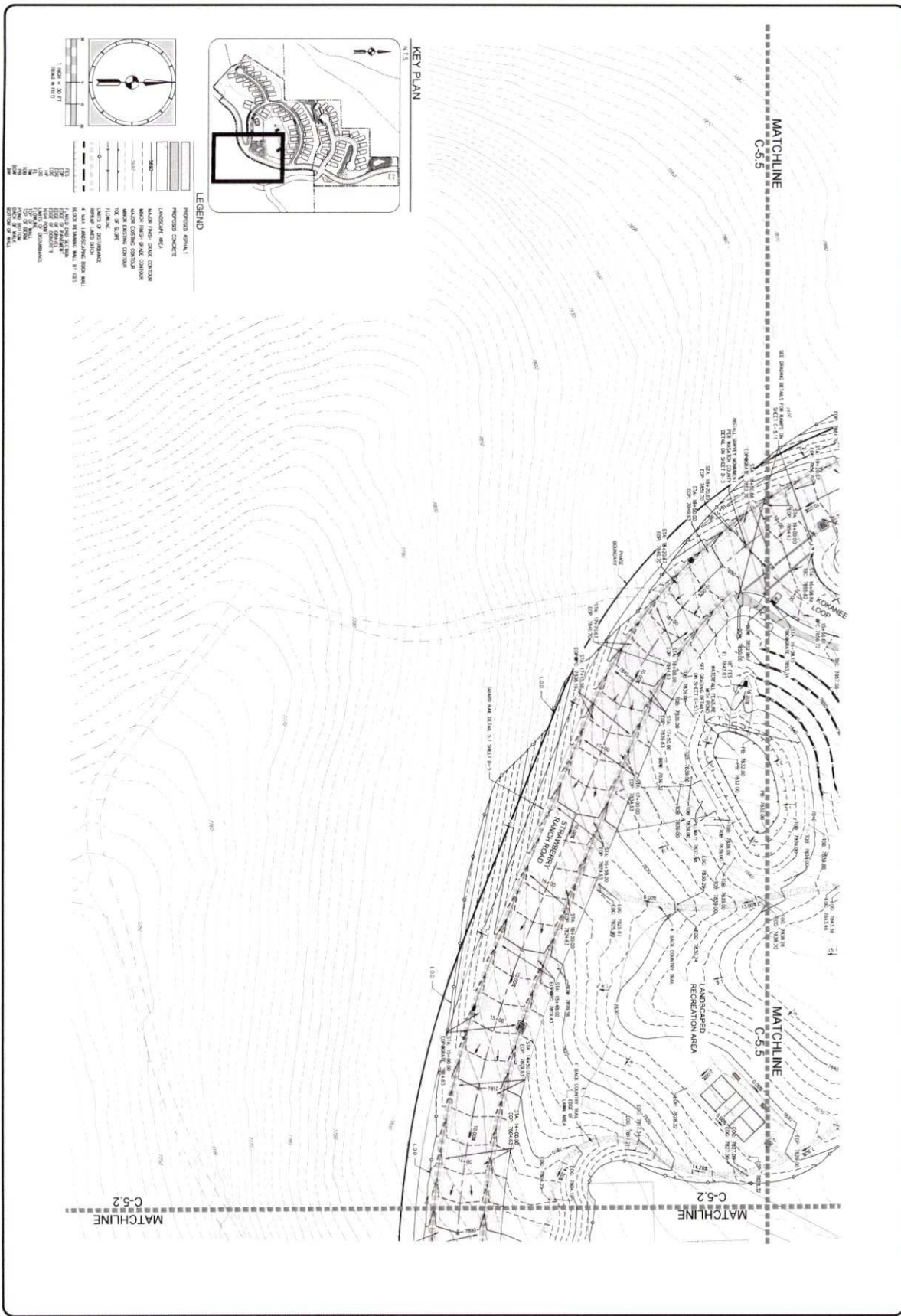


PROJECT: STRAWBERRY RANCH  
 SHEET TITLE: GRADING PLAN  
 PROJECT ENGINEER: [Signature]  
 PROJECT MANAGER: [Signature]  
 DRAWN BY: SFS  
 CHECKED BY: [Signature]  
 DATE: 08/22/2013

NO.	REVISIONS	DATE	BY

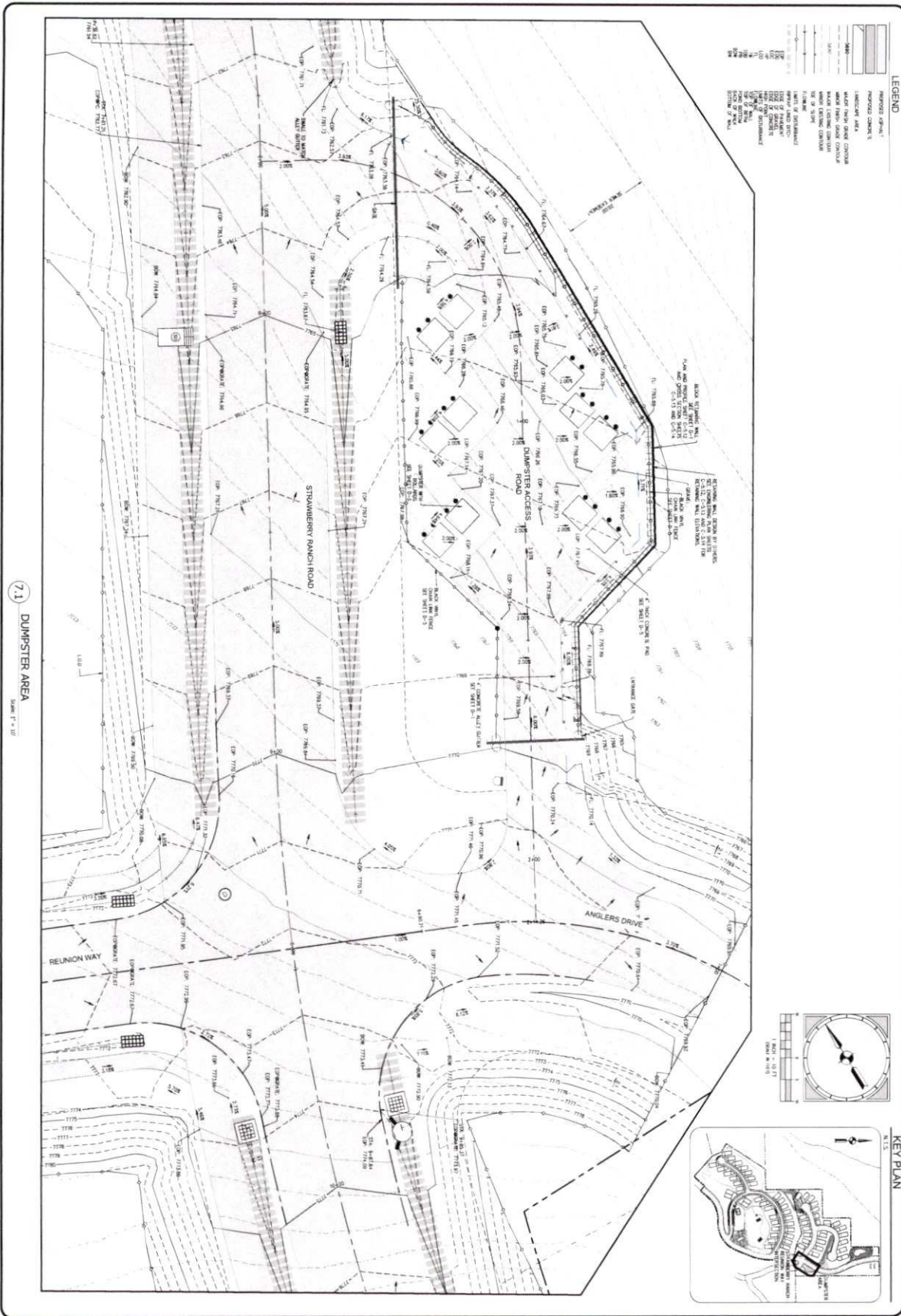
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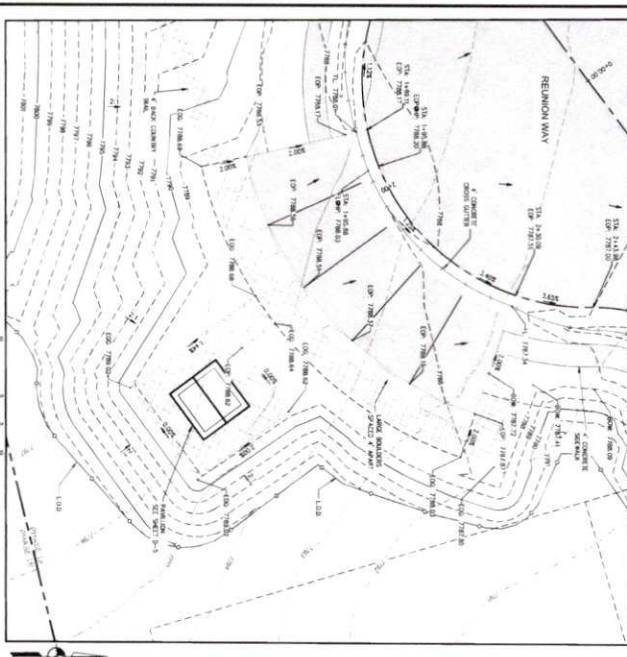
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BWS	DATE	COPYRIGHT © 2022 SUMMIT ENGINEERING GROUP, INC. SUMMIT & ASSOCIATES A FULL SERVICE GROUP OF ARCHITECTURE, ENGINEERING, SURVEYING, PLANNING AND CONSTRUCTION SERVICES. 35 WEST CENTER • P.O. BOX 176 HERRING CITY, IOWA 52553 PH: 319-334-9222 • FAX: 319-334-9221
SHEET TITLE GRADING PLAN	PROJECT MANAGER BWS	REVISONS	
PROJECT NUMBER C21-033	DRAWN BY SFS	DATE	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CME • LAND SURVEYING 35 WEST CENTER • P.O. BOX 176 HERRING CITY, IOWA 52553 PH: 319-334-9222 • FAX: 319-334-9221
SHEET NUMBER C-5-6	ISSUE DATE 08/22/2023	DATE	



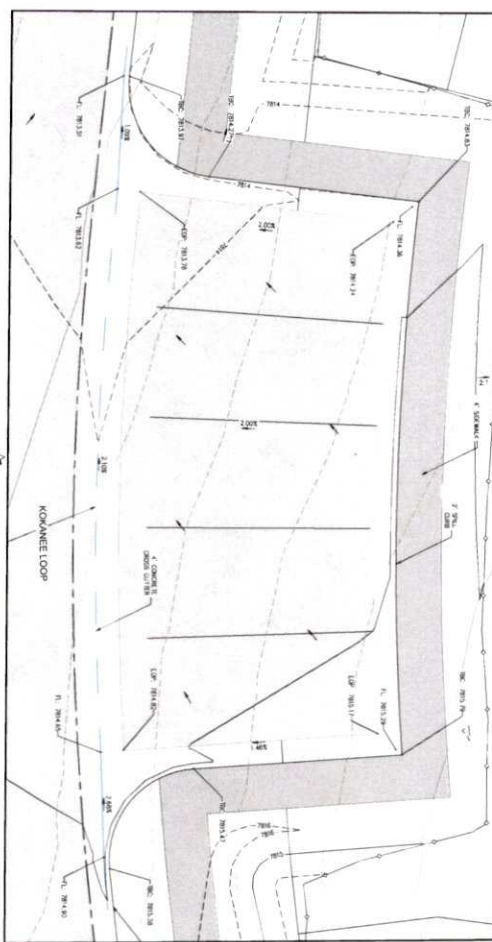
7.1 DUMPSTER AREA  
Scale: 1" = 40'

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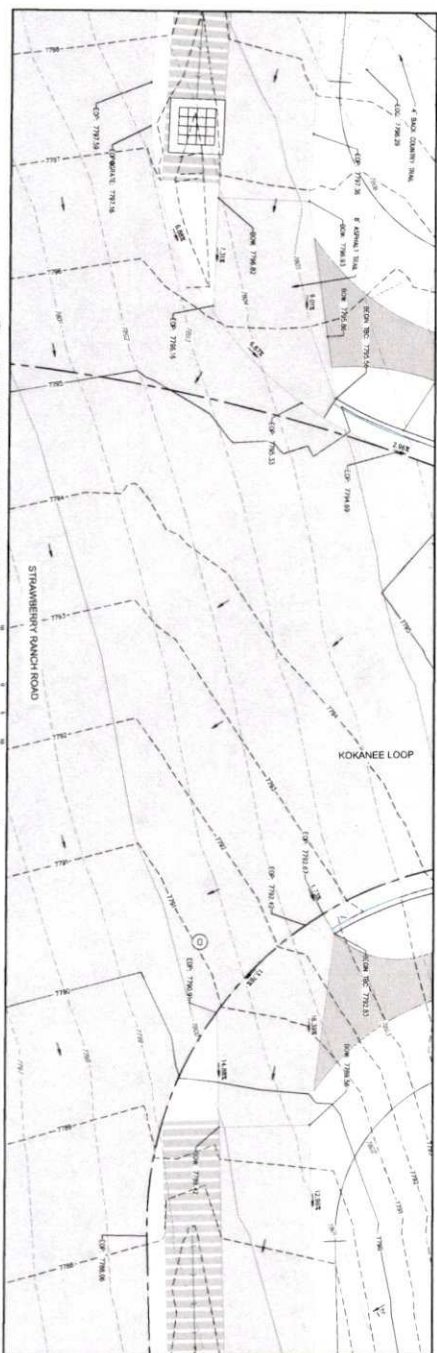
PROJECT <b>STRAWBERRY RANCH</b> SHEET <b>C-5.7</b>	PROJECT ENGINEER <b>EWG</b> PROJECT MANAGER <b>EWG</b> DRAWN BY <b>SFS</b> DATE <b>08/22/2013</b>	CHECK ENGINEER      	REVISIONS <table border="1"> <tr><td>1</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>4</td><td></td></tr> <tr><td>5</td><td></td></tr> <tr><td>6</td><td></td></tr> <tr><td>7</td><td></td></tr> <tr><td>8</td><td></td></tr> <tr><td>9</td><td></td></tr> </table>	1		2		3		4		5		6		7		8		9		DATE BY  	COPYRIGHT © 2013 <b>SLURRY CHECKING GROUP, INC.</b>  SUMMIT & COMPANY A DIVISION OF SUMMIT ENGINEERING GROUP, INC. 35 WEST CENTER • P.O. BOX 176 MINNEAPOLIS, MN 55402 P. 612-624-6229 • F. 612-624-6231	<p><b>Summit Engineering Group Inc.</b>          STRUCTURAL • CIVIL • LAND SURVEYING</p>
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2																								
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8																								
9																								



**8.1 REUNION WAY PARKING & PAVILLION**  
 SCALE: 1" = 10.00'



**8.2 KOKANEE LOOP PARKING**  
 SCALE: 1" = 5.00'



**8.3 REUNION WAY PARKING & PAVILLION**  
 SCALE: 1" = 10.00'



**KEY PLAN**

**LEGEND**

- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED LANDSCAPE
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING LANDSCAPE
- EXISTING GRAVEL
- EXISTING GRADE
- EXISTING CURB
- EXISTING WALL
- EXISTING DRIVE
- EXISTING SIDEWALK
- EXISTING BIKEWAY
- EXISTING BIKEWAY SURFACE
- EXISTING BIKEWAY MARKING
- EXISTING BIKEWAY SIGNAGE
- EXISTING BIKEWAY LIGHTING
- EXISTING BIKEWAY FURNITURE
- EXISTING BIKEWAY ACCESSORIES
- EXISTING BIKEWAY SAFETY
- EXISTING BIKEWAY SECURITY
- EXISTING BIKEWAY MAINTENANCE
- EXISTING BIKEWAY REPAIRS
- EXISTING BIKEWAY REPLACEMENTS
- EXISTING BIKEWAY UPDATES
- EXISTING BIKEWAY IMPROVEMENTS
- EXISTING BIKEWAY MODIFICATIONS
- EXISTING BIKEWAY ADJUSTMENTS
- EXISTING BIKEWAY CORRECTIONS
- EXISTING BIKEWAY REPAIRS
- EXISTING BIKEWAY REPLACEMENTS
- EXISTING BIKEWAY UPDATES
- EXISTING BIKEWAY IMPROVEMENTS
- EXISTING BIKEWAY MODIFICATIONS
- EXISTING BIKEWAY ADJUSTMENTS
- EXISTING BIKEWAY CORRECTIONS
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- EXISTING BIKEWAY IMPROVEMENTS
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- EXISTING BIKEWAY ADJUSTMENTS
- EXISTING BIKEWAY CORRECTIONS

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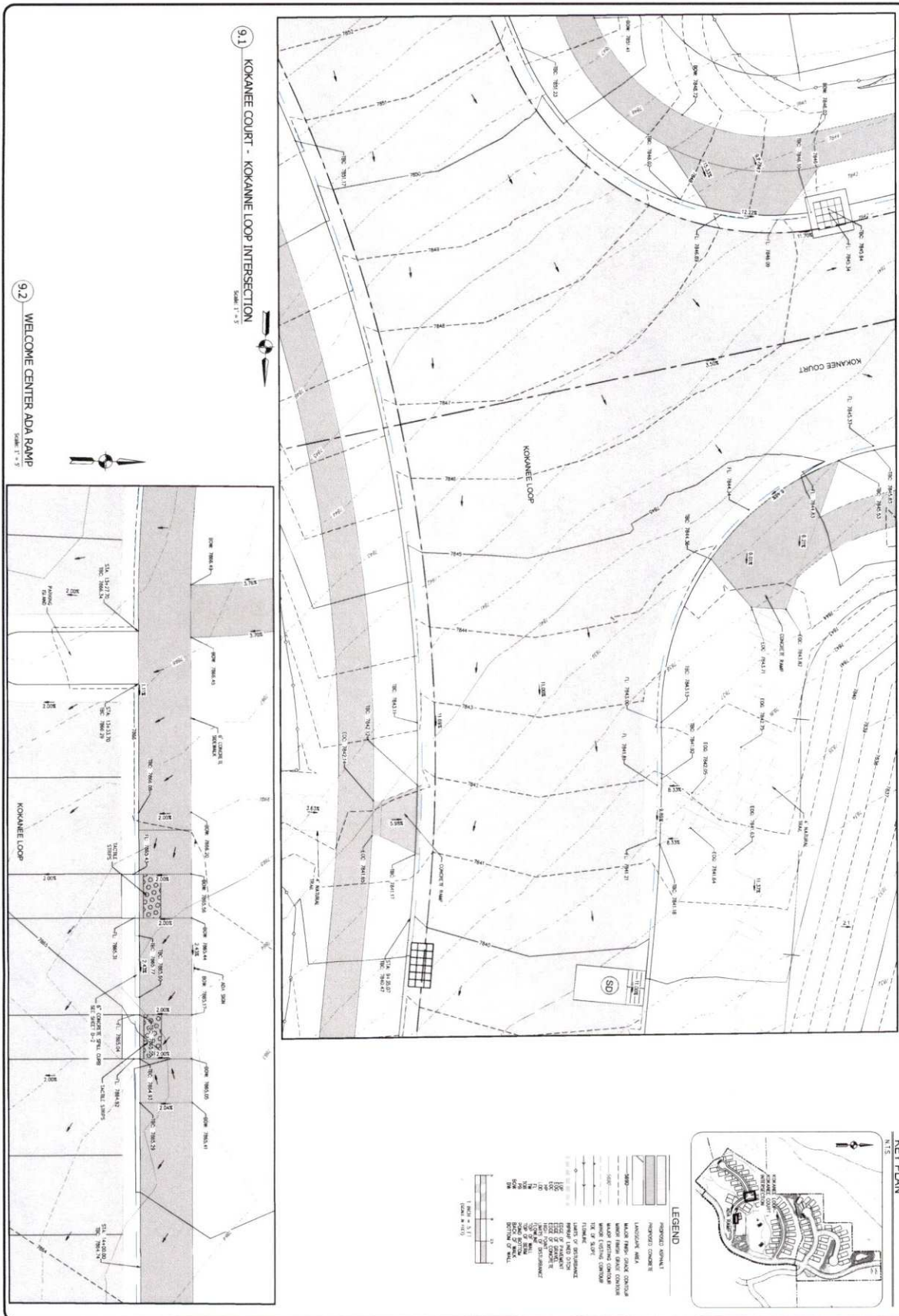
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMS	PROJECT MANAGER BMS	DATE 08/22/2023																											
SHEET FILE C21-033 C-58	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			NO.	REVISIONS	DATE BY																								
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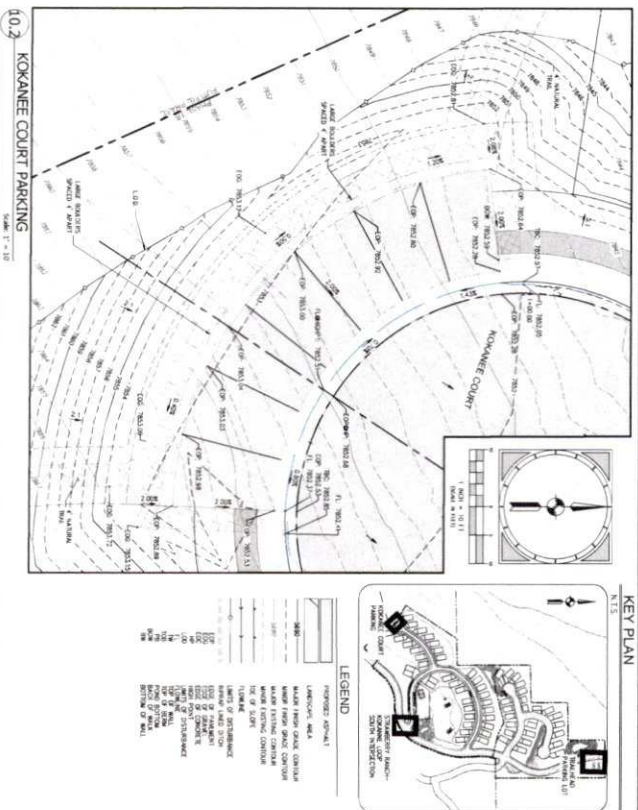
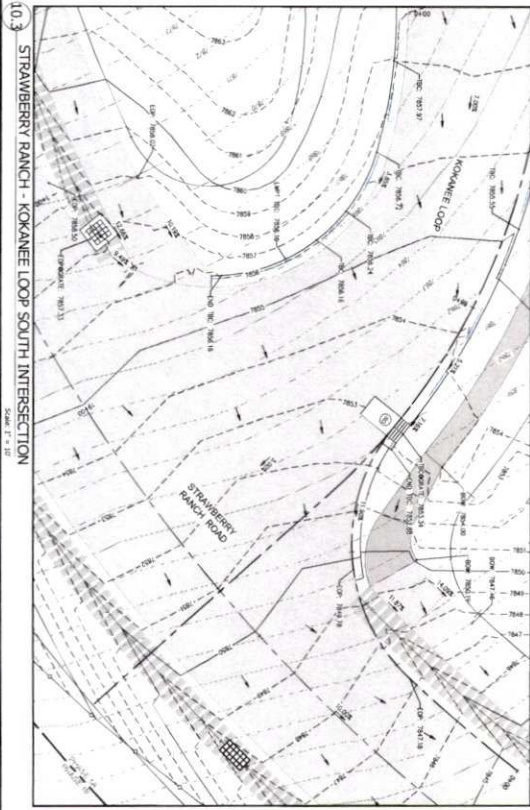
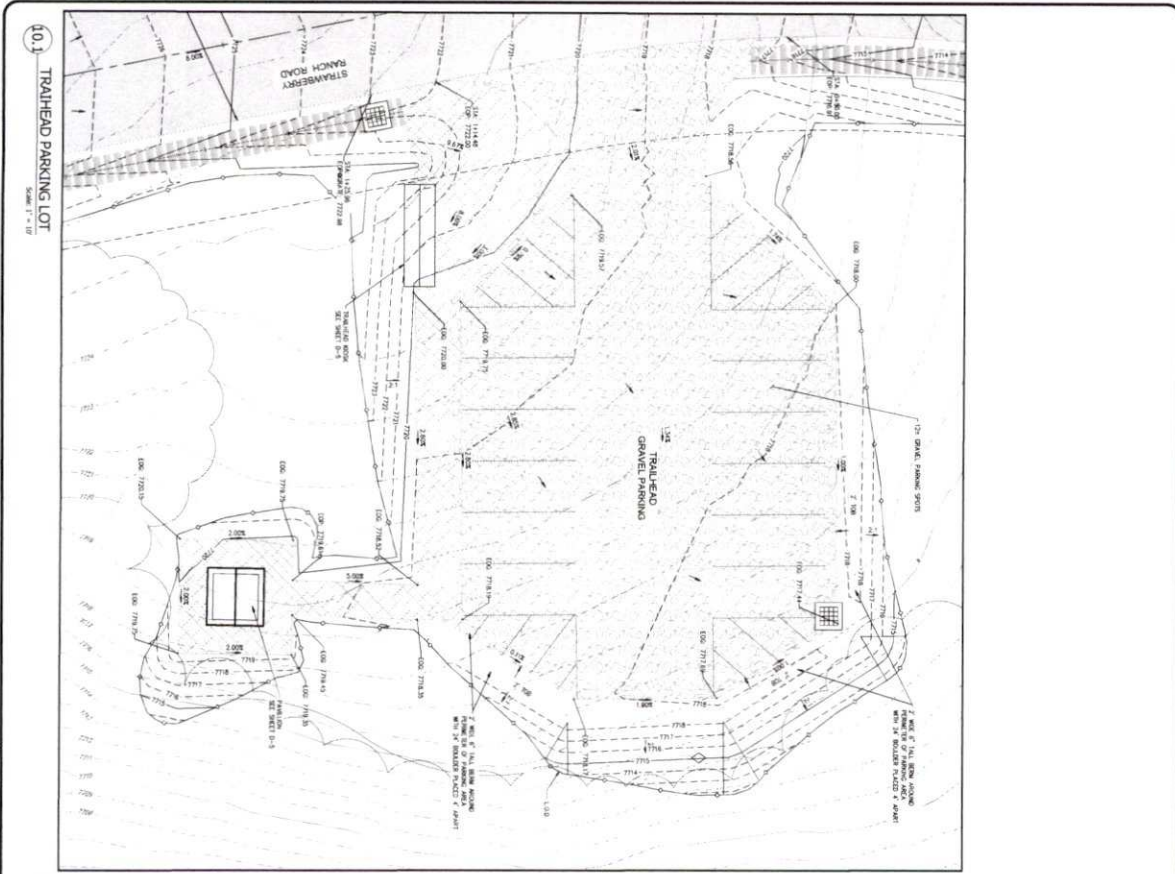
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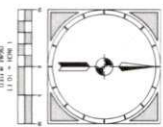
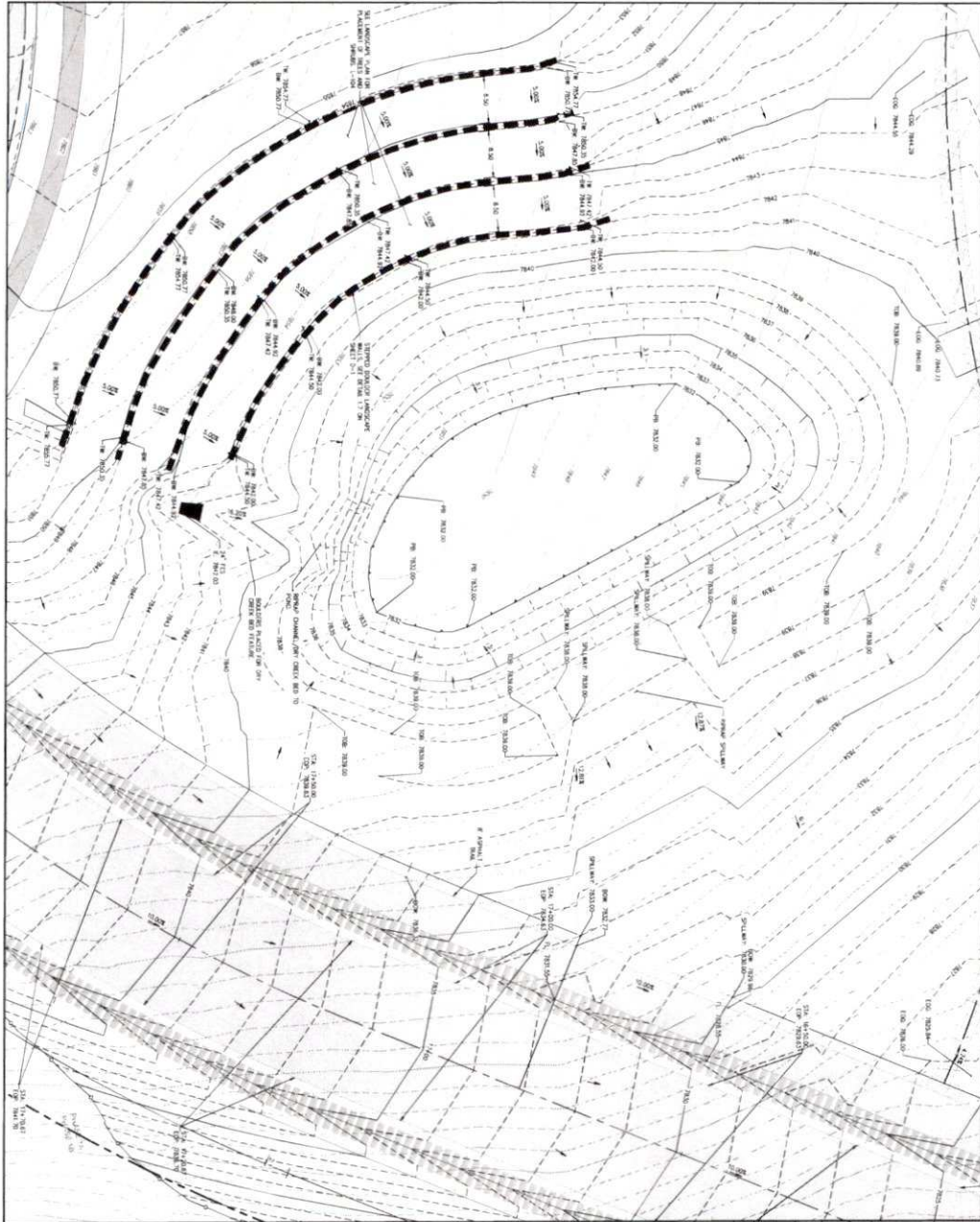
<p>PROJECT: STRAWBERRY RANCH</p> <p>SHEET: C-5.9</p>	<p>PROJECT ENGINEER: EMB</p> <p>PROJECT MANAGER: EMB</p>	<p>DATE: _____</p> <p>BY: _____</p>	<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	BY	DESCRIPTION																																	<p>LEGEND</p> <ul style="list-style-type: none"> <li>PROPOSED SYMBOLS</li> <li>PROPOSED CONCRETE</li> <li>PROPOSED ASPHALT</li> <li>PROPOSED GRASS</li> <li>EXISTING CONCRETE</li> <li>EXISTING ASPHALT</li> <li>EXISTING GRASS</li> <li>EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING GRASS</li> <li>EXISTING EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING EXISTING GRASS</li> <li>EXISTING EXISTING EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING EXISTING EXISTING GRASS</li> </ul> <p>DATE: 08/22/2023</p> <p>DESIGN ENGINEER: _____</p> <p>DATE: _____</p>	<p>KEY PLAN</p>	<p>LEGEND</p> <p>PROPOSED SYMBOLS</p> <ul style="list-style-type: none"> <li>PROPOSED CONCRETE</li> <li>PROPOSED ASPHALT</li> <li>PROPOSED GRASS</li> <li>EXISTING CONCRETE</li> <li>EXISTING ASPHALT</li> <li>EXISTING GRASS</li> <li>EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING GRASS</li> <li>EXISTING EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING EXISTING GRASS</li> <li>EXISTING EXISTING EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING EXISTING EXISTING GRASS</li> </ul> <p>DATE: 08/22/2023</p> <p>DESIGN ENGINEER: _____</p> <p>DATE: _____</p>	<p>LEGEND</p> <p>PROPOSED SYMBOLS</p> <ul style="list-style-type: none"> <li>PROPOSED CONCRETE</li> <li>PROPOSED ASPHALT</li> <li>PROPOSED GRASS</li> <li>EXISTING CONCRETE</li> <li>EXISTING ASPHALT</li> <li>EXISTING GRASS</li> <li>EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING GRASS</li> <li>EXISTING EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING EXISTING GRASS</li> <li>EXISTING EXISTING EXISTING EXISTING CONCRETE</li> <li>EXISTING EXISTING EXISTING EXISTING ASPHALT</li> <li>EXISTING EXISTING EXISTING EXISTING GRASS</li> </ul> <p>DATE: 08/22/2023</p> <p>DESIGN ENGINEER: _____</p> <p>DATE: _____</p>	<p>COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC.</p> <p>35 WEST CENTER • P.O. BOX 176 HEBER CITY, UTAH 84057 TEL: 435-854-9229 • FAX: 435-854-9231</p>
	NO.	DATE		BY	DESCRIPTION																																							
<p>PROJECT: STRAWBERRY RANCH</p> <p>SHEET: C-5.9</p>	<p>PROJECT ENGINEER: EMB</p> <p>PROJECT MANAGER: EMB</p> <p>DATE: 08/22/2023</p> <p>DESIGN ENGINEER: _____</p> <p>DATE: _____</p>																																											



1. USE PROJECT/CURRENT PROJECT/LOT-033 STRAWBERRY RANCH CSD/WORKING FILES/ENGINEERING/DM/LOT-033 GRADING DETAILS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BWS	DATE BY	COPYRIGHT © 2003 SUMMIT ENGINEERING GROUP, INC.
PROJECT NUMBER C21-033	PROJECT MANAGER BWS		
SHEET FILE GRADING DETAILS	DRAWN BY SFS	REVISIONS	<p>Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING 50 WEST CENTER • P.O. BOX 178 HEBER, UT, U.S.A. 84302 P. 435-854-8228 • F. 435-854-8231</p>
SHEET C-510	DATE DATE 08/22/2023	DESIGN ENGINEER BWS	

11.1 POND 4  
Scale: 1" = 10'



**LEGEND**

	PROPOSED POND
	PROPOSED POND EMBANKMENT
	PROPOSED POND OUTLET
	PROPOSED POND INLET
	PROPOSED POND SPILLWAY
	PROPOSED POND DAM
	PROPOSED POND STRUCTURE
	PROPOSED POND FOUNDATION
	PROPOSED POND WALL
	PROPOSED POND DECK
	PROPOSED POND FENCING
	PROPOSED POND LANDSCAPING
	PROPOSED POND ACCESS
	PROPOSED POND EROSION CONTROL
	PROPOSED POND STORMWATER MANAGEMENT
	PROPOSED POND WATER QUALITY TREATMENT
	PROPOSED POND SEDIMENTATION
	PROPOSED POND NUTRIENT MANAGEMENT
	PROPOSED POND PHOSPHORUS MANAGEMENT
	PROPOSED POND NITROGEN MANAGEMENT
	PROPOSED POND CARBON MANAGEMENT
	PROPOSED POND OXYGEN MANAGEMENT
	PROPOSED POND TEMPERATURE MANAGEMENT
	PROPOSED POND pH MANAGEMENT
	PROPOSED POND DISSOLVED OXYGEN MANAGEMENT
	PROPOSED POND TURBIDITY MANAGEMENT
	PROPOSED POND CONDUCTIVITY MANAGEMENT
	PROPOSED POND TOTAL SOLIDS MANAGEMENT
	PROPOSED POND TOTAL SUSPENDED SOLIDS MANAGEMENT
	PROPOSED POND TOTAL DISSOLVED SOLIDS MANAGEMENT
	PROPOSED POND AMMONIA NITROGEN MANAGEMENT
	PROPOSED POND NITRATE NITROGEN MANAGEMENT
	PROPOSED POND NITRITE NITROGEN MANAGEMENT
	PROPOSED POND TOTAL NITROGEN MANAGEMENT
	PROPOSED POND TOTAL PHOSPHORUS MANAGEMENT
	PROPOSED POND TOTAL SUSPENDED PHOSPHORUS MANAGEMENT
	PROPOSED POND TOTAL DISSOLVED PHOSPHORUS MANAGEMENT
	PROPOSED POND AMMONIUM PHOSPHORUS MANAGEMENT
	PROPOSED POND NITRATE PHOSPHORUS MANAGEMENT
	PROPOSED POND NITRITE PHOSPHORUS MANAGEMENT
	PROPOSED POND TOTAL PHOSPHORUS MANAGEMENT
	PROPOSED POND TOTAL NITROGEN MANAGEMENT
	PROPOSED POND TOTAL PHOSPHORUS MANAGEMENT
	PROPOSED POND TOTAL NITROGEN MANAGEMENT
	PROPOSED POND TOTAL PHOSPHORUS MANAGEMENT

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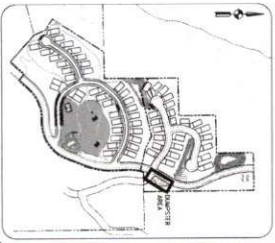
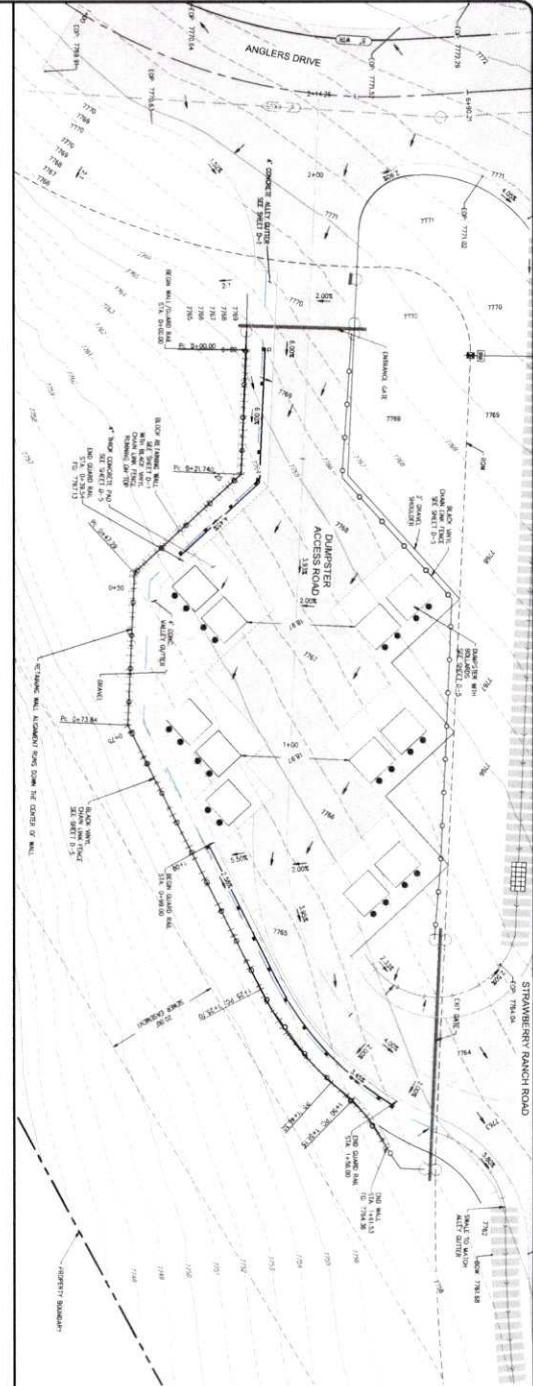
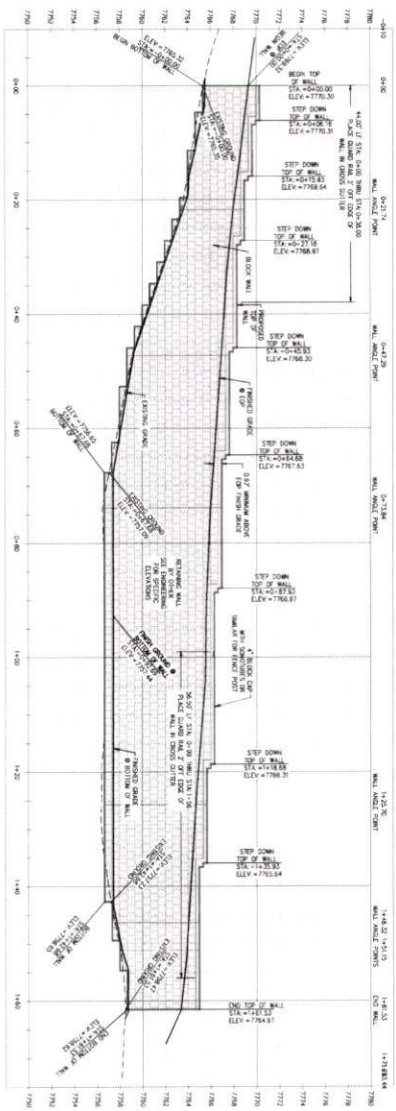
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SHEET: C21-033	PROJECT NUMBER: BMS	DESIGNER: SFS
SHEET TITLE: GRADING DETAIL	DRAWN BY: SFS	CHECK ENGINEER: [Signature]

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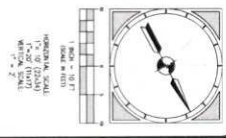


**KEY PLAN**

N.T.S.

**LEGEND**

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED GRAVEL
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING GRAVEL
- EXISTING DIRT
- EXISTING SAND
- EXISTING ROCK
- EXISTING VEGETATION
- EXISTING FENCE
- EXISTING UTILITY
- EXISTING STRUCTURE
- EXISTING DRIVE
- EXISTING WALL
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING STAIR
- EXISTING RAMP
- EXISTING ELEVATOR
- EXISTING ESCALATOR
- EXISTING MECHANICAL
- EXISTING ELECTRICAL
- EXISTING TELEPHONE
- EXISTING CABLE
- EXISTING WATER
- EXISTING SEWER
- EXISTING GAS
- EXISTING OIL
- EXISTING FUEL
- EXISTING HAZARDOUS
- EXISTING OTHER

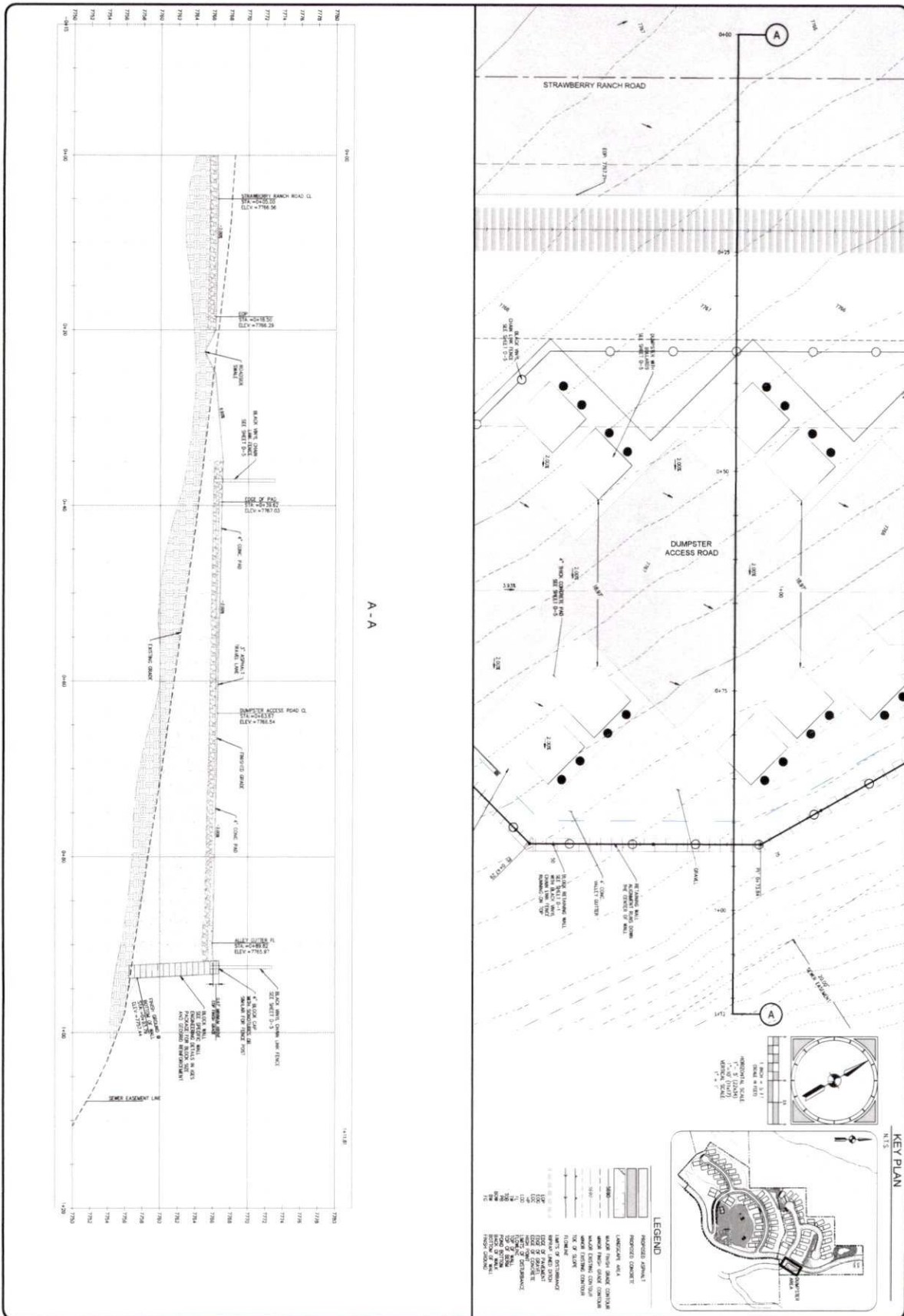


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SHEET: C-512	PROJECT MANAGER: BMD	ISSUE DATE: 08/22/2023	1
SHEET TITLE: DUMPSTER RETAINING WALL PLAN & PROFILE	DESIGN ENGINEER: BMD		2
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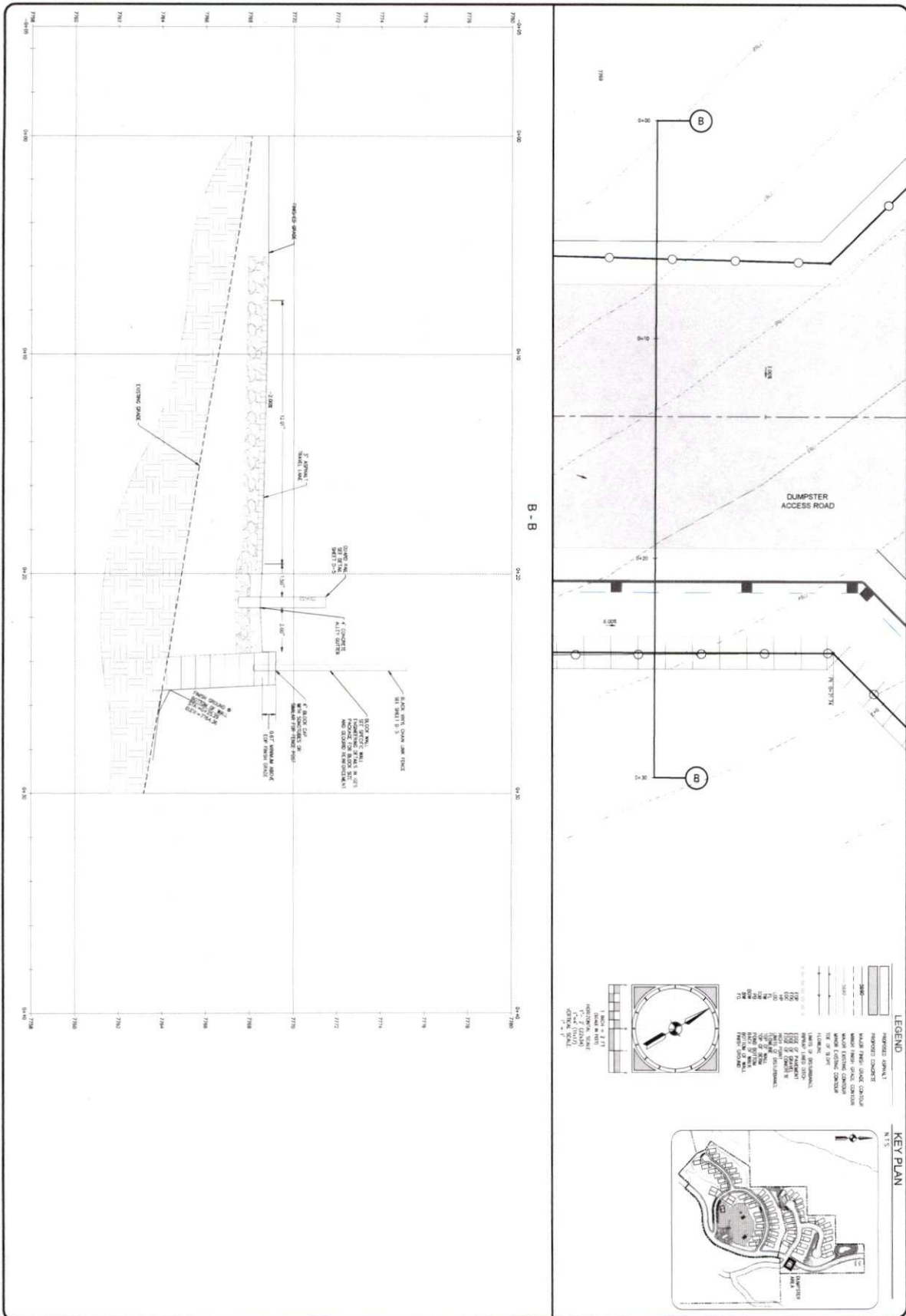
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HEBER CITY, UTAH 84054  
PHONE: 435-884-9222 FAX: 435-884-9231



A - A

3. USE PROJECTS CURRENT PROJECTS (21-03) STRAWBERRY RANCH C&W WORKING PLOT ENGINEERING (21-03) DUMPSTER RETAINING WALL A-A		PROJECT: STRAWBERRY RANCH SHEET TITLE: DUMPSTER RETAINING WALL CROSS SECTION A-A SHEET: C-5-13		PROJECT ENGINEER: BMD PROJECT MANAGER: BMD DRAWN BY: SFS ISSUE DATE: 09/22/2023 DESIGN ENGINEER: SMD		REVISIONS DATE BY:		COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 26 WEST CENTER • SUITE 100 HENRI CITY, IOWA 50623 P: 402-654-9220 • F: 402-654-9231	
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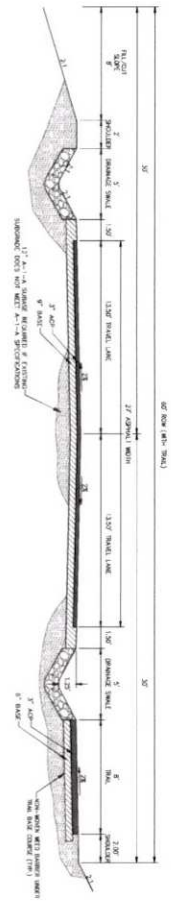
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<p>PROJECT STRAWBERRY RANCH</p> <p>SHEET TITLE DUMPSTER RETAINING WALL CROSS SECTION B-B</p> <p>PROJECT NUMBER C21-033</p> <p>SHEET C-514</p>	<p>PROJECT ENGINEER EWS</p> <p>PROJECT MANAGER EWS</p> <p>DESIGNER SJS</p> <p>ISSUE DATE 08/22/2023</p>	<p>DATE BY</p> <p>REVISIONS</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>1</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>4</td><td></td></tr> <tr><td>5</td><td></td></tr> <tr><td>6</td><td></td></tr> <tr><td>7</td><td></td></tr> <tr><td>8</td><td></td></tr> </table>	1		2		3		4		5		6		7		8		<p>DESIGN ENGINEER GWL</p>	<p>COPYRIGHT © 2003 SUMMIT ENGINEERING GROUP, INC.</p> <p>Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING 55 WEST CENTER • P.O. BOX 176 HENDER CITY, OHIO 44842 P. 432-454-9229 • F. 432-454-9231</p>
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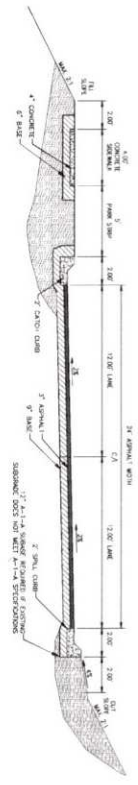
1.1 STANDARD CROSS SECTION NOTES  
SCALE: NTS

1. FLOORING SHALL BE SET IN ACCORDANCE WITH THE DESIGNER'S REQUIREMENTS.
2. THE FINISH GRADE SHALL BE AS SHOWN ON THE PLAN.
3. ALL EXISTING UTILITIES SHALL BE PROTECTED.
4. ALL EXISTING UTILITIES SHALL BE DEEPER THAN THE PROPOSED FINISH GRADE.
5. SHALLOWS SHALL BE CONSIDERED WHEN CONSTRUCTING FOUNDATIONS.
6. FOUNDATIONS SHALL BE CONSTRUCTED TO BEAT THE FINISH GRADE.
7. FOUNDATIONS SHALL BE CONSTRUCTED TO BEAT THE FINISH GRADE.
8. ALL EXISTING UTILITIES SHALL BE PROTECTED.
9. ALL EXISTING UTILITIES SHALL BE DEEPER THAN THE PROPOSED FINISH GRADE.
10. ALL EXISTING UTILITIES SHALL BE DEEPER THAN THE PROPOSED FINISH GRADE.

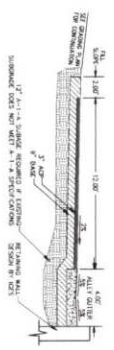
1.2 60' STREET CROSS SECTION (WITH TRAIL RIGHT SIDE)  
STRAWBERRY RANCH ROAD (STA 0+00 - 27+10)  
SCALE: NTS



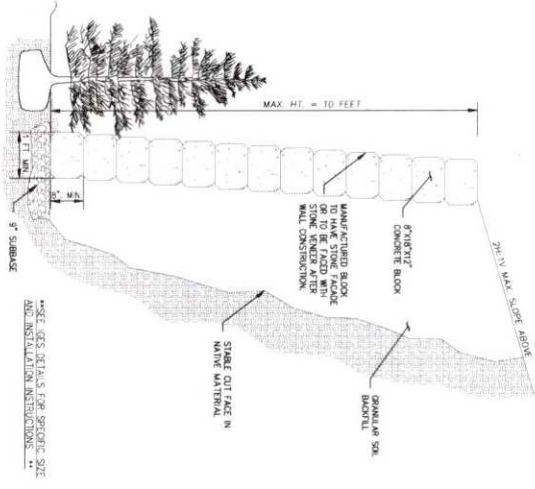
1.4 KOKANEE LOOP - NO CROWN  
STA 14+76.30 TO 16+50  
SCALE: NTS



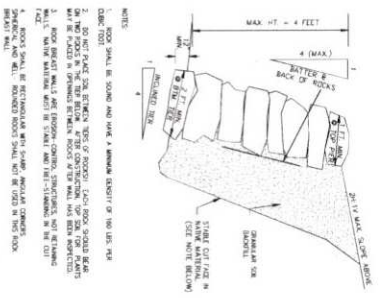
1.5 DUMPSTER ACCESS ROAD  
SCALE: NTS



1.6 BLOCK RETAINING WALL  
SCALE: NTS



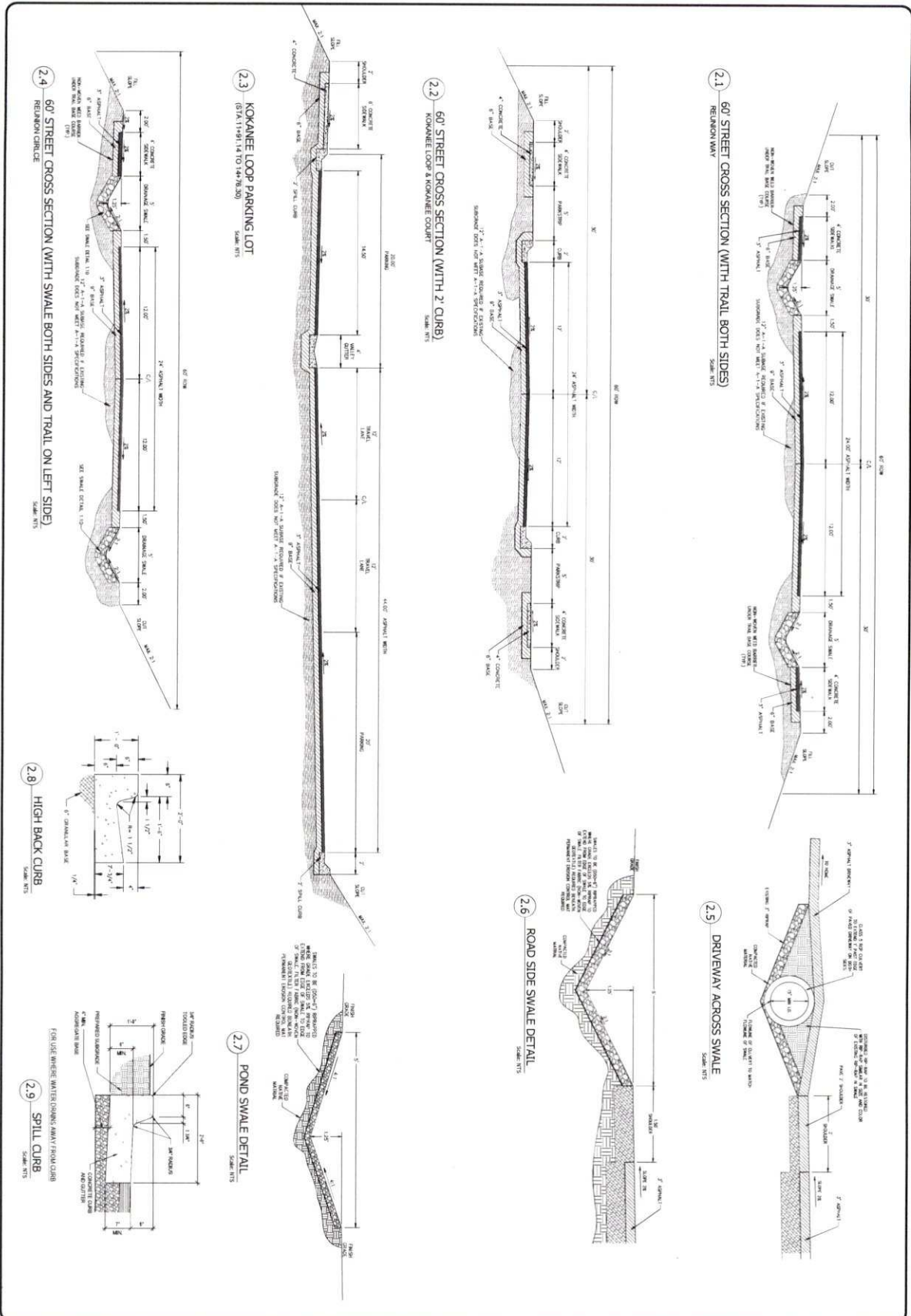
1.7 ROCK RETAINING WALL  
SCALE: NTS



PROJECT: STRAWBERRY RANCH  
PROJECT NUMBER: C21-033  
SHEET TITLE: STREET CROSS SECTIONS, RETAINING WALL DETAILS  
DATE: 08/22/2023  
DESIGN ENGINEER: [Signature]

NO.	REVISIONS	DATE	BY
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2.8 USE WHERE WATERDRAINING AWAY FROM CURB

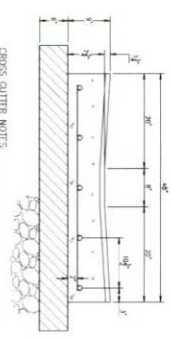
PROJECT	STRAWBERRY RANCH
SHEET	C21-033
DATE	08/22/2023
DESIGN ENGINEER	[Signature]

PROJECT ENGINEER	PROJECT MANAGER
DATE	DATE
SCALE	SCALE

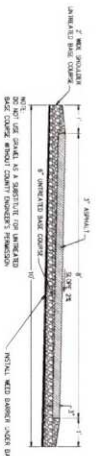
NO.	REVISIONS	DATE	BY

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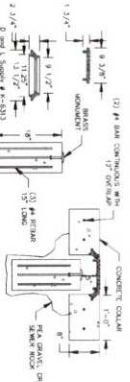
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**3.1 4" CROSS-GUTTER**  
SCALE: NTS

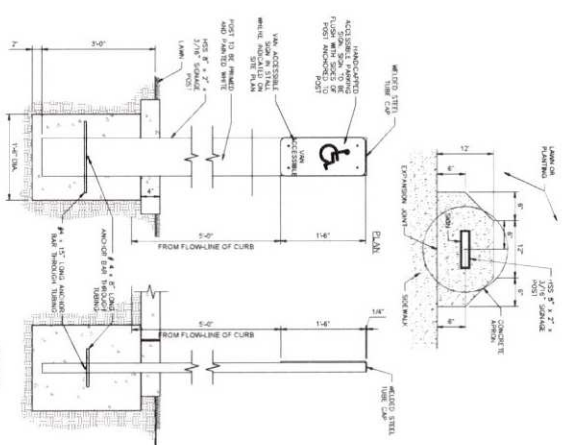
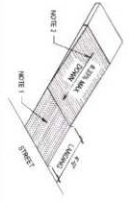


**3.2 8" ASPHALT TRAIL**  
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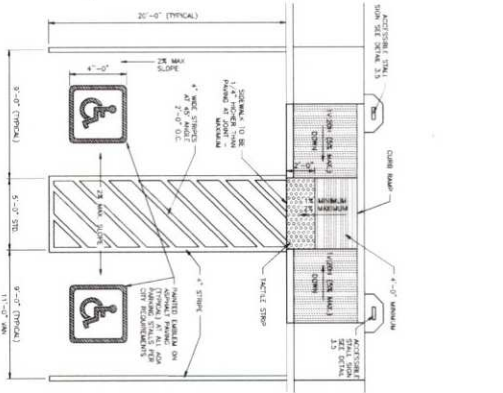


**3.3 STREET MONUMENT**  
SCALE: NTS

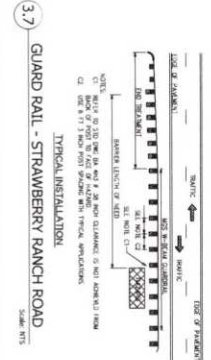
**3.4 ASPHALT TRAIL ADA RAMP**  
SCALE: NTS



**3.5 ADA SIGNS**  
SCALE: NTS



**3.6 ADA PARKING**  
SCALE: NTS



**3.7 GUARD RAIL - STRAWBERRY RANCH ROAD**  
SCALE: NTS

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PROJECT: STRAWBERRY RANCH	PROJECT NUMBER: EMB	DATE: 06/22/2023
DRAWN BY: SFS	DESIGN ENGINEER: [Blank]	DATE: [Blank]
SHEET NO: C21-033	REVISIONS:	
TITLE: STREET CROSS SECTIONS, STREET MONUMENT, TRAIL DETAIL, ADA		

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Regulatory Sign Specifications and Placement  
Wasatch County Sign Standard 12-2023



Typical Regulatory Sign Placement

Regulatory sign placement shall be as follows:  
 - Stop signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Yield signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Speed limit signs shall be placed at the beginning of a street, alley, or driveway.  
 - Advance warning signs shall be placed at the beginning of a street, alley, or driveway.  
 - Directional signs shall be placed at the beginning of a street, alley, or driveway.  
 - Street name signs shall be placed at the beginning of a street, alley, or driveway.  
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 - Street name signs shall be placed at the beginning of a street, alley, or driveway.

Signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Stop signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Yield signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Speed limit signs shall be placed at the beginning of a street, alley, or driveway.  
 - Advance warning signs shall be placed at the beginning of a street, alley, or driveway.  
 - Directional signs shall be placed at the beginning of a street, alley, or driveway.  
 - Street name signs shall be placed at the beginning of a street, alley, or driveway.  
 - Street name signs shall be placed at the beginning of a street, alley, or driveway.  
 - Street name signs shall be placed at the beginning of a street, alley, or driveway.

Street Sign Specifications and Placement  
Wasatch County Sign Standard 12-2023



Street Sign Specifications

Street signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Street signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Street signs shall be placed at the intersection of a street with a street, alley, or driveway.  
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 - Street signs shall be placed at the intersection of a street with a street, alley, or driveway.  
 - Street signs shall be placed at the intersection of a street with a street, alley, or driveway.

4.1 WASATCH COUNTY REGULATORY SIGNAGE

**AWP/Signage**

Specifications BW42001

Item	Description	Quantity	Unit	Notes
1	Regulatory Signage	1	Each	See Specifications BW42001
2	Regulatory Signage	1	Each	See Specifications BW42001
3	Regulatory Signage	1	Each	See Specifications BW42001
4	Regulatory Signage	1	Each	See Specifications BW42001
5	Regulatory Signage	1	Each	See Specifications BW42001
6	Regulatory Signage	1	Each	See Specifications BW42001
7	Regulatory Signage	1	Each	See Specifications BW42001
8	Regulatory Signage	1	Each	See Specifications BW42001
9	Regulatory Signage	1	Each	See Specifications BW42001
10	Regulatory Signage	1	Each	See Specifications BW42001

4.5 STREET LIGHT SHROUD & BULB DETAIL

**AWP/Signage**

Specifications BW42001

4.2 WASATCH COUNTY STREET SIGNAGE

**AWP/Signage**

Specifications BW42001

Item	Description	Quantity	Unit	Notes
1	Street Signage	1	Each	See Specifications BW42001
2	Street Signage	1	Each	See Specifications BW42001
3	Street Signage	1	Each	See Specifications BW42001
4	Street Signage	1	Each	See Specifications BW42001
5	Street Signage	1	Each	See Specifications BW42001
6	Street Signage	1	Each	See Specifications BW42001
7	Street Signage	1	Each	See Specifications BW42001
8	Street Signage	1	Each	See Specifications BW42001
9	Street Signage	1	Each	See Specifications BW42001
10	Street Signage	1	Each	See Specifications BW42001

4.6 STREET LIGHT POLE DETAIL

**AWP/Signage**

Specifications BW42001

4.3 STOP SIGN DETAIL

**AWP/Signage**

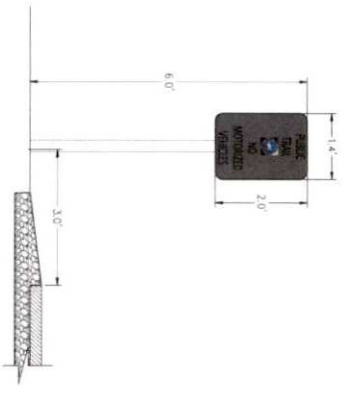
Specifications BW42001

Item	Description	Quantity	Unit	Notes
1	Stop Sign	1	Each	See Specifications BW42001
2	Stop Sign	1	Each	See Specifications BW42001
3	Stop Sign	1	Each	See Specifications BW42001
4	Stop Sign	1	Each	See Specifications BW42001
5	Stop Sign	1	Each	See Specifications BW42001
6	Stop Sign	1	Each	See Specifications BW42001
7	Stop Sign	1	Each	See Specifications BW42001
8	Stop Sign	1	Each	See Specifications BW42001
9	Stop Sign	1	Each	See Specifications BW42001
10	Stop Sign	1	Each	See Specifications BW42001

4.7 FIRE HYDRANT LIGHT BOLLARD

**AWP/Signage**

Specifications BW42001



4.4 WASATCH COUNTY TRAIL SIGNAGE

**AWP/Signage**

Specifications BW42001



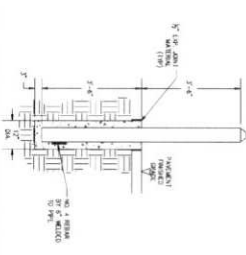
PHOTO EXAMPLE OF CONSTRUCTED TRAIL HYDRANT LIGHT BOLLARD

2:\SEC PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH\3\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG

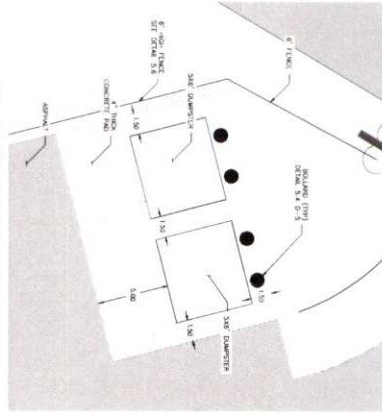
PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: [Name]	DATE: [Date]	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. 35 WELLS CENTER • P.O. BOX 178 TONKAWA, UTAH 84309 PHONE: 435-629-8229 • FAX: 435-629-8231
SHEET TITLE: SIGNS AND STREET LIGHT DETAILS	PROJECT NUMBER: [Number]	DATE: [Date]	
SHEET: D-4	DRAWN BY: SFS	DATE: 08/22/2023	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING



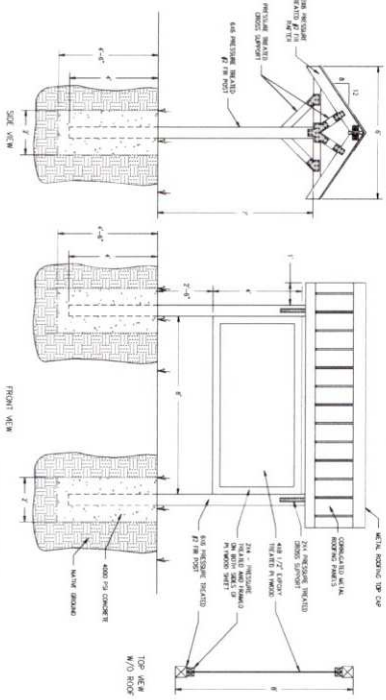
5.1 BACK VINYL COVERED CHAIN LINK FENCE  
SCALE: NTS



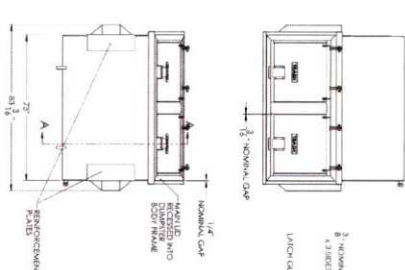
5.4 BOLLARD FOR DUMPSTER AREA  
SCALE: NTS



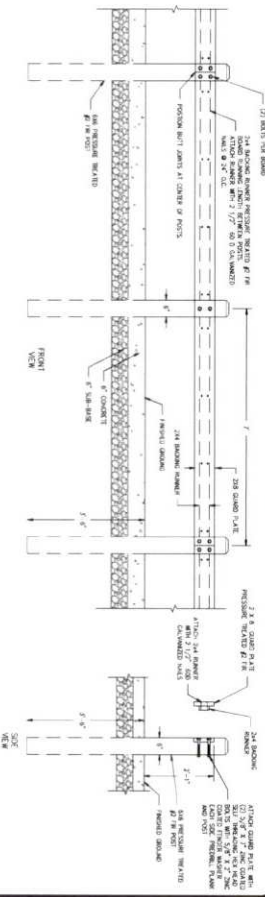
5.2 DUMPSTER AREA PLAN VIEW DETAIL  
SCALE: NTS



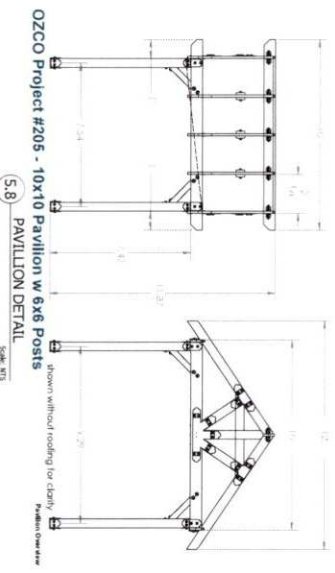
5.3 KIOSK SIGN DETAIL  
SCALE: NTS



5.5 BEAR PROOF DUMPSTER  
SCALE: NTS



5.9 GUARD RAIL - DUMPSTER AREA  
SCALE: NTS

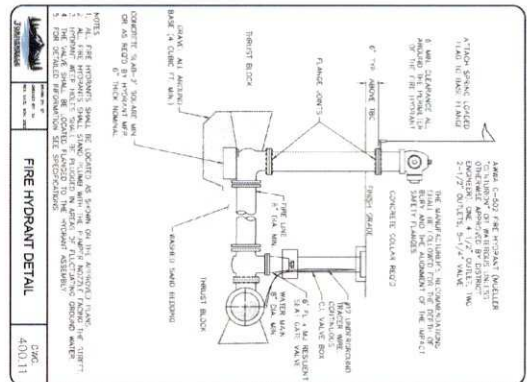


OZCO Project #205 - 10x10 Pavilion w 6x6 Posts  
5.8 PAVILION DETAIL  
SCALE: NTS

1. USE PROJECT'S CURRENT PROJECTS (C21-183 STRAWBERRY RANCH) C:\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENB	DATE: BY:	COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC.
PROJECT MANAGER: ENB	DATE: BY:		
SHEET TITLE: FENCE DETAILS, TRAIL KIOSK, DUMPSTER, BOLLARD, GUARDRAIL DETAIL	DRAWN BY: SFS	REVISIONS:	<p>STRUCTURAL • CIVIL • LAND SURVEYING 50 WEST CENTER ST. SUITE 110 NEEDS CITY, IOWA 54655 P. 435-657-6220 • F. 435-654-9231</p>
DATE: 08/22/2023	DESIGN ENGINEER: ENB		

PROJECT: STRAWBERRY RANCH  
SHEET: C21-033  
DATE: 08/22/2023



6.2 THRUST BLOCK

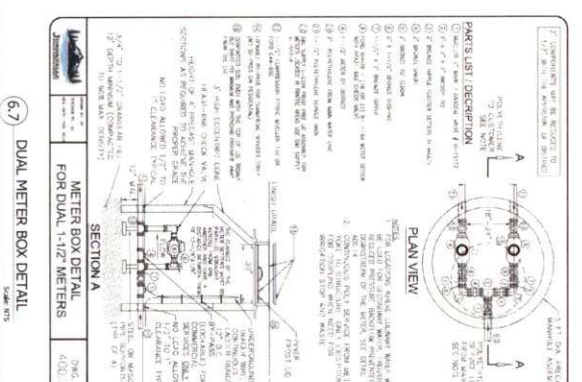
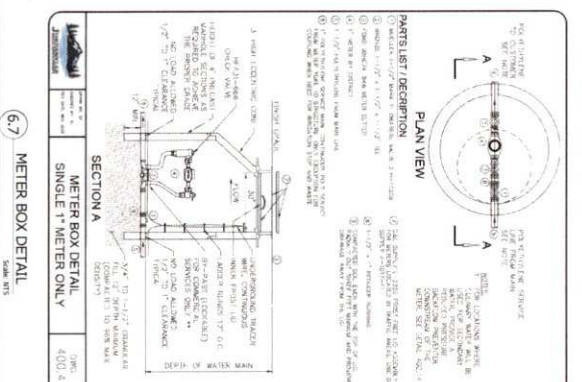
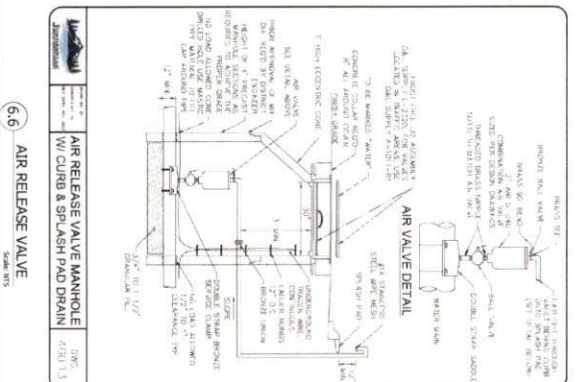
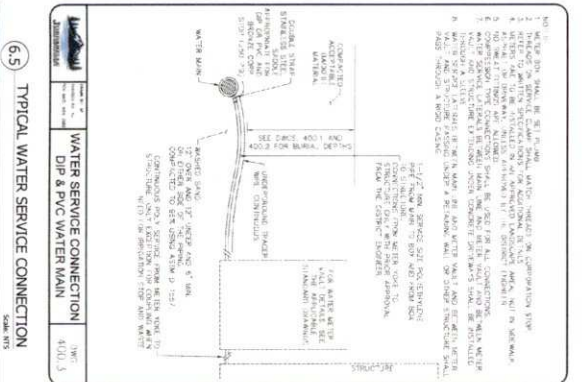
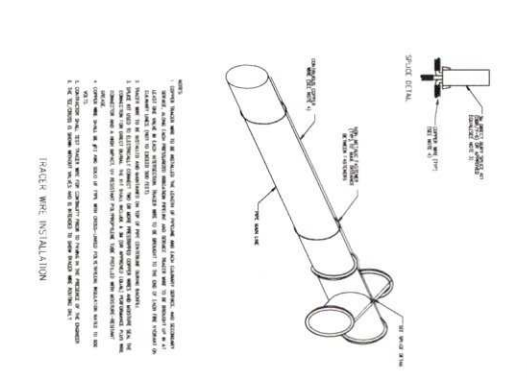
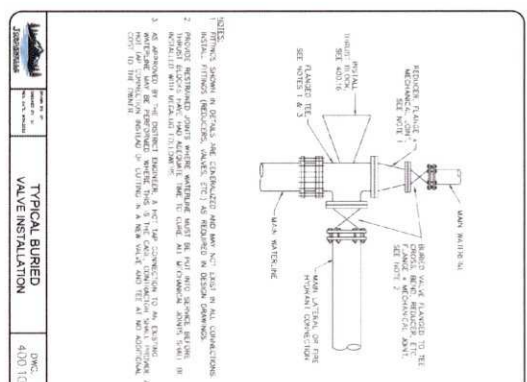
THRUST BLOCK DETAILS

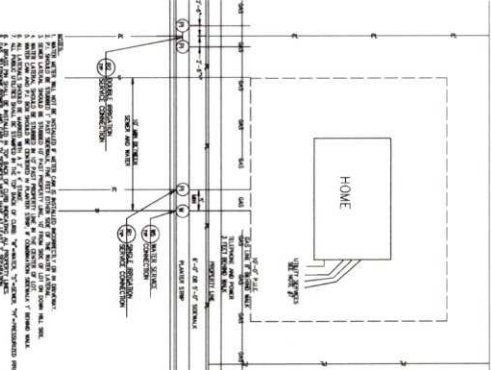
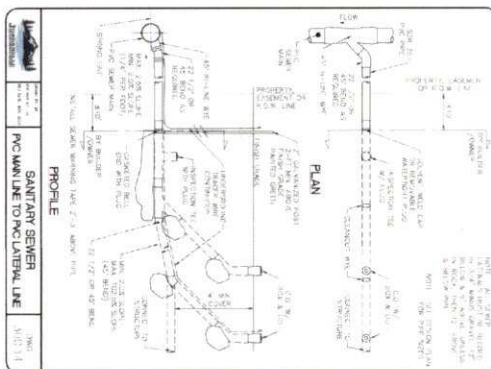
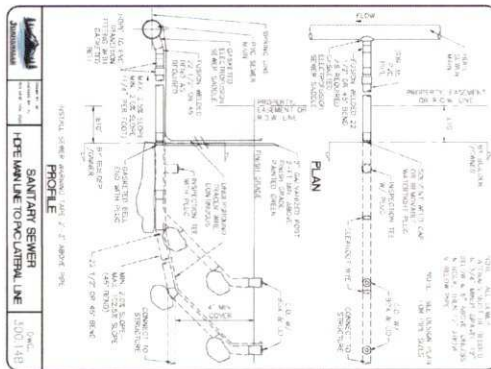
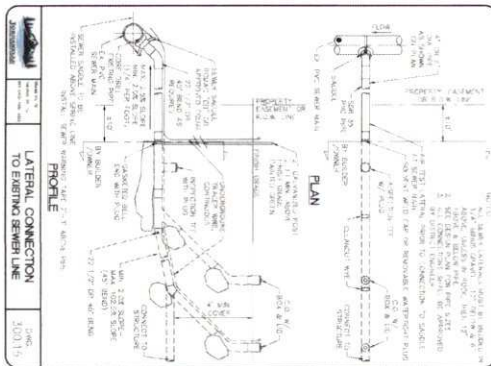
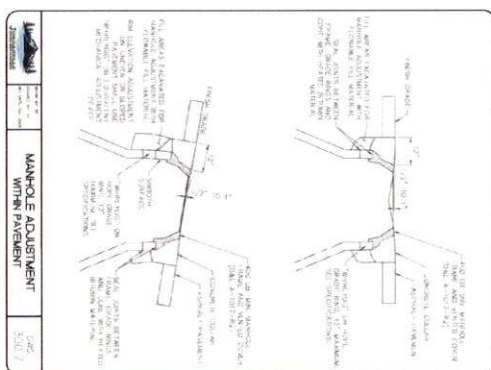
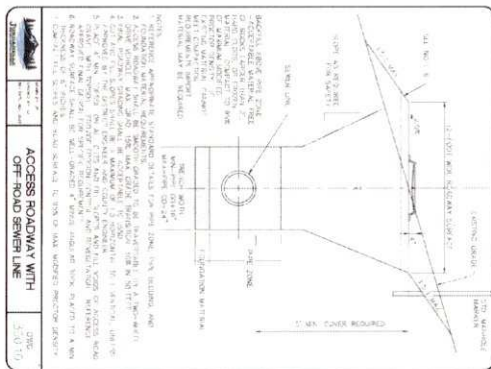
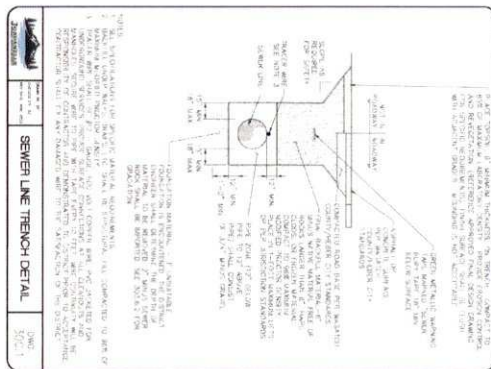
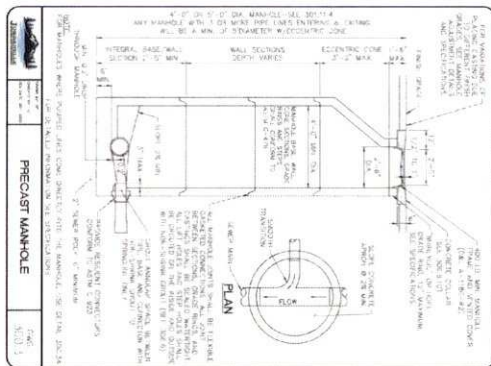
400.16

400.16

SIZE	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"	5"	6"	8"	10"	12"
LENGTH	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
WIDTH	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"
HEIGHT	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"

NOTE: THRUST BLOCK SHALL BE CONCRETE OR STEEL ON THE ABOVE LISTED MATERIALS. ALL THRUST BLOCKS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DENVER FIRE DEPARTMENT SPECIFICATIONS.





75 SANITARY LATERAL TO EXISTING SEWER MAIN

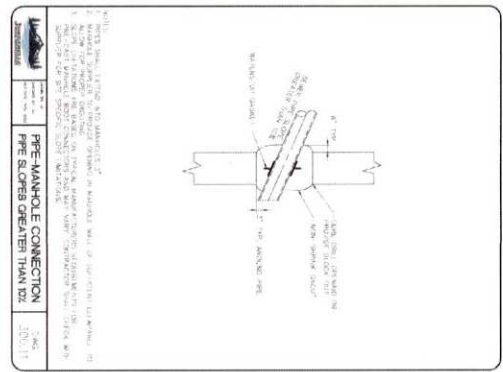
76 SANITARY LATERAL HDPE TO PVC

77 SANITARY LATERAL PVC TO PVC

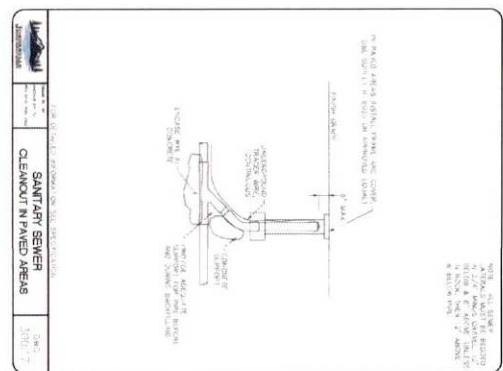
78 LATERAL LOCATIONS

<p>PROJECT: STRAWBERRY RANCH</p> <p>PROJECT NUMBER: C21-033</p> <p>SHEET TITLE: SANITARY SEWER DETAILS</p> <p>DATE: 08/22/2023</p>		<p>DESIGN ENGINEER: GAI</p>																																									
<p>PROJECT ENGINEER: EMB</p> <p>PROJECT NUMBER: EMB</p> <p>DESIGN BY: SFS</p> <p>DATE: 08/22/2023</p>		<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>		NO.	DATE	BY	DESCRIPTION																																				
NO.	DATE	BY	DESCRIPTION																																								
<p>1: USE PROJECT'S CURRENT PROJECTS\C21-033 STRAWBERRY RANCH C30\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG</p>		<p>Summit Engineering Group Inc.</p> <p>STRUCTURE • ONE • LAND SURVEYING</p> <p>55 WEST CENTER • P.O. BOX 178</p> <p>ST. LOUIS, MISSOURI 63103</p> <p>TEL: 432-554-5222 • FAX: 432-554-9231</p>																																									

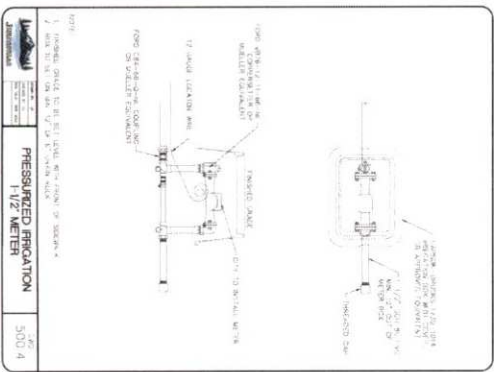




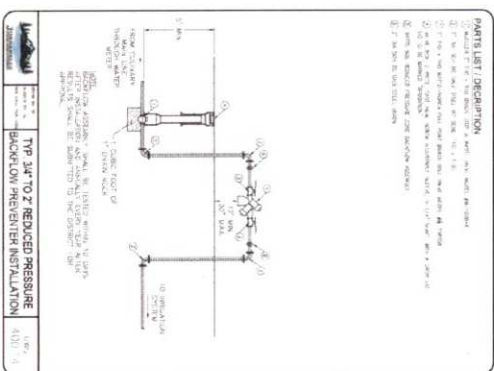
8.1 PIPE CONNECTION > THAN 10% SLOPE  
SCALE: NTS



8.2 CLEANOUT  
SCALE: NTS



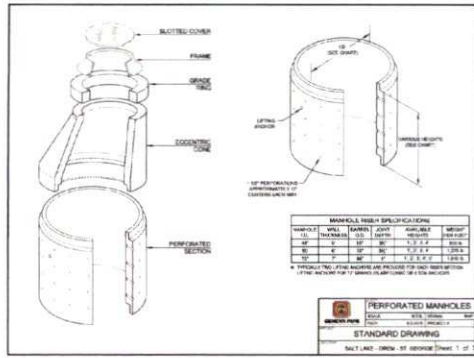
8.3 IRRIGATION METER  
SCALE: NTS



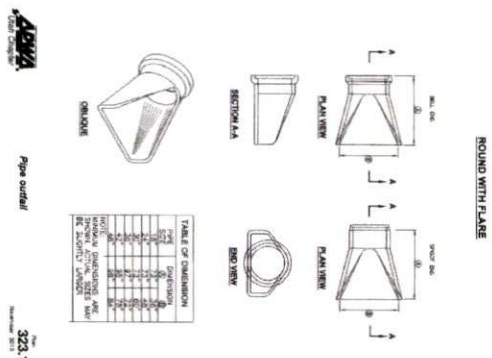
8.4 BACKFLOW PREVENTER  
SCALE: NTS

PROJECT: STRAWBERRY RANCH SHEET: C21-033 DATE: 0-8		PROJECT ENGINEER: [Name] PROJECT MANAGER: [Name] DRAWN BY: SFS ISSUE DATE: 08/22/2023 DESIGN ENGINEER: [Name]		REVISIONS: [Table with 2 columns: No., Description] DATE BY: [Table with 2 columns: Date, By]		COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 176 HERRING, UT 84025 P: 435-854-9229 • F: 435-854-9231	
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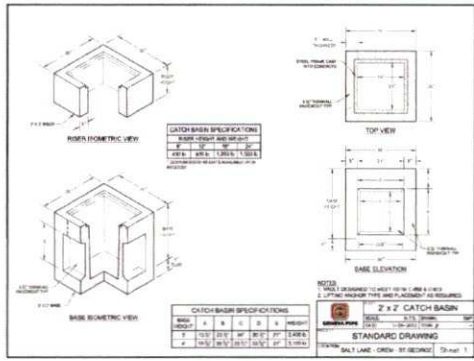
9.5 SUMP MANHOLE DETAIL  
SCALE: NTS



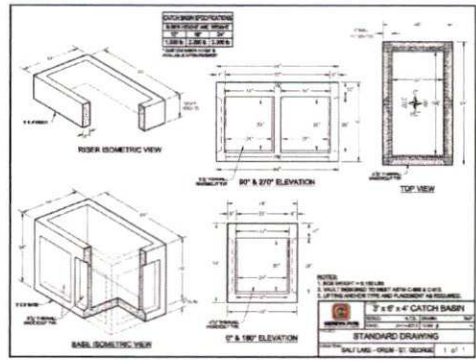
9.1 PIPE OUTFALL  
SCALE: NTS



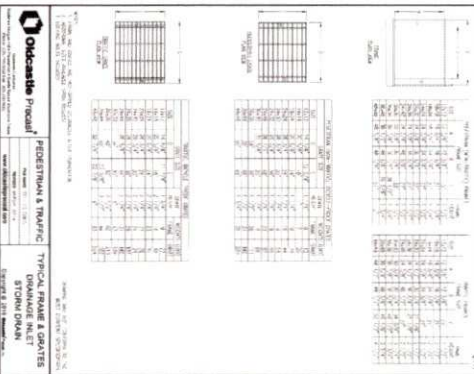
9.6 3X3 CATCH BASIN DETAIL  
SCALE: NTS



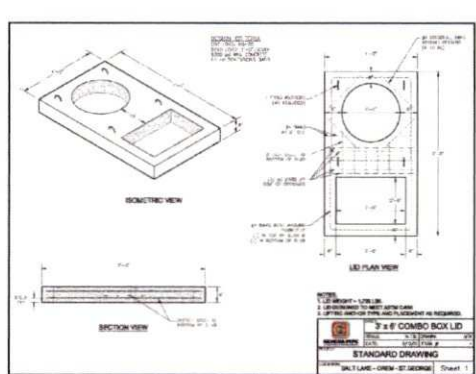
9.2 3X6 CATCH BASIN DETAIL  
SCALE: NTS



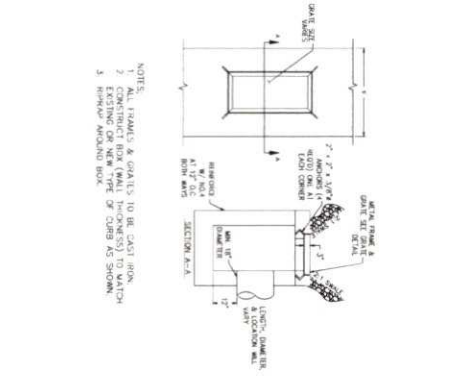
9.7 GRATE & FRAME DETAIL  
SCALE: NTS



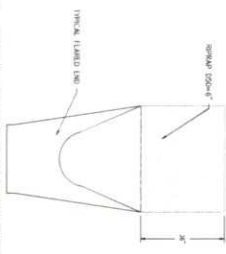
9.3 3X6 COMBO BOX LID  
SCALE: NTS



9.8 INLET IN SWALE DETAIL  
SCALE: NTS



9.4 PIPE OUTFLET WITH RIPRAP PROTECTION  
SCALE: NTS



2. USE PROJECT'S CORRECT PROJECT'S/C21-033 STRAWBERRY RANCH CSD WORKING FILES/ENGINEERING/DM/C21-033 DETAILS.DWG

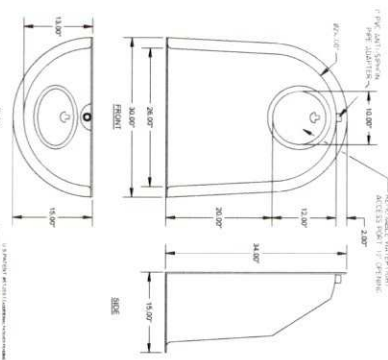
PROJECT: STRAWBERRY RANCH  
 SHEET: C21-033  
 DATE: 0-9

PROJECT ENGINEER: SWB  
 PROJECT MANAGER: SWB  
 DRAWN BY: SFS  
 DATE: 08/22/2023  
 DESIGN ENGINEER: SWB

NO.	REVISIONS	DATE	BY

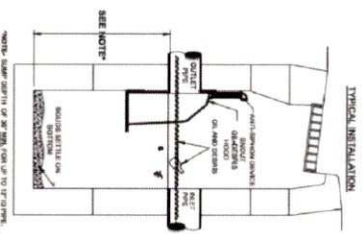
COPYRIGHT © 2013  
 SUMMIT ENGINEERING GROUP, INC.  
 100 WEST CENTER AVENUE, SUITE 100  
 HERRING CITY, UTAH 84032  
 P: 435-654-8228 F: 435-654-8231





<b>BMD, INC.</b>	
3511 FORT ANDERSON ROAD, CT. 06111	TEL: 860-439-1111
246 SNOOUT, 0602099	NO. 06111
3 DESIGNS SNOOUT	246

10.1 SNOOUT  
SCALE: NTS



10.2 SNOOUT INSTALLATION  
SCALE: NTS

★ TYPICAL TYPICAL LIFTING ANCHORS ARE PROVIDED FOR CONCRETE BASE

LIFTING ANCHORS FOR ALL OTHER MANHOLES ARE PLASTIC INSERTS

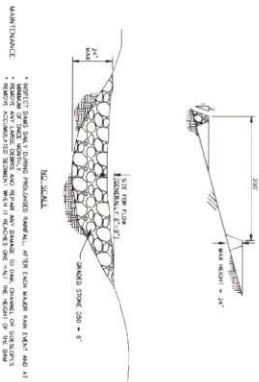
MANHOLE	WALL	SLAB	MANHOLE	WALL	SLAB	WALL	SLAB	WALL	SLAB
48"	6"	7 1/2"	6"	1'-2 1/2" x 6' 6"	1.980 LB	1.275 BWT	6"	6"	6"
60"	6"	7 1/2"	6"	1'-2 1/2" x 6' 6"	2.830 LB	1.510 BWT	6"	6"	6"
84"	6"	11 1/2"	6"	1'-2 1/2" x 6' 6"	3.310 LB	2.000 BWT	6"	6"	6"
108"	6"	14 1/2"	6"	2'-3" x 6' 6"	5.600 LB	3.800 BWT	6"	6"	6"
144"	6"	18 1/2"	6"	2'-3" x 6' 6"	11.500 LB	7.725 BWT	6"	6"	6"

NOTES:  
 1. REFER TO LIST 14.14.14 FOR LIFTING ANCHOR REQUIREMENTS.  
 2. CONFORM TO CURRENT ASTM/CEN REQUIREMENTS.  
 3. MANHOLE CONCRETE STRENGTH IS 4,000 PSI.  
 4. 1/2" O.D. EACH WAY FOR SLABS SPACED AT 18" ON CENTER.  
 5. MANHOLE BASE IS NOT MONOLITHIC. SLAB IS REINFORCED WITH WELDED WIRE FABRIC.

3 FLAT FLOOR MANHOLE BASES  
 STANDARD DRAWING  
 SALT LAKE, UTAH, 01/20/11

1 of 1

10.3 STORM MANHOLE BASE  
SCALE: NTS



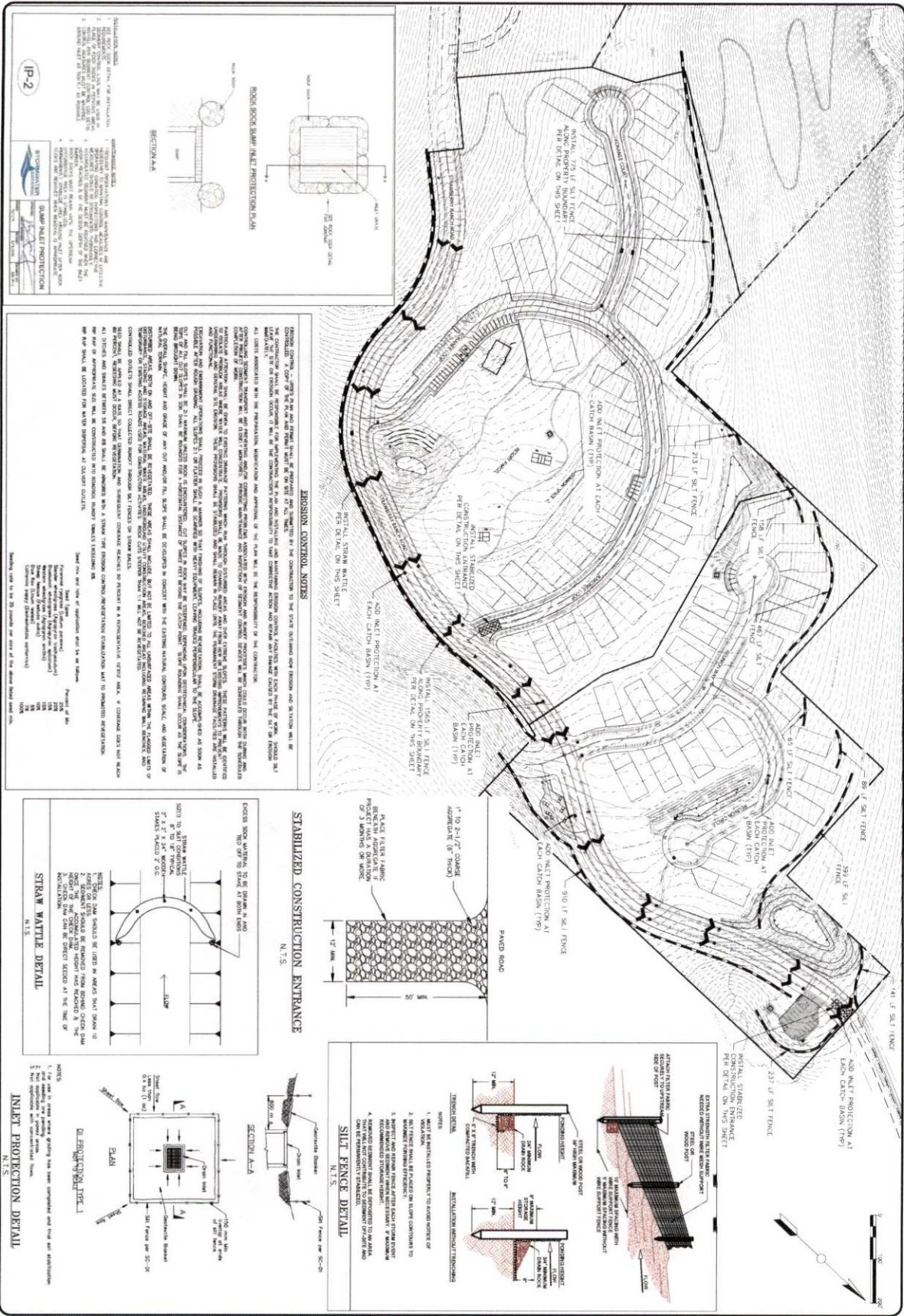
10.4 ROCK CHECK DAM  
SCALE: NTS

1. USER PROJECT'S CURRENT PROJECTS\C21-153 STRAWBERRY RANCH CS\WORKING FILES\ENGINEERING\JMD\C21-033 DETAILS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: EMB	DATE: 08/22/2013
SHEET: D-10	PROJECT MANAGER: EMB	REVISIONS:
PROJECT: C21-033	DRAWN BY: SFS	1
SHEET TITLE: STORM WATER DETAILS	DATE: 08/22/2013	2
	DESIGN ENGINEER: JMD	3
		4
		5
		6
		7
		8

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Summit Engineering Group Inc.  
 STRUCTURE • CIVIL • LAND SURVEYING  
 55 WEST CENTER STREET, SUITE 170  
 SALT LAKE CITY, UTAH 84119  
 P: 801-551-9220 F: 801-551-9223



**EROSION CONTROL NOTES**

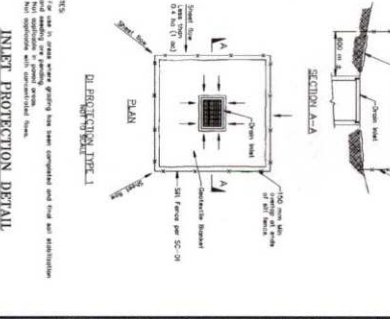
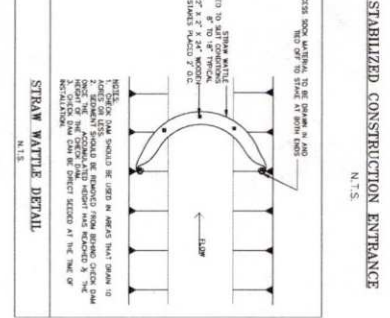
1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND THE EROSION CONTROL MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EROSION CONTROL MEASURES.

3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

4. ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF THE PROJECT.

5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND THE EROSION CONTROL MANUAL.



<p>PROJECT: STRAWBERRY RANCH</p> <p>SHEET: C21-033</p> <p>DATE: 08/22/2023</p>	<p>PROJECT ENGINEER: [Name]</p> <p>PROJECT MANAGER: [Name]</p> <p>DRAWN BY: [Name]</p> <p>CHECK ENGINEER: [Name]</p>	<p>REVISIONS:</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td><td></td></tr> </table>	NO.	DATE	BY	DESCRIPTION	1				2				3				4				5				6				7				8				<p>DATE BY:</p> <p>Copyright © 2023 Summit Engineering Group, Inc.</p> <p>Summit Engineering Group Inc.</p> <p>STRUCTURE • CIVIL • LAND SURVEYING</p> <p>55 WEST CENTER • P.O. BOX 176</p> <p>HEBER CITY, UTAH 84055</p> <p>PHONE: 435-894-9229 • FAX: 435-894-9231</p>
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PROJECT <b>STRAWBERRY RANCH</b>	PROJECT ENGINEER EMG		REVISIONS DATE BY 1 2 3 4 5 6 7 8	COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC.  SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 176 HIGHLAND CITY, COLORADO 80430 TEL: 435-834-8228 • FAX: 435-834-8233
PROJECT NO. <b>C21-033</b>	PROJECT MANAGER EMG			
SHEET NO. 1-100	SHEET TITLE OVERALL LANDSCAPE PLAN			



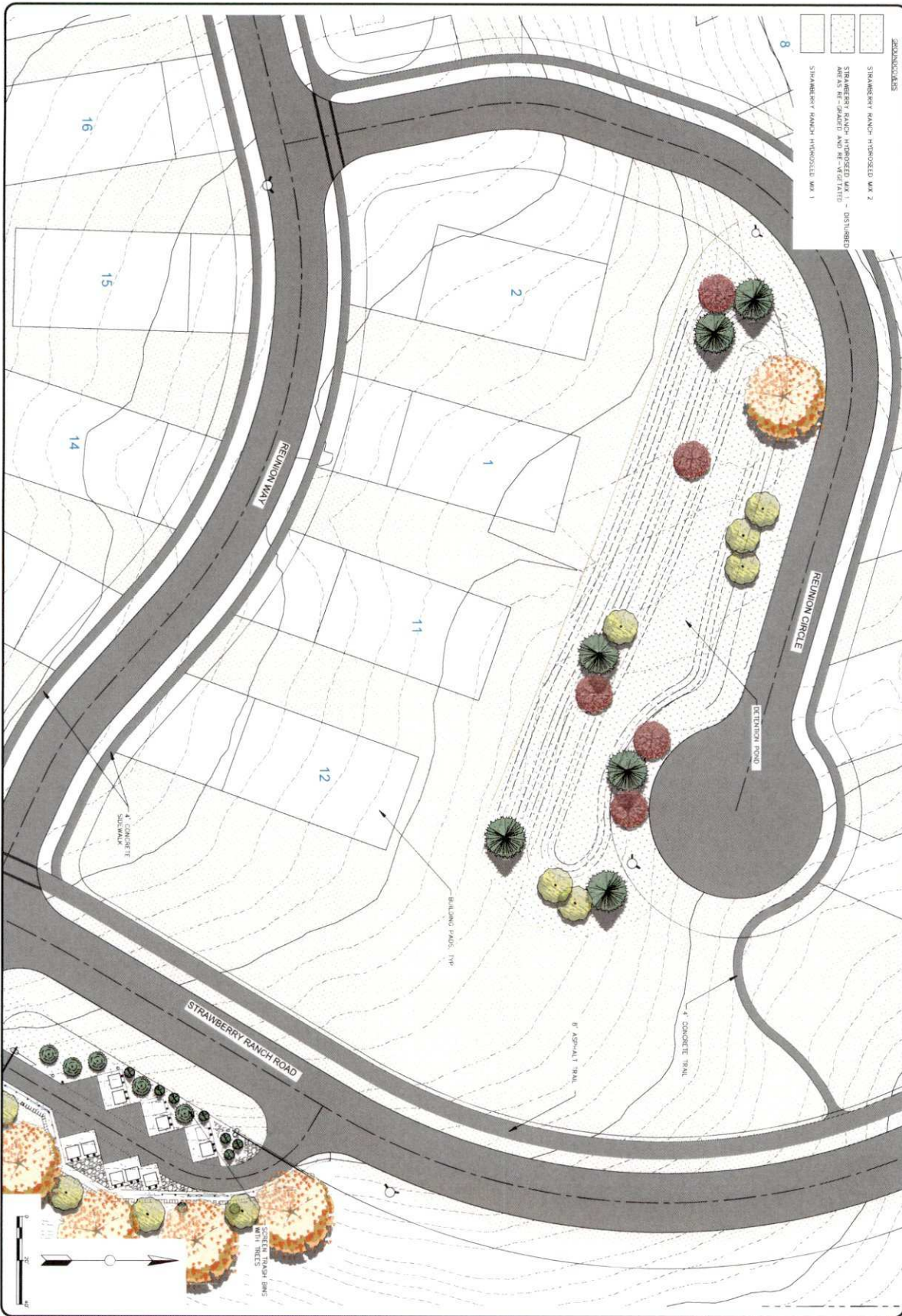
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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER: EMD		1				
SHEET TITLE ENTRY LANDSCAPE PLAN	PROJECT MANAGER: EMD		2				
PROJECT NUMBER C21-033	DRAWN BY: ZST	DATE 09/11/2023	3				
SHEET NUMBER 1-101	ISSUE DATE: 09/11/2023	LANDSCAPE ARCHITECT EMD	4				
			5				
			6				
			7				
			8				

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**Summit Engineering Group Inc.**  
STRUCTURE • CIVIL • LAND SURVEYING  
55 WEST CENTER • P.O. BOX 176  
HEBURN CITY, IDAHO 83421  
P: 435-854-9270 • F: 435-854-9231



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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: EMB		COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC.  SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 176 HEERDEN CITY, UTAH 84022 P: 435-854-8228 • F: 435-854-8233
SHEET TITLE: ENLARGED LANDSCAPE PLAN	PROJECT MANAGER: EMB		
SHEET: 1-102	DRAWN BY: ZST	DATE: 08/22/2023	LANDSCAPE ARCHITECT: DATE:



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PROJECT STRAWBERRY RANCH	PROJECT ENGINEER EIMB		REVISIONS 1 2 3 4 5 6 7 8	DATE BY _____	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC.  SUMMIT & PARTNER A FULL SERVICE ENGINEERING AND ARCHITECTURAL FIRM OFFICE: 150 WEST CENTER, SUITE 1700, SALT LAKE CITY, UT 84119 PHONE: 801-466-8229 FAX: 801-466-8231 WWW.SUMMIT-EG.COM	Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING 150 WEST CENTER • P.O. BOX 170 SALT LAKE CITY, UTAH 84119 P: 801-466-8229 • F: 801-466-8231
PROJECT NO. C21-033	PROJECT MANAGER EIMB					
SHEET TITLE ENLARGED LANDSCAPE PLAN	ISSUE DATE 06/11/2023	LANDSCAPE ARCHITECT DATE 06/11/2023				



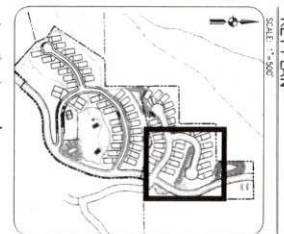
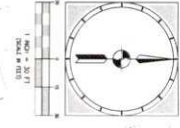


© 2022 SUMMIT ENGINEERING GROUP, INC. PROJECT: STRAWBERRY RANCH. SHEET: C21-033. DATE: 09/11/2023.

NO.	REVISIONS	DATE	BY
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2			
3			
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Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING. 35 WEST CENTER • P.O. BOX 1716. WEBER CITY, IOWA 52252. TEL: 430-854-9229 • FAX: 430-854-9231





**IRRIGATION SCHEDULE**

SYMBOL	PLANTING	SPACING	DEPTH	WATERING FREQUENCY	WATERING DURATION	WATERING RATE
1	1" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
2	2" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
3	3" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
4	4" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
5	5" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
6	6" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
7	7" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
8	8" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
9	9" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
10	10" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
11	11" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
12	12" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
13	13" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
14	14" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
15	15" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
16	16" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
17	17" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
18	18" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
19	19" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
20	20" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
21	21" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
22	22" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
23	23" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
24	24" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
25	25" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
26	26" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
27	27" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
28	28" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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30	30" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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33	33" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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35	35" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
36	36" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
37	37" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
38	38" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
39	39" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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44	44" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
45	45" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
46	46" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
47	47" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
48	48" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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60	60" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
61	61" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
62	62" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
63	63" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
64	64" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
65	65" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
66	66" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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68	68" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
69	69" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
70	70" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
71	71" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
72	72" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
73	73" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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75	75" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
76	76" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
77	77" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
78	78" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
79	79" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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86	86" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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93	93" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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95	95" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
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98	98" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
99	99" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"
100	100" PLANTING	12" x 12"	12"	1X/2W	15'	1.5"

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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENB	DATE: 09/11/2023	<p>Summit Engineering Group Inc. STRUCTURE • CARE • LAND SURVEYING 55 WEST CENTER • P.O. BOX 176 MESA, AZ 85201 P: 480-554-9229 • F: 480-554-9231</p>																																				
SHEET TITLE: LANDSCAPE IRRIGATION PLAN	PROJECT MANAGER: ENB	DATE: 09/11/2023																																					
PROJECT NO: C21-033	DRAWN BY: ANF	SCALE: 1"=106'	<table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>REVISIONS</th></tr> <tr><td>1</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td><td></td></tr> </table>	NO.	DATE	BY	REVISIONS	1				2				3				4				5				6				7				8			
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PLANT SCHEDULE

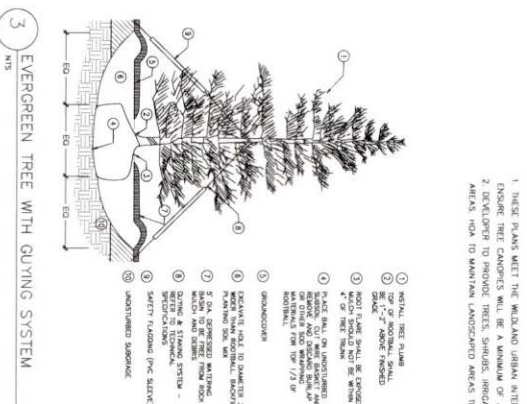
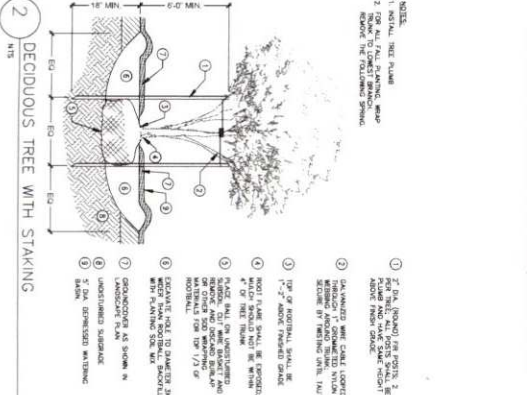
BILLS	BOTANICAL / COMMON NAME	CONT.	QTY
1	FOR PERMANENT / AUTUMN BURN / AUTUMN BURN MAT	3" CAL.	19
2	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	47
3	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	7
4	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	47
5	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
6	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
7	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
8	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
9	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
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14	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
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16	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
17	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
18	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
19	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
20	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
21	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
22	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5
23	PICHA PANDORA / CALIFORNIA BLUE SPRUCE	B & B	5

**PLANTING NOTES**

1. THE BASE INFORMATION FOR THIS DRAWING WAS OBTAINED FROM OTHERS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DRAWING WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK, AND IMMEDIATELY NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAWING WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK, AND IMMEDIATELY NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAWING WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK, AND IMMEDIATELY NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND MARKING THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO BEGINNING CONSTRUCTION. CONTACT THE UTILITY COMPANIES TO OBTAIN THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MARKING THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO BEGINNING CONSTRUCTION. CONTACT THE UTILITY COMPANIES TO OBTAIN THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MARKING THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO BEGINNING CONSTRUCTION. CONTACT THE UTILITY COMPANIES TO OBTAIN THE EXACT LOCATION OF ALL UTILITIES.
3. IF PROVIDED, REFER TO ERECTION, NOTES, DETAILS, AND SPECIFICATIONS FOR FURTHER INFORMATION.
4. ANY ALTERATIONS TO THESE ACTUAL PLANTING PLANS DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND RECORDED ON AS-BUILT DRAWINGS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM QUALITIES ESTABLISHED BY THE ASSOCIATION OF NURSERYMEN FOR NORTHERN STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
6. ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
7. QUANTITIES INDICATED IN THE PLANT SCHEDULE ARE FOR CONVEYANCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES, AND SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SCHEDULE SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES, AND SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SCHEDULE SHOWN ON THIS DRAWING.
8. ANY APPROVED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. PLANT TREES NEXT TO SIDEWALKS TO A MINIMUM HEIGHT OF 7' FOR A CLEAR WALKING PATH.

**GENERAL NOTES**

1. THESE PLANS MEET THE MIDLAND URBAN INTERFACE REGULATIONS. CONTRACTOR TO ENSURE TREE CANOPIES WILL BE A MINIMUM OF 20' AWAY FROM ANY BUILDING.
2. DEVELOPER TO PROVIDE TREES, SHRUBS, IRRIGATION, AND REVEGETATION OF DISTURBED AREAS FOR TO MAINTAIN UNDISTURBED AREAS THEREAFTER.



PROJECT: STRAWBERRY RANCH  
 SHEET TITLE: PLANT SCHEDULE/NOTES/DETAILS  
 PROJECT ENGINEER: EMB  
 PROJECT MANAGER: EMB  
 DATE: 09/11/2023  
 LANDSCAPE ARCHITECT: [Signature]

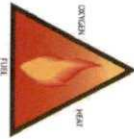
REVISIONS: [Table with columns for DATE, BY, and REVISIONS]

DATE: [ ] BY: [ ]

Summit Engineering Group Inc.  
 55 WEST 20TH AVENUE  
 DENVER, CO 80202  
 P: 303-851-9279 F: 303-851-9231

GENERAL INFORMATION

CONSIDER WEATHER, WIND DIRECTION, NEAREST HIGHWAY, NEAREST FIRE STATION, AND GENERAL LOCATION OF THE HOME OR BUSINESS. WEATHER INFORMATION AND LISTS OF FIRE STATIONS AND FIRE DEPARTMENTS ARE AVAILABLE FROM THE FIRE DEPARTMENT. WEATHER INFORMATION AND LISTS OF FIRE STATIONS AND FIRE DEPARTMENTS ARE AVAILABLE FROM THE FIRE DEPARTMENT.

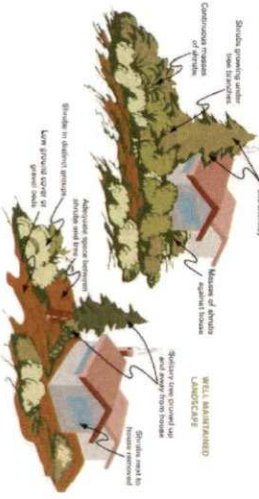


THE PLAN ALSO TRAVEL FROM THE GROUND INTO THE VENTILATION CHIMNEY OR INTO A STRUCTURE. IF THERE ARE CONTIGUOUS WALLS, LEAKAGE INTO THE ROOM OR BUILDING...  
 - REMOVE THE WEATHERED ROOFING FROM THE GROUND INTO THE VENTILATION CHIMNEY OR INTO A STRUCTURE. IF THERE ARE CONTIGUOUS WALLS, LEAKAGE INTO THE ROOM OR BUILDING...  
 - REMOVE THE WEATHERED ROOFING FROM THE GROUND INTO THE VENTILATION CHIMNEY OR INTO A STRUCTURE. IF THERE ARE CONTIGUOUS WALLS, LEAKAGE INTO THE ROOM OR BUILDING...



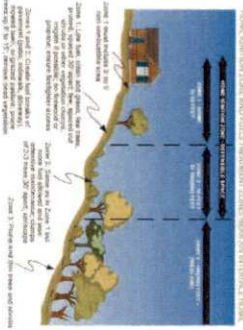
LANDSCAPE MAINTENANCE TO REDUCE FIRE HAZARDS

LANDSCAPE MAINTENANCE TO REDUCE FIRE HAZARDS...  
 - REMOVE WEATHERED ROOFING FROM THE GROUND INTO THE VENTILATION CHIMNEY OR INTO A STRUCTURE. IF THERE ARE CONTIGUOUS WALLS, LEAKAGE INTO THE ROOM OR BUILDING...  
 - REMOVE WEATHERED ROOFING FROM THE GROUND INTO THE VENTILATION CHIMNEY OR INTO A STRUCTURE. IF THERE ARE CONTIGUOUS WALLS, LEAKAGE INTO THE ROOM OR BUILDING...

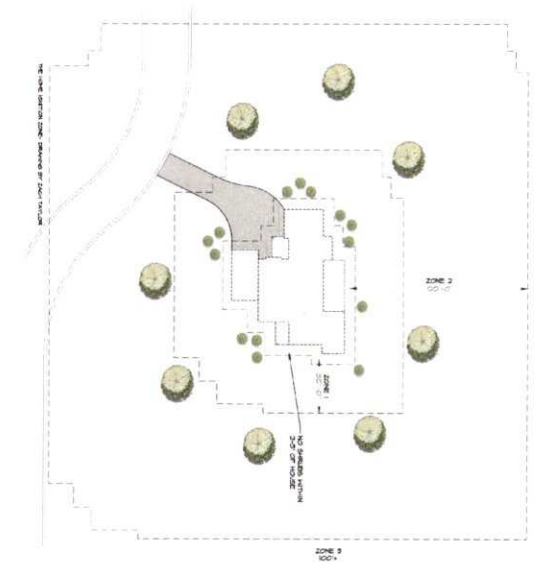


THE HOME IGNITION ZONE

THE HOME IGNITION ZONE IS THE AREA WITHIN THE HOME AND THE IMMEDIATE SURROUNDINGS...  
 - REMOVE WEATHERED ROOFING FROM THE GROUND INTO THE VENTILATION CHIMNEY OR INTO A STRUCTURE. IF THERE ARE CONTIGUOUS WALLS, LEAKAGE INTO THE ROOM OR BUILDING...  
 - REMOVE WEATHERED ROOFING FROM THE GROUND INTO THE VENTILATION CHIMNEY OR INTO A STRUCTURE. IF THERE ARE CONTIGUOUS WALLS, LEAKAGE INTO THE ROOM OR BUILDING...



RECOMMENDED FIREWISE PLANT LIST



RECOMMENDED FIREWISE PLANT LIST
<p>RECOMMENDED FIREWISE PLANT LIST</p> <p>RECOMMENDED FIREWISE PLANT LIST</p>

RECOMMENDED FIREWISE PLANT LIST
<p>RECOMMENDED FIREWISE PLANT LIST</p> <p>RECOMMENDED FIREWISE PLANT LIST</p>

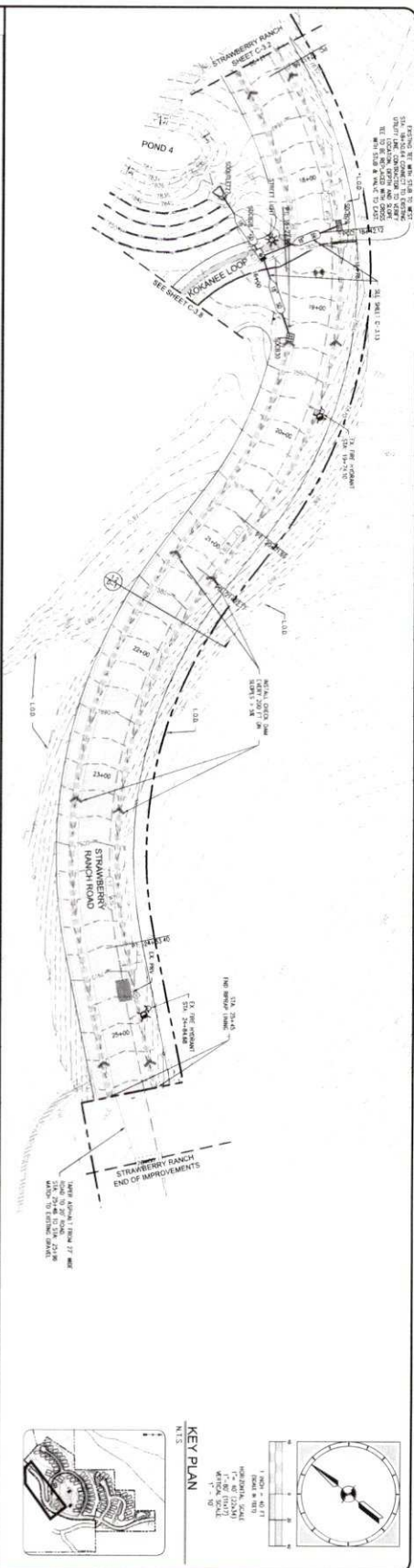
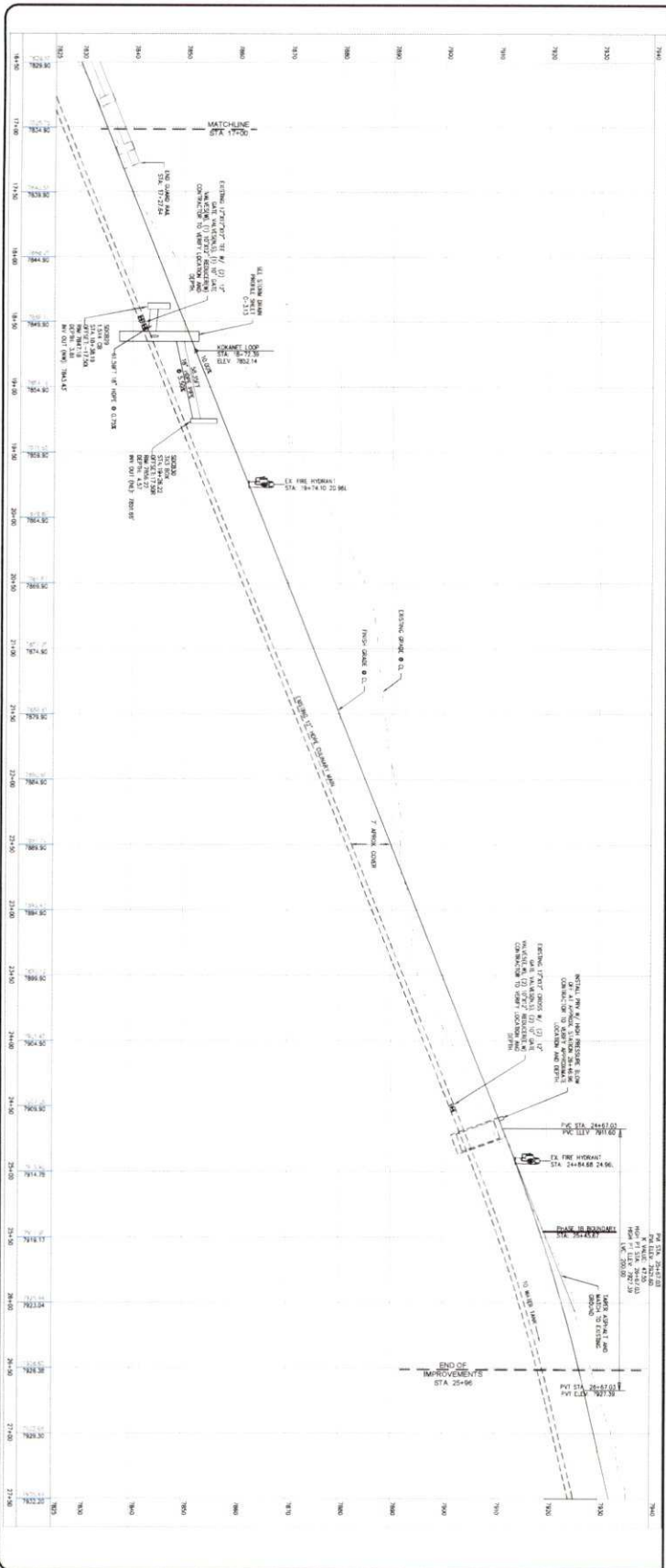
LANDARC LANDSCAPE DESIGN

811 CALIFORNIA SERVICE

STRAWBERRY RANCH MOUNTAIN RESORT

TYPICAL FIREWISE LANDSCAPE PLAN

L-501



I:\PROJECTS\CURRENT PROJECTS\121-033 STRAWBERRY RANCH CADD\WORKING FILES\ENGINEERING\DWG\121-033 RP SHEET.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER ENB
SHEET TITLE STRAWBERRY RANCH ROAD PLAN AND PROFILE STA 174+00 TO 254+96	PROJECT MANAGER ENB
DRAWN BY SPS	DATE 08/22/2023
CHECKED BY ENB	DESIGN ENGINEER ENB

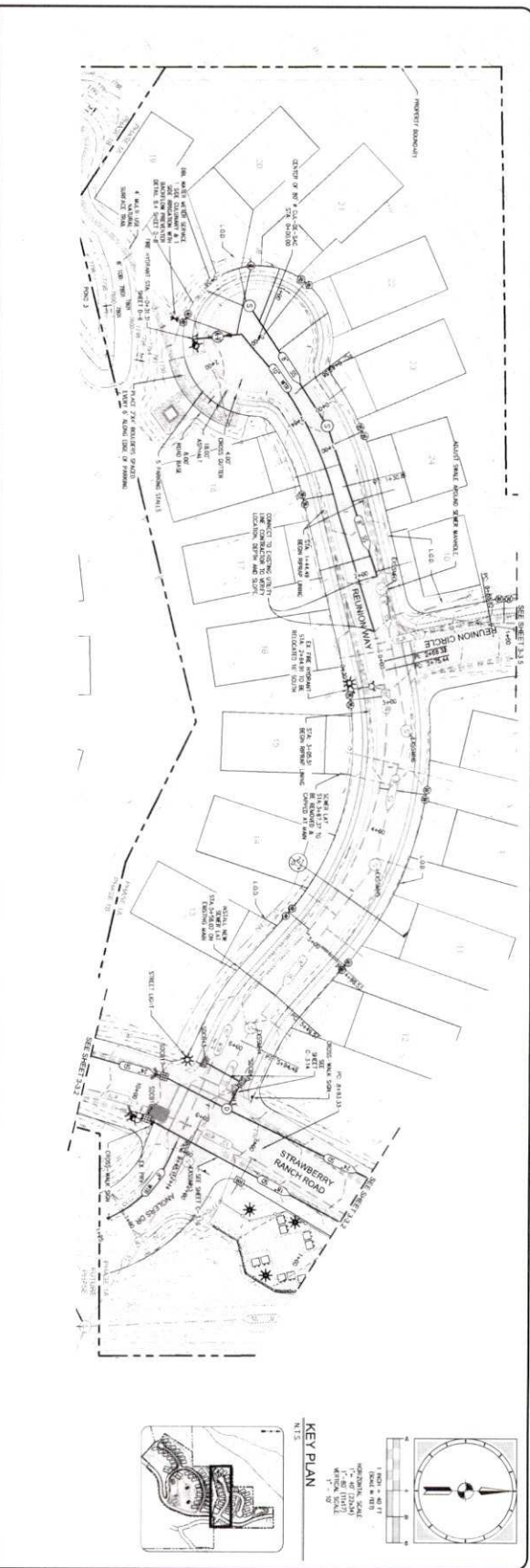
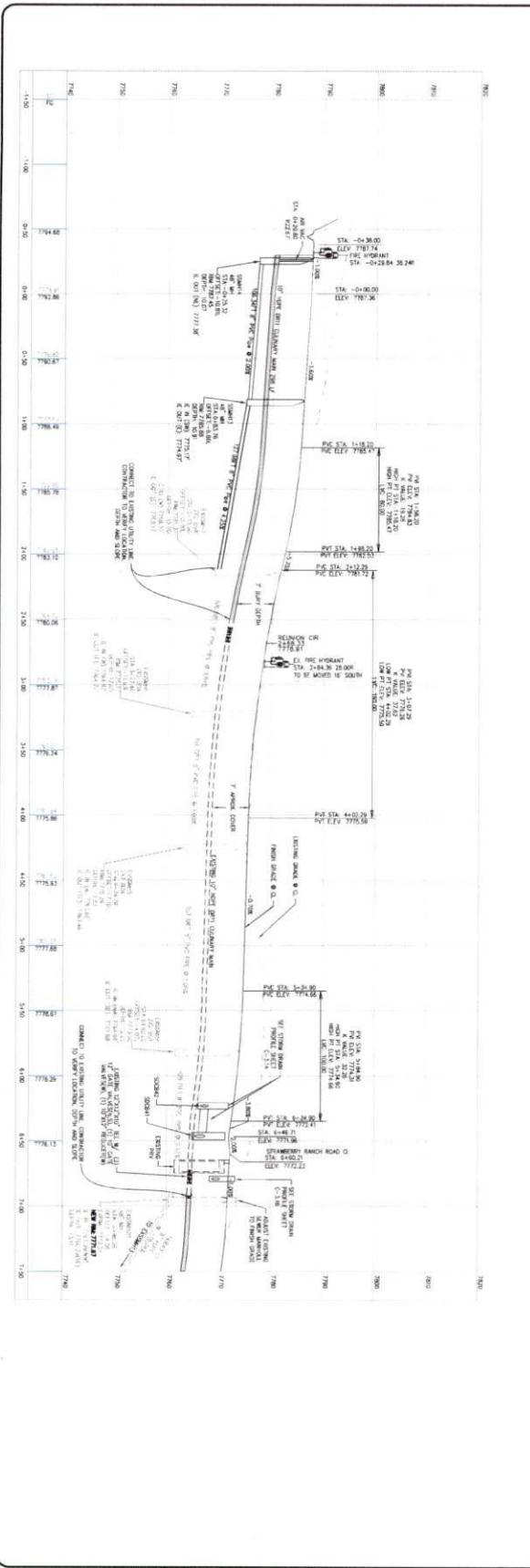
NO.	REVISIONS	DATE	BY
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HEBER CITY, UTAH 84021  
P: 435-894-9228 • F: 435-894-9221

KEY PLAN  
N 1/4 S 1/4  
1" = 40' HORIZONTAL SCALE  
1" = 20' VERTICAL SCALE





**KEY PLAN**

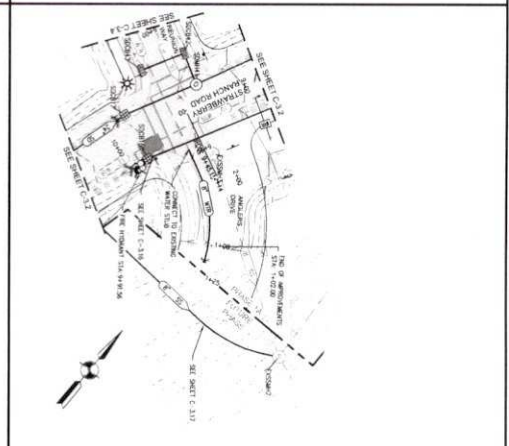
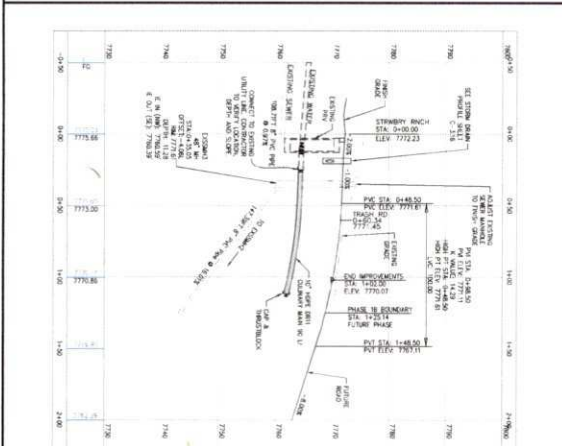
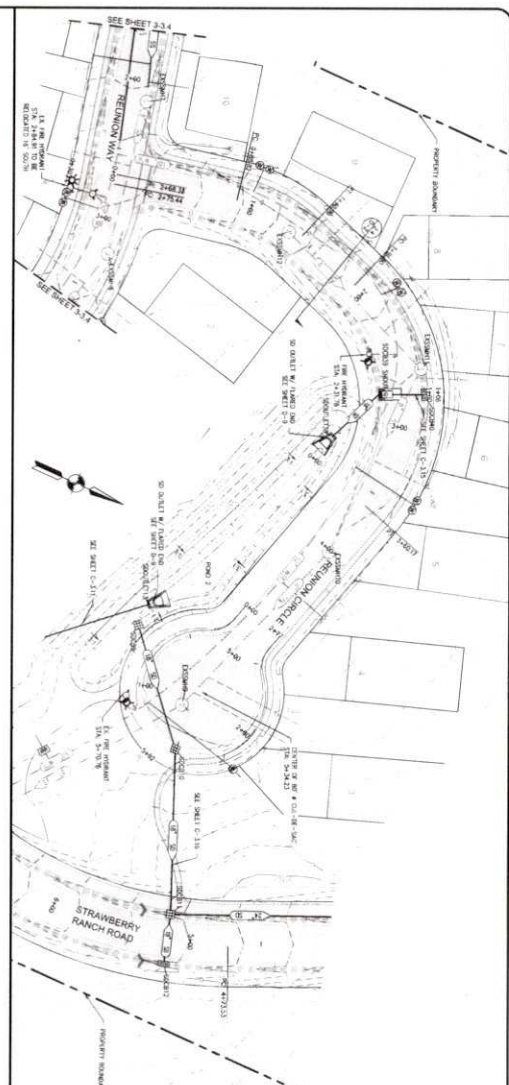
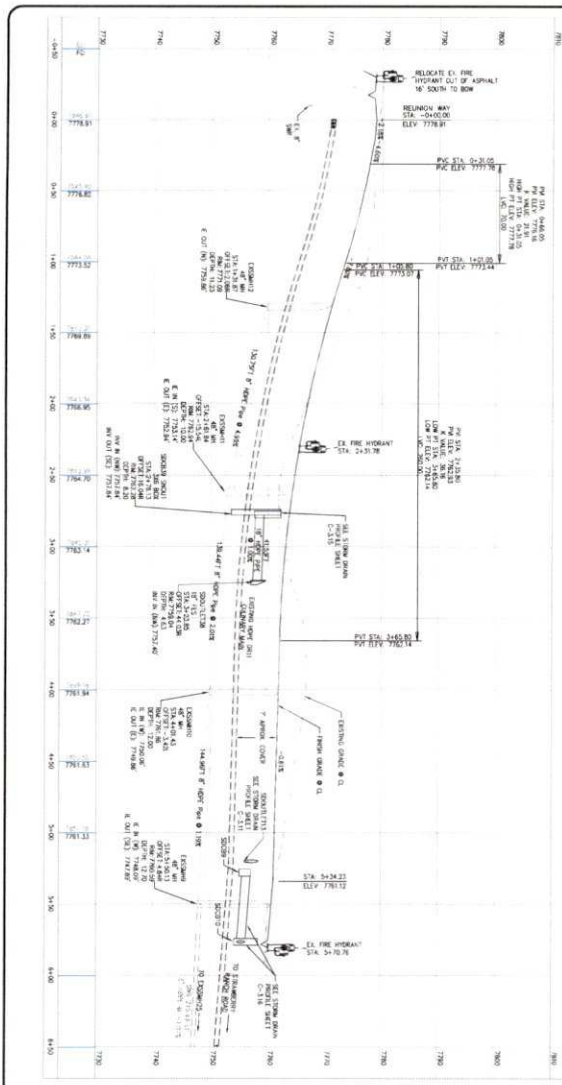
1" = 40' HORIZONTAL  
1" = 40' VERTICAL  
1" = 40' TOTAL

**KEY PLAN**

1" = 40' HORIZONTAL  
1" = 40' VERTICAL  
1" = 40' TOTAL

2: \BEG PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH C\WORKING FILES\ENGINEERING\DWG\C21-033 PP SHEETS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMB	DATE	COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 176 WHEAT CITY, IOWA 50483 P 402-854-8229 • F 402-854-9231
SHEET C-3.4	PROJECT MANAGER BMB	DATE	
PROJECT FILE REUNION WAY PLAN AND PROFILE STA 0+00 TO 6+66.67	DRAWN BY ST'S	DATE 08/22/2023	DESIGNER DATE

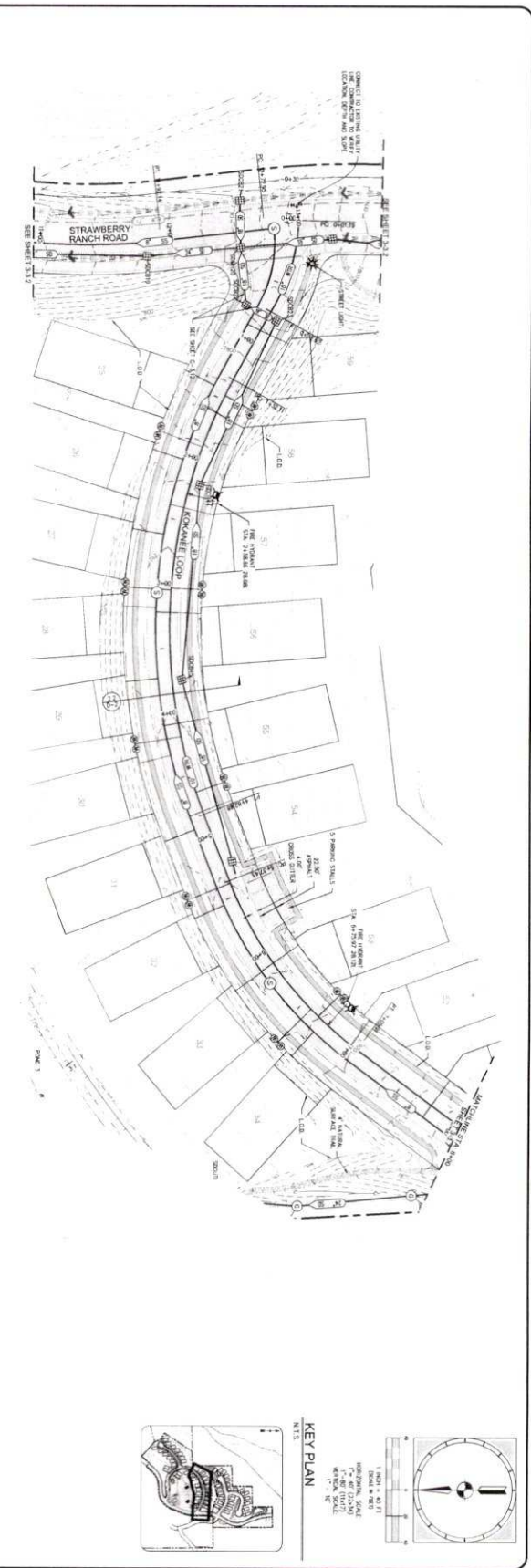
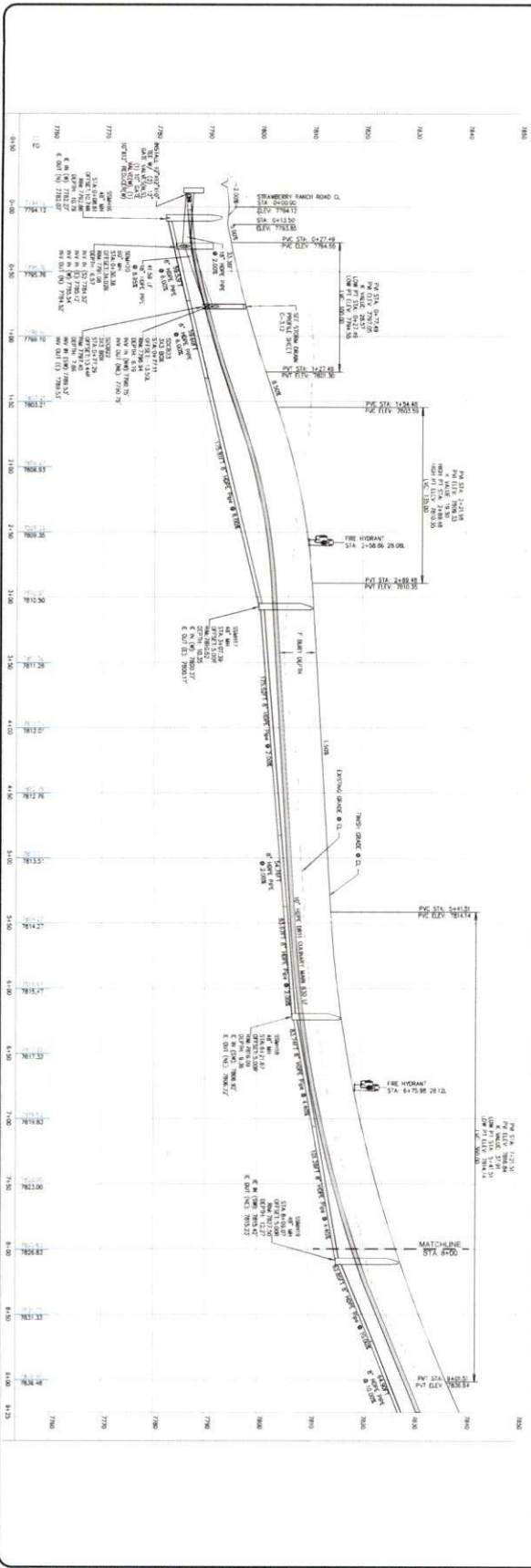


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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENR	DATE: 08/22/2023	DESIGN ENGINEER: DWL
PROJECT NO.: C21-033	PROJECT MANAGER: EMD	DATE: 08/22/2023	
SHEET: C-3.5	DRAWN BY: STS		
	REVISED DATE: 08/22/2023		

NO.	REVISIONS	DATE	BY
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 HEALDEN, CO. 80439  
 • 430-554-8228 • F. 430-554-9221



**KEY PLAN**

1" = 100' HORIZONTAL SCALE  
1" = 20' VERTICAL SCALE

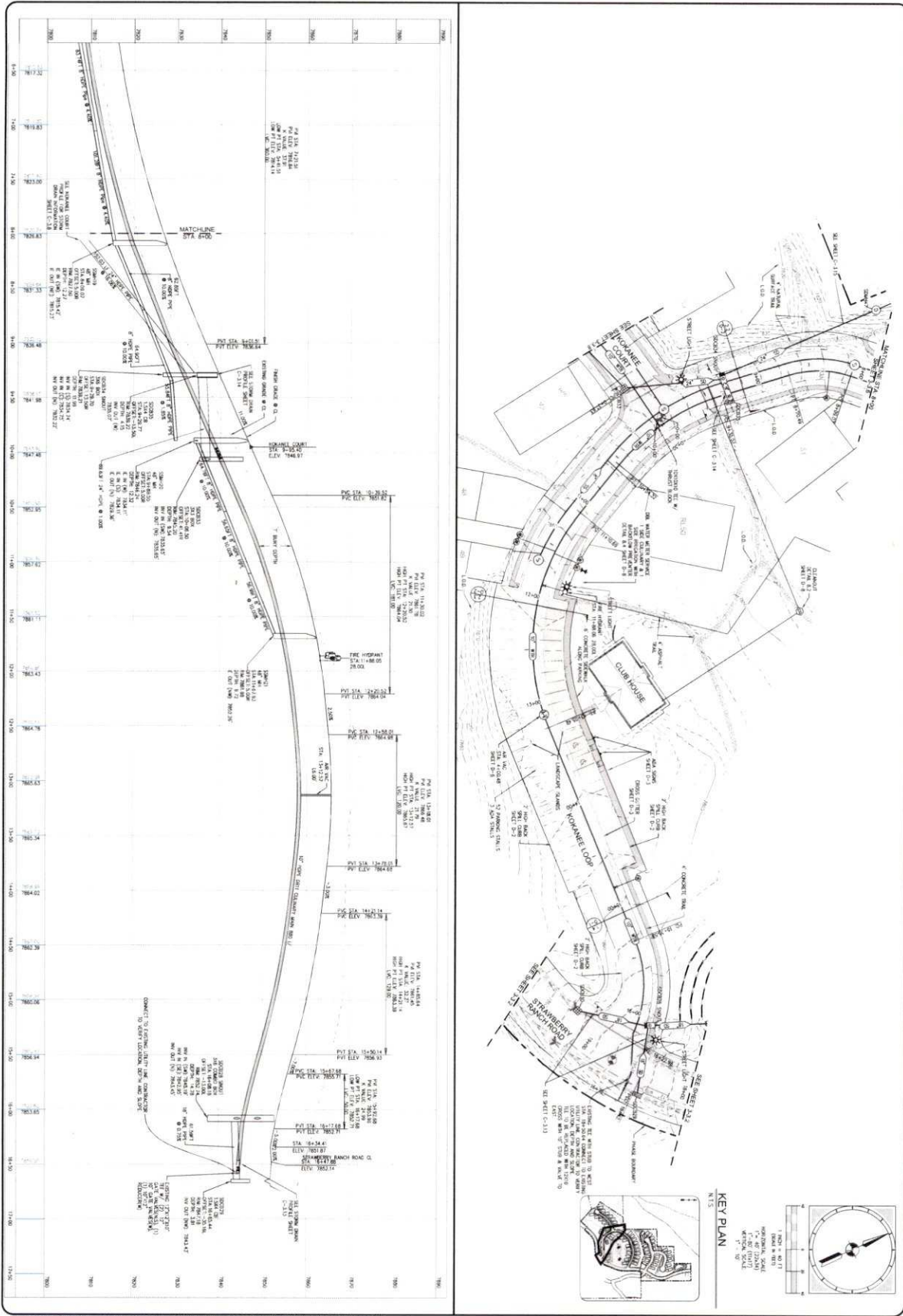
\\SBS\PROJECTS\CURRENT PROJECTS\21-033 STRAWBERRY RANCH CROWWORKING FILES\ENGINEERING\DWG\21-033-03 SHEETS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER END	DATE 08/22/2023
SHEET TITLE KOKANEE LOOP PLAN AND PROFILE STA 0+00 TO 8+00	PROJECT MANAGER END	DESIGN ENGINEER DAK
DRAWN BY SFS	REVISED DATE 08/22/2023	

NO.	REVISIONS	DATE	BY
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3. USEE PROJECTS CURRENT PROJECTS 21-033 STRAWBERRY RANCH C30 WORKING FILES\ENGINEERING\DWG\21-033 PR SHEETS.DWG

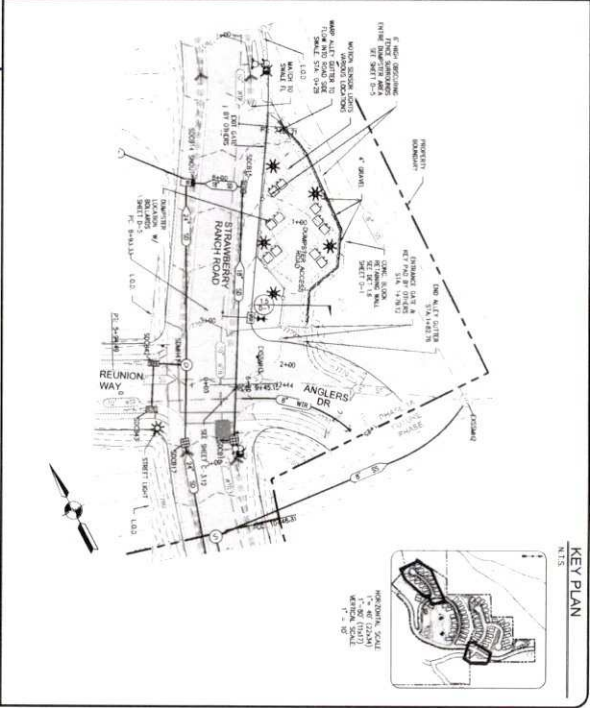
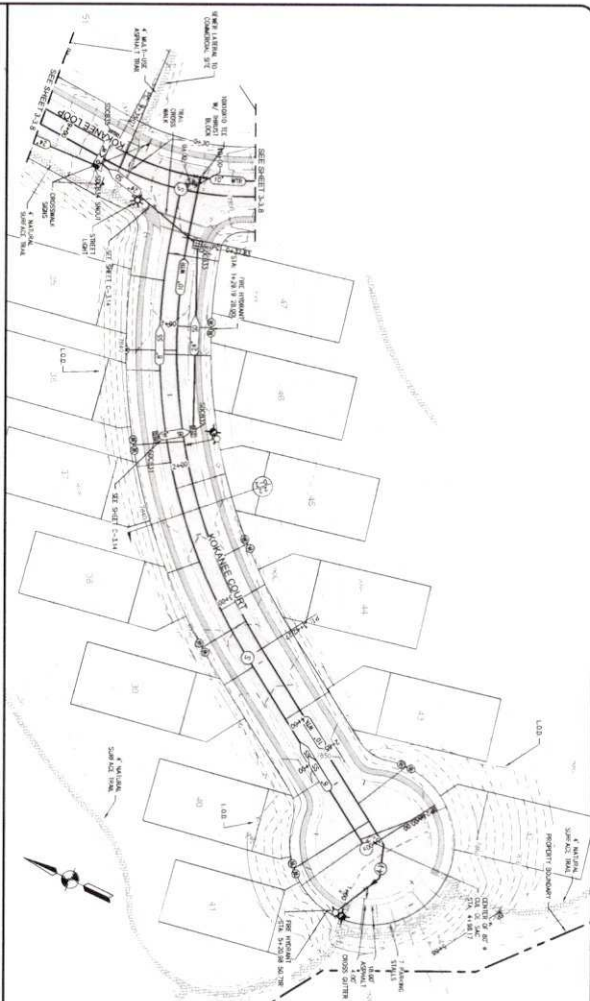
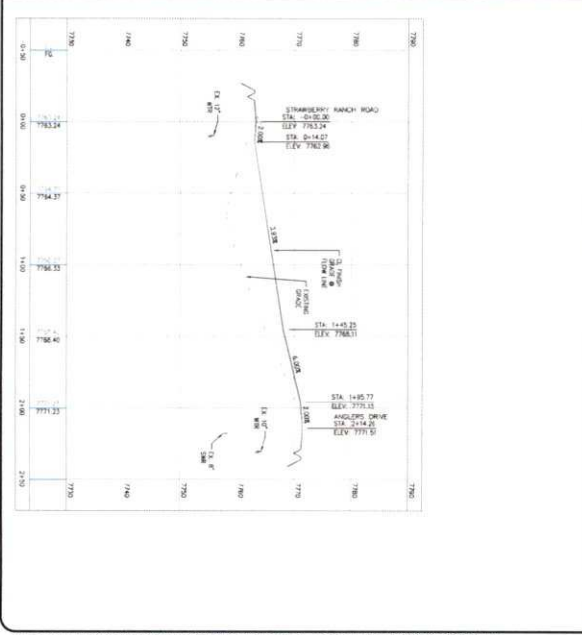
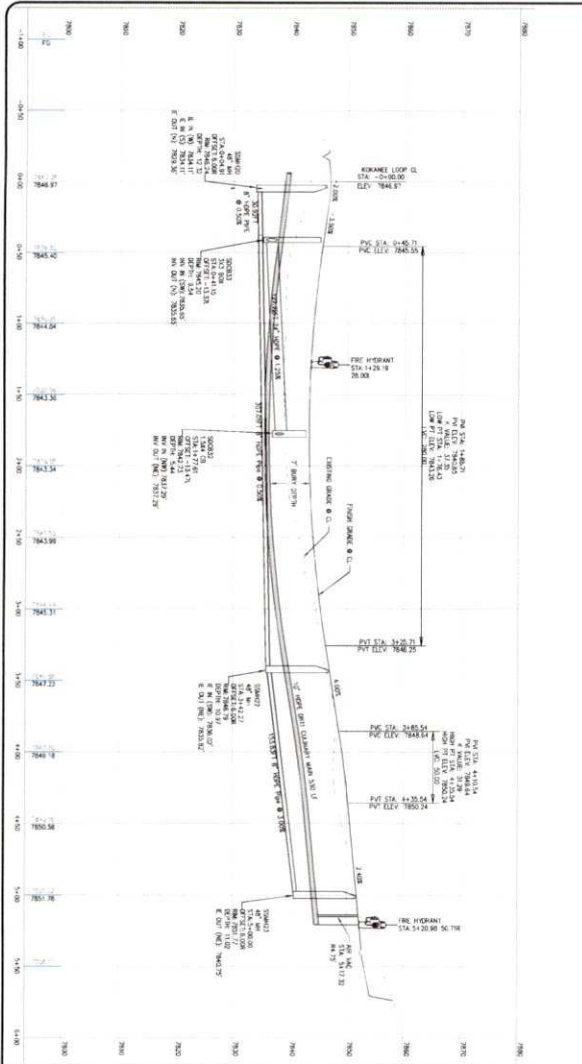
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER RMB	DATE BY	REVISIONS
SHEET FILE C21-033	PROJECT MANAGER BWB		
SHEET TITLE KOONIFF LOOP STA 8+00 TO 17+00	DRAWN BY SPS		
	CHECK DATE 08/22/2023		
	DESIGN ENGINEER		

KEY PLAN  
N 1/4

GRAPHIC SCALE  
1" = 40' (1:1600)  
1" = 20' (1:800)  
1" = 10' (1:400)

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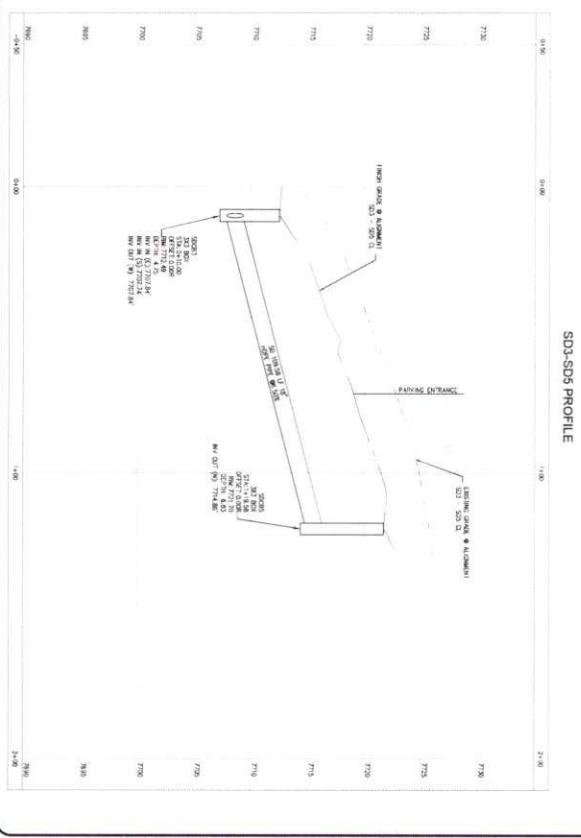
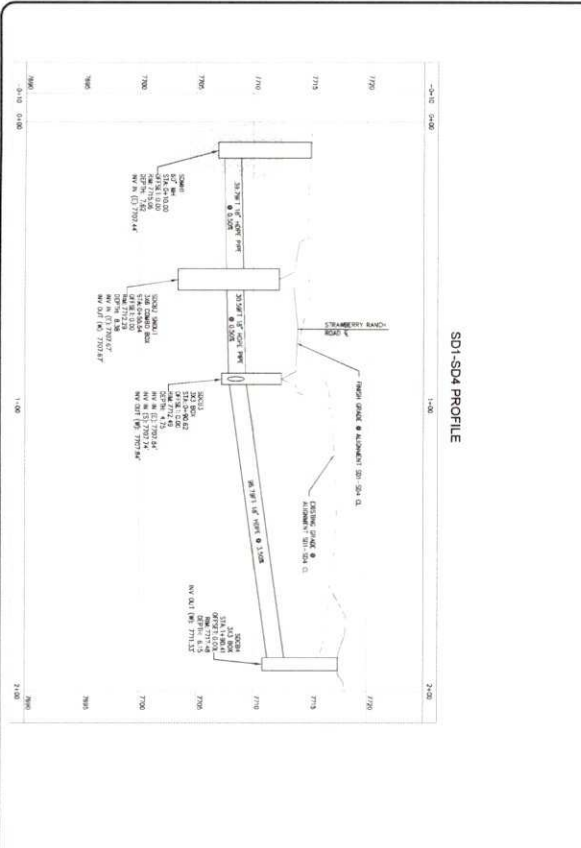
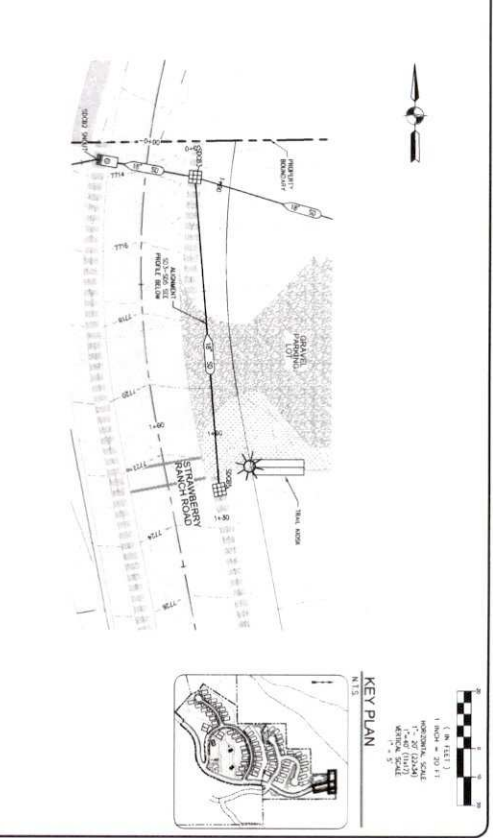
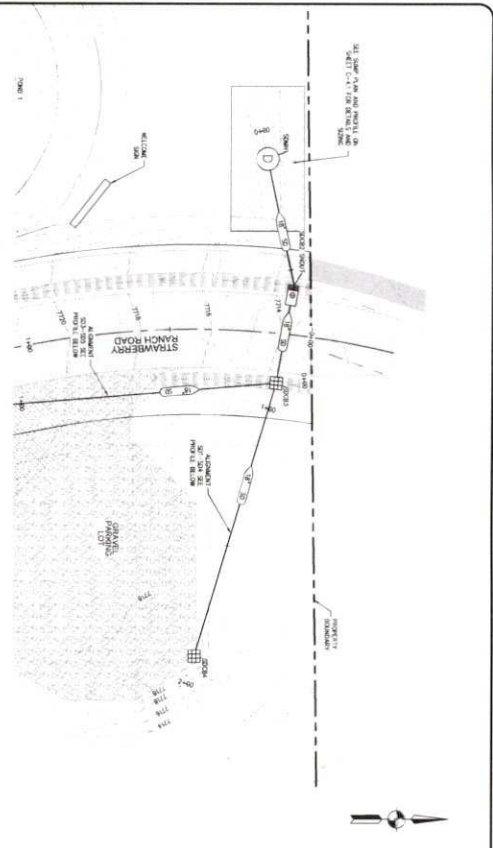
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HEBER, UT, USA 84032  
P: 435-854-6229 • F: 435-854-6231



1. USGS PROJECTS CURRENT PROJECTS\21-033 STRAWBERRY RANCH\201\WORKING FILES\ENGINEERING\DWG\21-033 RP SHEET.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMB	DATE BY	COPYRIGHT © 2011 SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 170 HEALING SPRING, MISSOURI 64601 PHONE: 417-465-5222 • FAX: 417-465-5221
SHEET TITLE KERBANE COURT PLAN AND PROFILE STA: 3+40 TO 3+50 DUMPSTER ACCESS ROAD PLAN AND PROFILE STA: 3+40 TO 3+50	PROJECT MANAGER BMB	REVISIONS	
PROJECT NO. C21-033	DRAWN BY SFS	1	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 55 WEST CENTER • P.O. BOX 170 HEALING SPRING, MISSOURI 64601 PHONE: 417-465-5222 • FAX: 417-465-5221
SHEET NO. C-3-B	DATE 08/22/2023	2	

REVISIONS	DATE BY	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 55 WEST CENTER • P.O. BOX 170 HEALING SPRING, MISSOURI 64601 PHONE: 417-465-5222 • FAX: 417-465-5221
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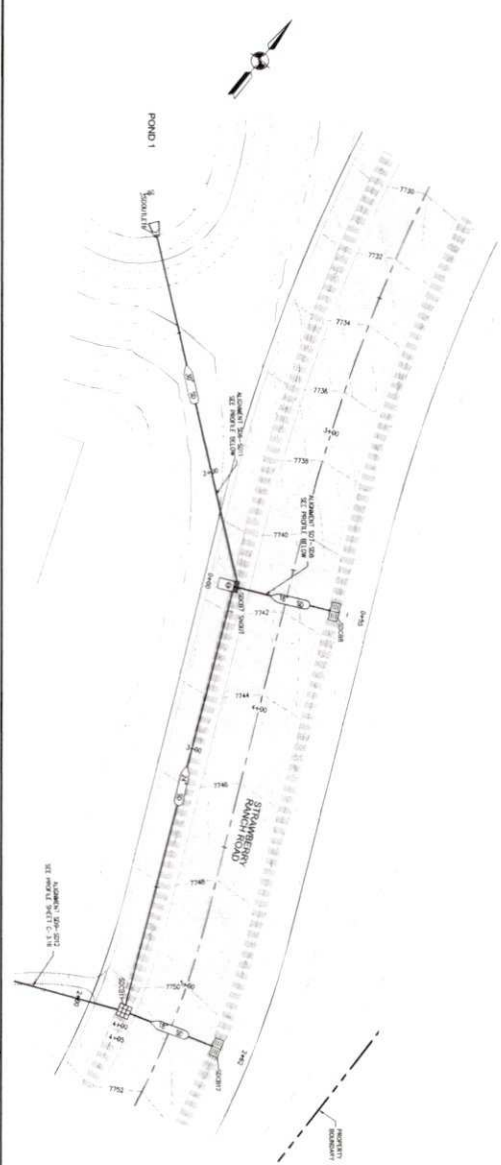
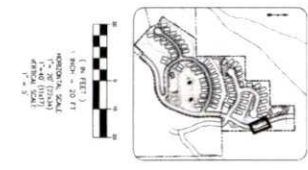


© USE PROJECT'S CURRENT PROJECTS\C21-033 STRAWBERRY RANCH CADD\WORKING FILES\ENGINEERING\UM\021-033 SD SHEETS.DWG

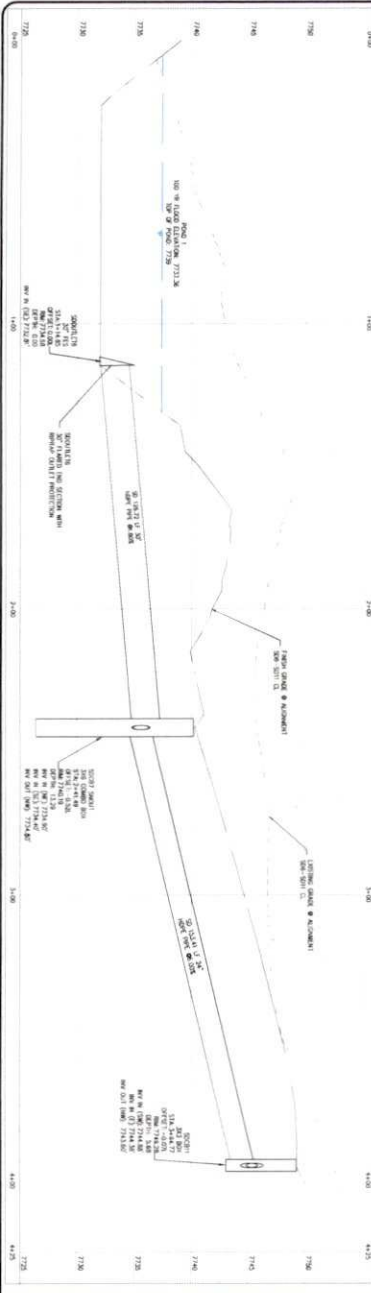
PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMS	DATE B
PROJECT C21-033	PROJECT MANAGER BMS	REVISIONS
SHEET TITLE SDM11 TO SDCB4 STA: 0+00 TO 2+00 SDCB3 TO SDCB5 STA: 0+50 TO 2+00	DRAWN BY SFS	1
SHEET C-3.9	DATE 08/22/2023	2
	DESIGN ENGINEER BMS	3
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HEBER CITY, UTAH 84054  
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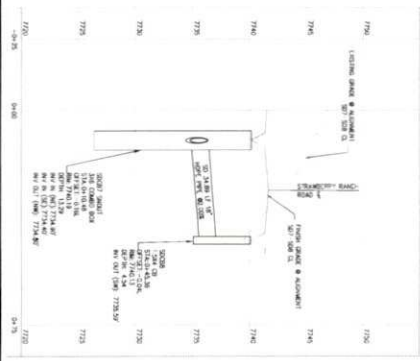
KEY PLAN



SDOUTLE6-SDCB11 PROFILE



SDCB7-SDCB8 PROFILE



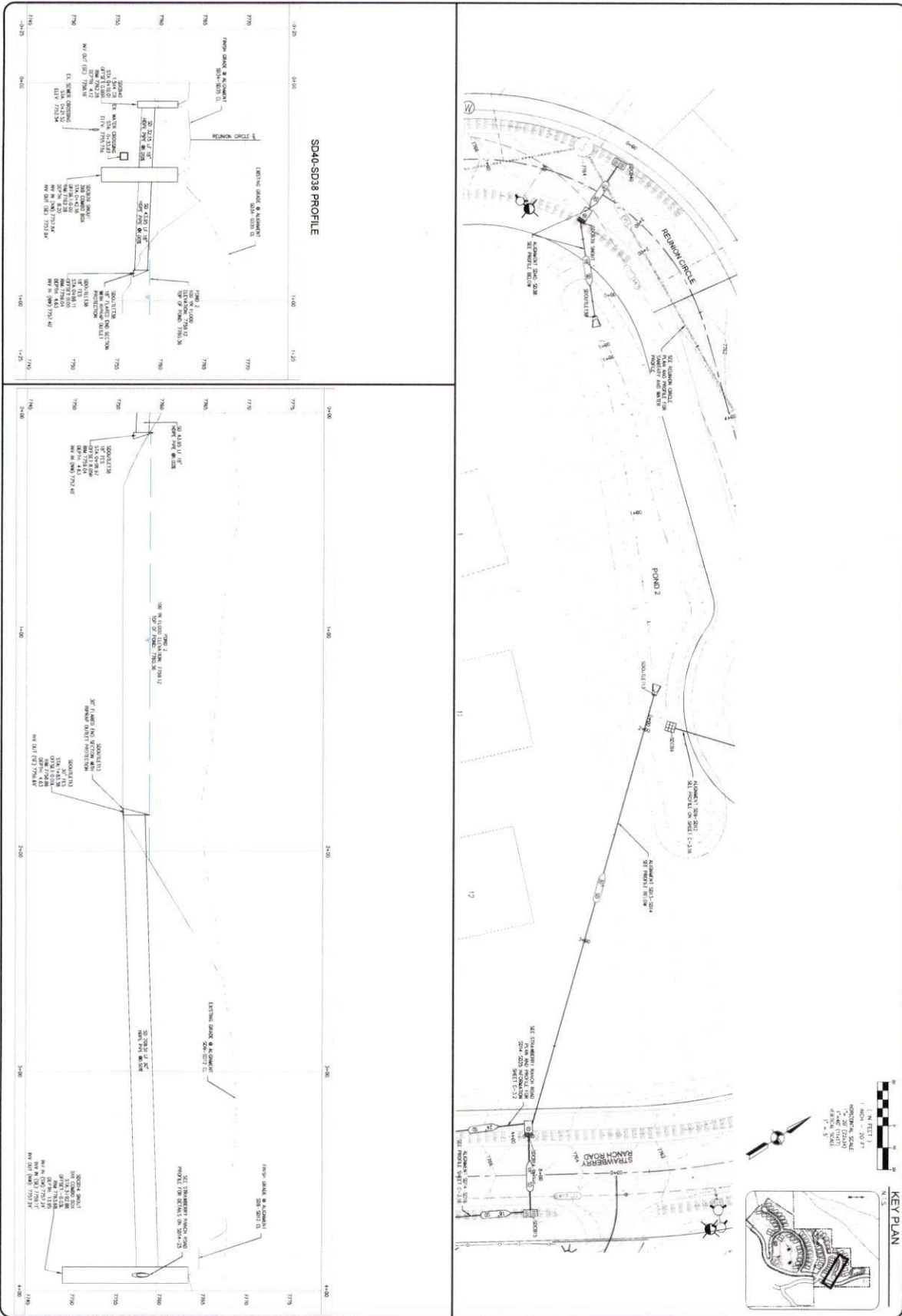
1. USED PROJECTS CURRENT PROJECTS U21-033 STRAWBERRY RANCH CSD WORKING FILES \WORKING\U21-033 SD SHEETS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER SMB
SHEET TITLE SDOUTLE6 TO SDCB11 0+00 TO 4+25 SDCB7 TO SDCB8 -0+25 TO 0+75	DATE 08/22/2023
PROJECT NO. C-3-10	DESIGN ENGINEER SMB

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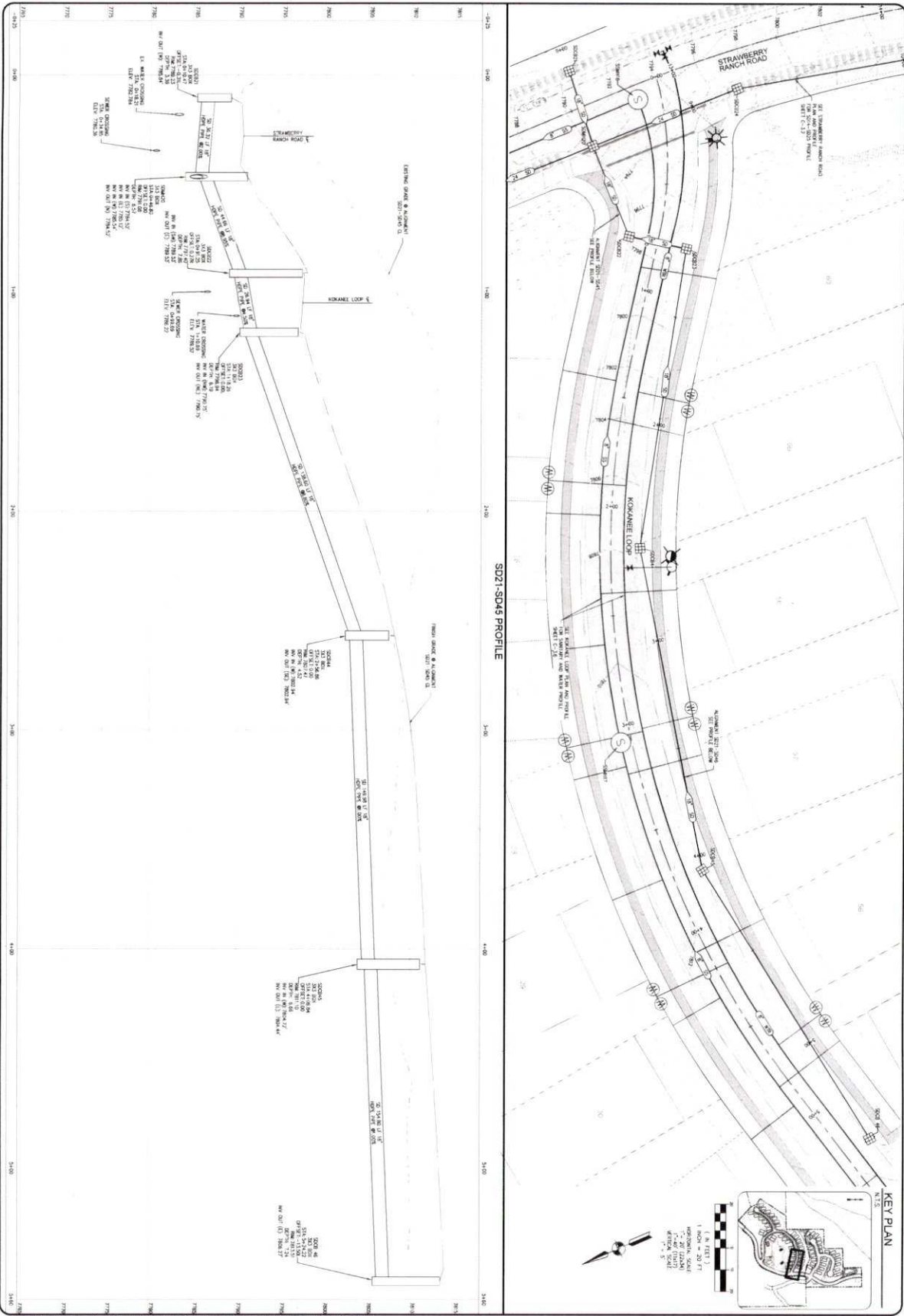




© 1986 PROJECTS CURRENT PROJECTS C21-033 STRAWBERRY RANCH C30 WORKING FILES\ENGINEERING\DWG\C21-033 3D SHEETS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMS	DATE BY	COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC.  BRUNNEN & TAYLOR IS A LICENSED PROFESSIONAL ENGINEER UNDER THE STATE OF UTAH. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY A LICENSED PROFESSIONAL ENGINEER UNDER THE STATE OF UTAH. THIS DRAWING IS THE PROPERTY OF SUMMIT ENGINEERING GROUP, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SUMMIT ENGINEERING GROUP, INC.	Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING 90 WEST CENTER • P.O. BOX 176 HERRIS CITY, UTAH 84032 P. 435-654-9220 • F. 435-654-9231
SHEET C-311	PROJECT MANAGER BMS	1 2 3 4 5 6 7 8		
SHEET TITLE SDCB40 TO SDOUTLET36 STA: -0+00 TO 1+25 SDOUTLET13 TO SDCB35 STA: -0+00 TO 4+00	DRAWN BY SFS	REVISIONS		
	CHECKED BY BMS			
	DATE 08/22/2023			
	DESIGN ENGINEER BMS			



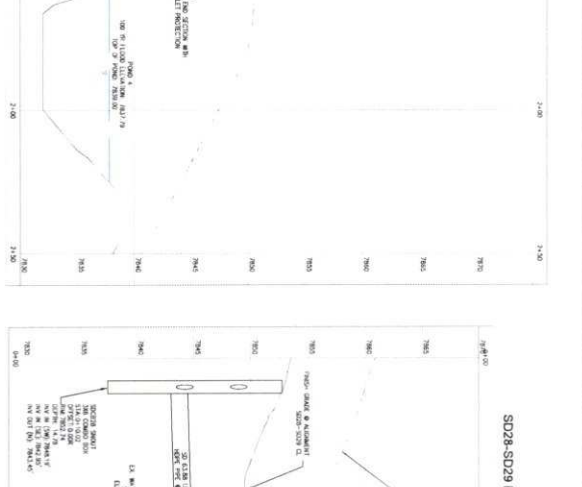
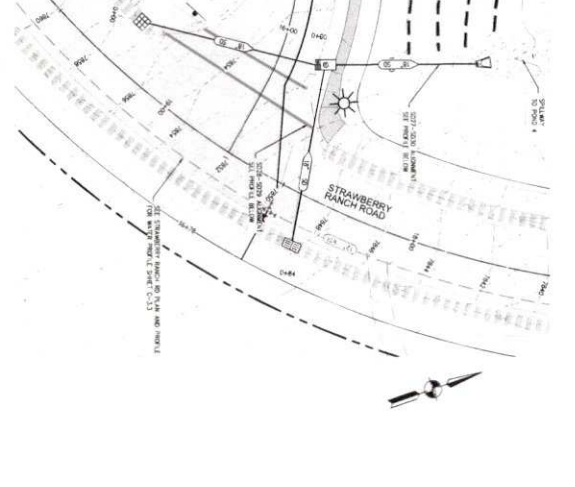
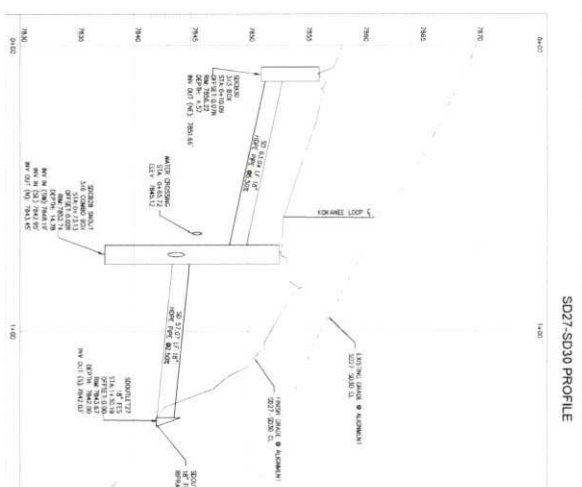
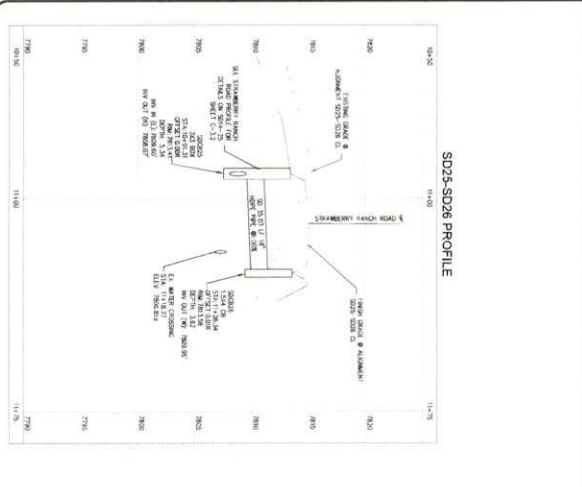
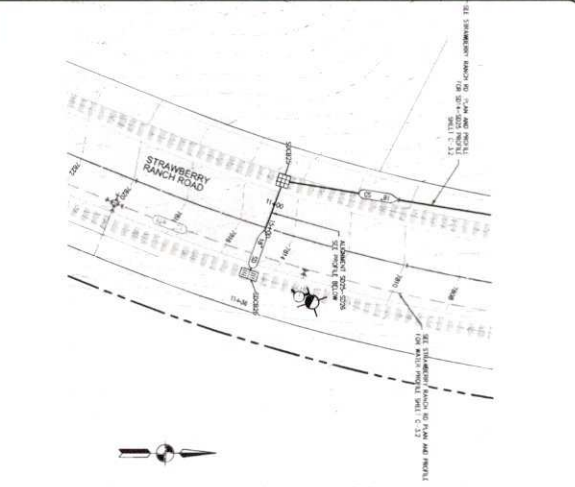


SEE PROJECT'S CURRENT PROJECTS \C21-033 STRAWBERRY RANCH\330\WORKING FILES\ENGINEERING\DWG\C21-033 SD SHEETS.CWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMB	DATE 08/22/2023	REVISIONS 1 2 3 4 5 6 7 8	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP INC.  SUMMIT ENGINEERING GROUP INC. 55 WEST CENTER ST. SUITE 170 HENDER CITY, OHIO 44832 P. 419-924-9229 • F. 419-924-9231
SHEET TITLE SDCB21 TO SDCB45 - 0+25 TO 5+00	PROJECT MANAGER BMB	ISSUE DATE 08/22/2023		

DESIGN ENGINEER: BMB



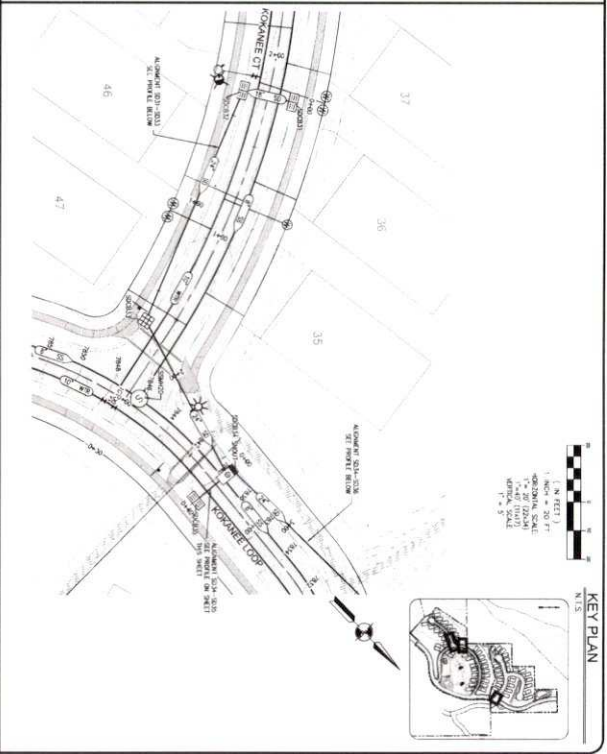
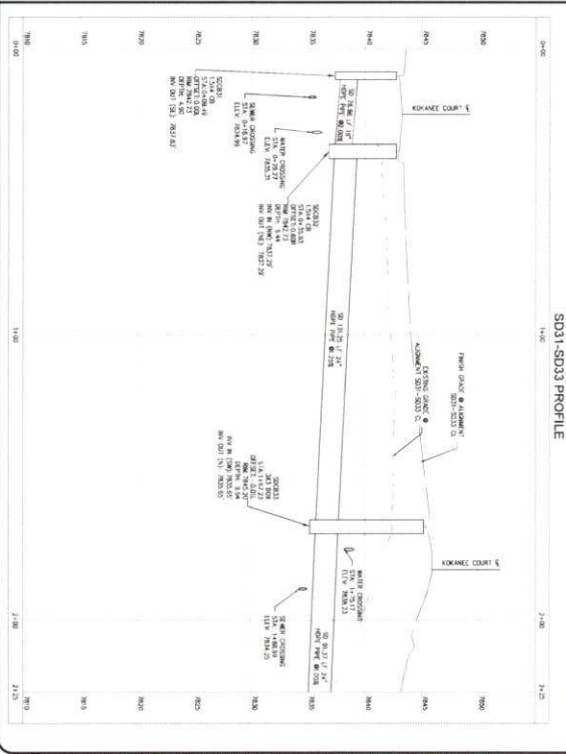
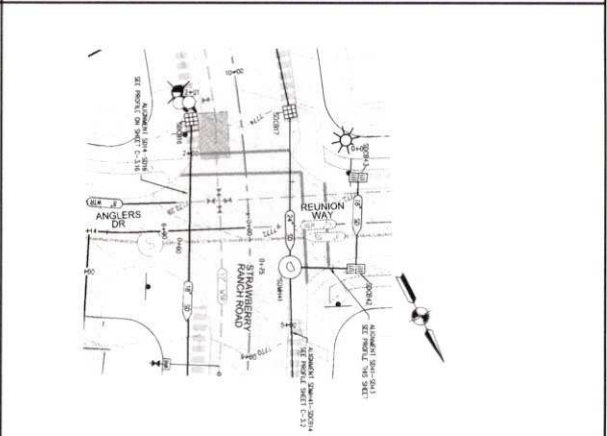
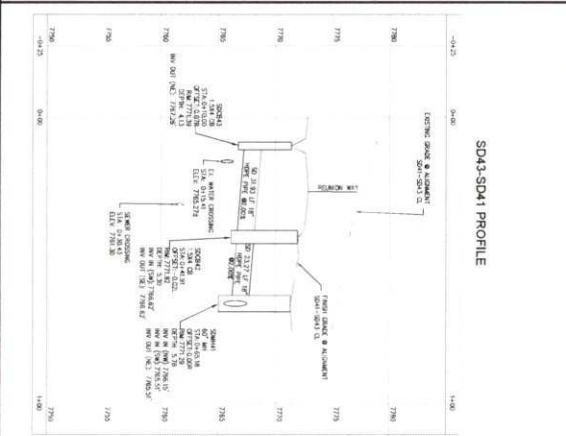
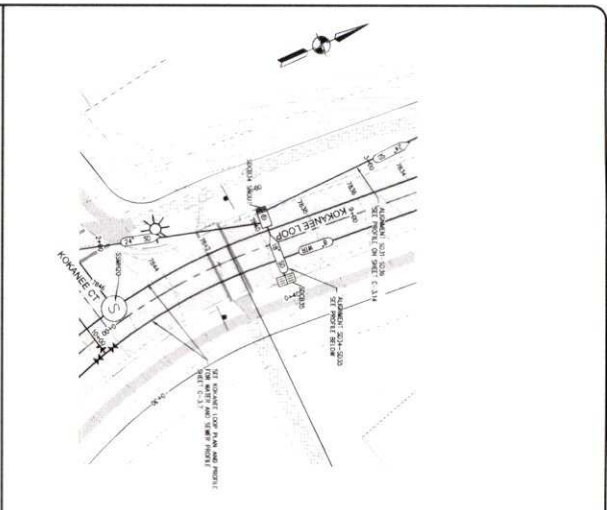
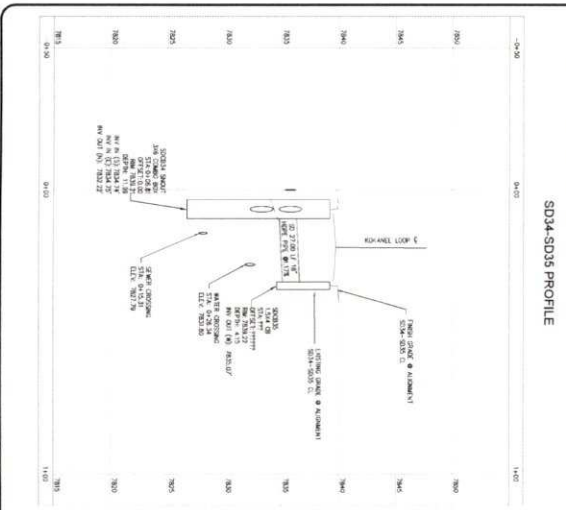


**KEY PLAN**

Scale: 1" = 100' (VERTICAL)  
 1" = 100' (HORIZONTAL)  
 1" = 100' (PLAN)  
 1" = 100' (SECTION)

2:\800 PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH\3\WORKING FILES\ENGINEERING\DWG\C21-033 SD SHEETS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BMB	DATE: BY:	COPYRIGHT © 2017 SUMMIT ENGINEERING GROUP, INC. 1000 N. 1000 W. SALT LAKE CITY, UT 84119 TEL: 801-488-8231 FAX: 801-488-8231
PROJECT TITLE: STRAWBERRY RANCH	PROJECT MANAGER: BMB	REVISIONS:	
DATE: 08/22/2013	DESIGN ENGINEER: BMB	DATE:	SUMMIT ENGINEERING GROUP, INC. STRUCTURAL • CIVIL • LAND SURVEYING 1000 N. 1000 W. SALT LAKE CITY, UT 84119 TEL: 801-488-8231 FAX: 801-488-8231



2:\SEC PROJECTS\CURRENT PROJECTS\C21-033 STRAWBERRY RANCH C20\WORKING FILES\ENGINEERING\DWG\C21-033 SD SHEET.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: EMB
PROJECT MANAGER: EMB	DRAWN BY: S'S
SHEET TITLE: C21-033	REVISED DATE: 08/22/2023
SD34 TO SD335 STA: 0+00 TO 1+00	DESIGN ENGINEER: [Blank]
SD35 TO SD333 STA: 1+00 TO 2+25	DATE: [Blank]

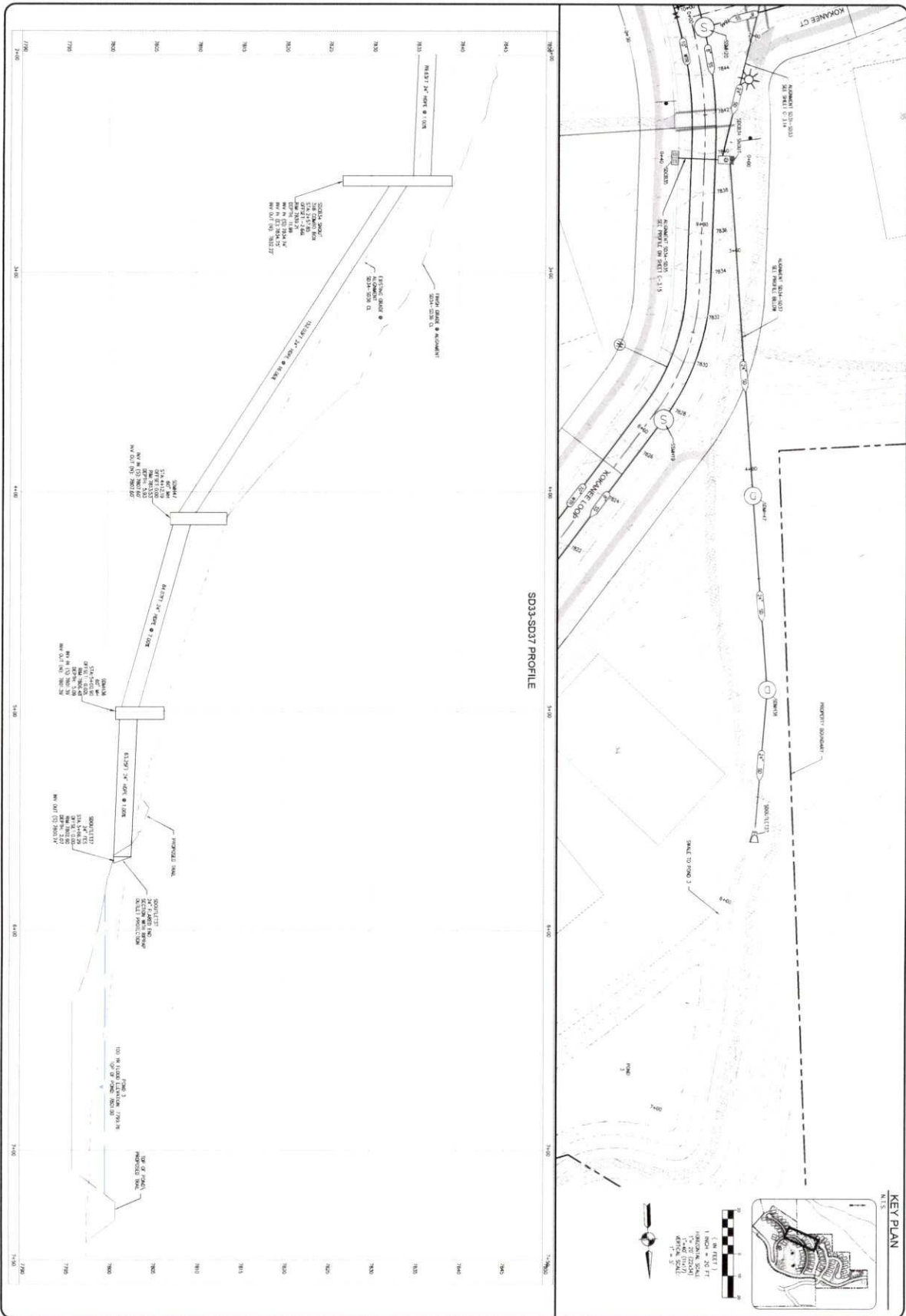
NO.	REVISIONS	DATE	BY
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HEBER CITY, UTAH 84021  
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**KEY PLAN**

1" = 400.00 FT  
1" = 20.00 FT  
1" = 10.00 FT  
1" = 5.00 FT  
1" = 2.50 FT



SD33-SD37 PROFILE

KEY PLAN

PROJECT: STRAWBERRY RANCH SHEET TITLE: SDCR34-S0CB37 2+00 TO 7+50 SHEET: C-3.15		PROJECT ENGINEER: [Blank] PROJECT MANAGER: [Blank] DRAWN BY: [Blank] CHECKED BY: [Blank] DATE: 08/22/2023	REVISIONS: [Table with 2 columns: No., Description] DATE: [Blank] BY: [Blank]	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. STRUCTURE • CIVIL • LAND SURVEYING 55 WEST CENTER • P.O. BOX 178 WEBER CITY, IOWA 50482 P: 435-654-9228 • F: 435-654-9231
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what is being asked for in this plat amendment. This project is on the southeast corner of the Strawberry Reservoir and near the Aspen Grove Campground. Forest Service Road 90 will be discussed quite a bit during the presentation and is the road that gets you out to Highway 40 and then it passes through this project and continues on farther as well.

The master plan involves four different phases. The first approvals occurred in 2012. It started with an amendment to the General Plan and a creation of an entirely new zone called the Strawberry Recreation Zone and the master plan approval. The Strawberry Recreation Zone gave a base entitlement to this overall project, which is a little over seven thousand acres, the base entitlement was 43 ERU's for the project but gave the ability of utilizing what at that time in the code was what they called a Planned Performance Development which came with certain standards but if you met these there was inherent bonus densities that would come with them. That established a new base density of 701 ERU's. Then by going above the minimum standards they would be given some options for bonus densities beyond that. The master plan was approved at 814 ERU's in total and that was across that whole 7000 acres that I showed you.

What we are actually talking about tonight is just this upper left-hand corner so the very front part of the Strawberry phase is where we are discussing right now. It came through the master plan and here is the breakdown of those 814 ERU calculations that were approved. There are rental cabins, hotel lodging, activity centers, and an RV park which makes it quite a substantial project. The items that were included that gave the bonus density for things that they were required to do and would be over and above what was standard to the code. That included the construction of a fire station and emergency services building and these are things that were agreed upon in the Development Agreement as part of that approval. Improvements to Forest Road 90 all the way to Highway 40. The construction of a road and bridge that would bypass the Soldier Creek Dam. Construction of a trail head and parking area for access to the Narrows trail and Forest Service, extra useable open space which was a minimum requirement to be 80 percent open space as part of the zone that they got a bonus density for committing that they would do 96.7 percent open space. The construction of 12.3 miles of trails for hiking, biking, ATV's and horseback, opening private land for public recreational purposes, commercial uses, resort support, retail and hotel which were a big mix of uses that would lead to transient room tax and then another mix of uses that would contribute to sales tax.

That proceeded forward and they did receive preliminary plan approval and Phase 1A has actually proceeded through and got final approval and has been a recorded plat and there are some triggers with that first plat of things that they had to do and one of the most prominent was the initial contribution of an agricultural easement. This was roughly 3500 acres.

Another one of the heavily discussed items during the initial approvals was secondary access. This definitely is in a remote location. In the Strawberry Recreation Zone there was an allowance given that one of the options for secondary accesses is that an alternative transportation plan would be presented and that the Council could approve and that would grant a modification of some of the standards. The main premise of that is that Forest Road 90 aside from the improvements that they already have to do to get to Highway 40 which are more of the full County standard improvements and they also include improvements to Forest Road 90 around to Renegade Campground which would get you around the Strawberry Reservoir and through the south end and then along the west to get back up to Highway 40 past the Renegade marina and provide a loop that way.

With regard to the recording of Phase 1A and the development agreement, that second access agreement was part of that as well. Those improvements are required to be done in order to get occupancy permits for the first unit. Phase 1A was approved. Phase 1B as you notice in the noticing language also got an approval but they did not record a plat instead the applicant is pursuing modifying both of those approvals. In order to modify 1A you have to amend a plat now since that is recorded. For 1B since it wasn't recorded it is just simply requesting that you amend that approval. We are just focusing on this upper area tonight. The plan shows the rental cabins themselves and the preliminary plan shows 700 to 1500 square foot cabin sites and were platting just the footprint of the cabin and they came in with the architectural plans and were platting right at the footprint. Now they are requesting to move to a 3600 square foot pad site. They have moved the welcome center and the store from this upper entry area down to where the activity center is and combined it with the activity center a little farther south. The Trail head moves from the west side of the road to the east side of the road, and with that they do need to provide a crossing across Strawberry Ranch Road or Forest Road 90. Modifications have been made for open space and landscaping areas.

This is the Phase 1A plat that is recorded and you can see the commercial lots that are there. With 1A they did actually include some storage units which is part of a 1C Phase but bumped them up in the phase and included them in the 1A plat and no longer planning to do that but planning to move them back into the 1C Phase if you were to approve this.

With a plat amendment comes the requirement to make a finding for good cause. Also, when Phase 1A was recorded it has been sold off to ten different property owners so one of the things with the 1A Plat is every one of those property owners needs to sign

the plat in order to consent to it. Phase 1B includes the welcome center and activity center and store that they combined and have reduced the size quite a bit and they now will have expandable area where they could add onto a building but will be built smaller.

There are a couple of conflicts in their documents that we want to make sure is very clear what their intent is. If the Council chooses to approve this because this does also include and involve an amendment to their development agreement so this does have to go to Council. The cross sections in their plans their trail plan and their site plan all differ slightly from one another. There are some cross sections that show four foot asphalt trails and some that show four foot concrete and have some include the park strip and some that don't include the park strip. The site plan talks about a four foot asphalt trail and the trail plan talks about a four foot concrete sidewalk and those were things that raised some concern. We want plans that we know what we are actually approving. But it plays a fairly heavy role into setback requirements as well. So because this is a Planned Performance Development you don't have setbacks from a right-of-way line; our setbacks are measured from the back of sidewalk. They have indicated that they would correct all of their documents and their intent is to pursue a four foot concrete sidewalk. They made adjustments to include the four foot sidewalk but review of the documents showed that there were areas where they did not comply with the twenty foot setback and the smallest one that was found was around sixteen feet as opposed to the twenty foot setback. They also need to get the adjustments to their pad sites so the setback is done.

This is a mountainous project and as part of the master plan we did send the item out for review from Utah Division of Wildlife Resources and it included a wildlife mitigation plan that they need to abide by with a development agreement that needs to be done. The County does have an outdoor lighting standard in the County and these proposed that would be used here would comply with those new outdoor lighting standards. You have to have motion sensor lighting for the dark sky compliance and for wildlife mitigation. Their landscape plan primarily the main adjustments that they make to the landscaping plan here from what was shown at preliminary and in the previous finals is a reduction in the number of trees they use and moving to a request for hydro-seed grass, sage brush mix. We are not discussing the site plan approval for their welcome center and their recreation area and don't have those plans ready and it hasn't been reviewed by the DRC all the way so we have this general idea of what they are looking to do with this but it is not in front of you for site plan approval and that would come at a later date. They also have wildland fire requirements and basically submitted a general standard plan. They have a trail plan map that they have presented. A public trail connection to the narrows trail is part of their requirements.

One of the amendments to the development agreement is because of their increase of units that they are requesting with this proposal means that the affordable housing calculation that was recorded in the development agreement as for 1A phase is off because the number of units changed and it has been adjusted for the new units. We would expect that the developer would just pay the difference in that when they come to record this phase.

This has been forwarded onto you by the DRC. Most of the comments that you see there are related to those two key items that I mentioned to you before the discrepancies in the plans such as concrete sidewalks or asphalt trail or setbacks and the rest of those are updates to make some adjustments like to the landscape plan or addressing a geotechnical issue.

Austin Corry then went through the potential findings:

1. The density being proposed is consistent with what was approved in the original master plan and preliminary plan. It should be noted that the approved density numbers have been reduced from the master plan approval at the applicant's decision in Phase 1A to no longer pursue bonuses associated with providing LEED compliant design features.
2. There is a development agreement recorded that establishes the project vested approvals such as density, on and off-site improvements, open space requirements, access, etc.
3. The Development Review Committee has reviewed the project and forwarded the item for decision with a list of comments/concerns noted in the DRC report.
4. Per the DRC report, the requirements of the SRZ and Planned Performance sections of the code can be met with conditions and addressed in the development agreement.
5. The preliminary plans included review from state agencies which are included in the development agreement.
6. The applicant has proposed an amendment to the affordable housing obligation originally calculated for phase 1A. The proposal follows a similar procedure as the initial analysis, but increases from 0.65 AUE to 1 AUE after employee calculations increase by adding the proposed phase 1B which includes the activity center.
7. The proposal decreases the amount of commercial ERU's presented in the master plan.
8. The commercial ERUs shall be consistent with the master plan throughout the development and the commercial ERUs in phase 1A and 1B may be increased consistent with the master plan with proper site plan approvals.  
--The applicant has indicated that the commercial ERU's can be increased later without need for a plat amendment.  
(Commissioner Mark Hendricks replied, why are we making a finding about what an applicant has indicated to us?)

Austin replied that the reason why is I think it is important that we at least note. If you chose to approve it the master plan approval included a significant amount of commercial space. Phase 1A platted a portion of that and now they are coming in and asking to amend the approval but they are going to decrease the amount of commercial. Because the commercial was tied so tightly to the bonus density and part of the whole approval I think it is important to note that they are indicating they intend to increase that and get it back up. Commissioner Mark Hendricks replied that what we are missing is the word elsewhere. Austin Corry replied, not necessarily, so what they suggested in that welcome center store and right now they are going down to twenty-eight hundred square feet foot print. Commissioner Mark Hendricks replied if they are tied together it is either they will do it or it is we have eliminated that requirement saying oh yes we can do that, somewhere we can do that. Austin Corry replied that I understand what you are saying. Commissioner Mark Hendricks replied that if it is important enough that a bonus was granted as a result of the commercial then should be held to live up to their settlement. Austin Corry replied that is a fair question and I think that is one you will need to consider as you are considering their request to amend this.)

9. The application is for subdivision approval only and does not include a site plan review.
10. The submitted plans contain errors or omissions related to setbacks, sidewalks, and road cross-sections. The staff has provided an analysis based on a commitment from the property owner that the setbacks will be corrected and that the construction plans will include a four foot concrete sidewalk and five foot landscaped park strip in compliance with the engineering standard cross-section approved with the preliminary plans.
11. No public or private roads are being vacated as part of this plat amendment. As represented by the applicant, the only portion of the public road being altered is in the modified final approval request of phase 1B where a plat was not recorded.  
--That Strawberry Ranch Road that runs through is the only public road that runs through there. They are maintaining that alignment through this. Through the 1A portion they have modified the alignment through 1B but it wasn't platted.
12. Good cause for the amendment exists in that the proposal facilitates changes to rental cabins being proposed with an updated product determined to be acceptable to the County. The densities proposed, although higher than the original Phase 1A plat, are within the approved densities of the master plan approval for the Strawberry Phase.
13. All owners within the existing phase 1A plat have provided a consent document for the developer to proceed with the request.
14. The proposal is consistent with Utah Code Section 17-27a-609.
15. The County determines that the proposed final plan includes only minor inconsequential changes from the approved Preliminary Plans and can be approved with conditions.

Austin Corry then went through the potential conditions:

1. Prior to final plat recording or any engineering construction permits, the amendment to the development agreement will need to be signed and recorded.
2. Prior to plat recording or any engineering construction permits, DRC conditions related to building pad location and conflicting documents related to the street cross sections and site plan must be resolved to ensure adequate setbacks and building separations are met.
3. Prior to plat recording, cost estimates and a cash bond or letter of credit must be provided for all improvements necessary for issuance of a building permit. This includes, but may not be limited to, culinary water, power, propane system, sewer system, fire flow, and hard surface roads, etc.
4. The additional fee-in-lieu for affordable housing shall be paid prior to plat recording.
5. A notice of interest shall be recorded on each lot/unit stating that the main access can be closed at any time, for any length of time, and if so, only the seasonal access will be provided. The Notice of Interest for each lot shall be required to be recorded prior to issuance of a building permit and evidence of the recording submitted with each permit.  
--Austin Corry replied that he didn't go into a whole lot of detail on that one and I don't know how much you want me to go into but that is primarily related to that alternative access plan and the County accepting this substandard, if you will, road that would get you to Renegade Campground, the limitations of access over the Soldier Creek Dam from the main access so just making it very clear on the plat that this is a seasonal resort cabin community and not a permanent residency that you would expect access like normal.
6. The improvements and directional signage for the emergency access out to the Renegade Marina will need to be done prior to occupancy of the first unit. Necessary improvements are to Forest Service standards. Prior to the first occupancy permit, an inspection by the SSD, Forest Service, and developer should be done and improvements made so that a two-wheel drive vehicle can use the emergency access. Signage should be clear to direct people out following the shortest route.  
--Austin Corry replied that I will note that is verbatim in the Development Agreement. That conditions is just carried across verbatim from the Development Agreement.

7. Consideration should be given for other emergency evacuation options i.e. helipads at key locations, snow coaches, fire shelters, grooming of the Devils Notch Road and road to Highway 6 for second accesses as shown in the emergency evacuation plan.  
--As they move forward through this we would want them to consider that.
8. A final site plan application will be required for all commercial uses, including the reunion lodge, and for the open space and amenities. Review of those applications will require the Planning Commission to find that the proposed commercial uses are appropriate for the development and will fit in with the surroundings and open space as per 16.29.03(B) (2012).
9. Any agreements with the Bureau of Reclamation regarding the crossing of the dam are to be provided by the applicant to the County to ensure conditions and expectations of the outside review agencies are clearly understood by all stakeholders.
10. Future phases will require the applicant to coordinate with the BOR and State RDCC.
11. Any conditions/concerns noted in the DRC report shall be resolved to the satisfaction of the DRC members prior to plat recording.
12. All owners within the phase 1A plat will be required to sign owner's consent on the plat.

Commissioner Mark Hendricks indicated that in Condition No. 6 you have taken that from the prior agreement but can we change should to shall? Austin Corry replied that I think I worded it just because that is how it is and shall is more bearing than should. Commissioner Mark Hendricks replied that is kind of critical to the whole access thing and somebody is going to have to go and make sure it is compliant. I would recommend to change that to shall personally.

Commissioner Mark Hendricks had another question. What is the nature of the road improvements that are being discussed and is it FR 90 Forest Road 90. Austin Corry replied yes. Is there a concern about driving over the dam? Austin Corry indicated that they do cross the dam right now so they need an agreement from the BOR to be able to start recording or getting building permits where you are increasing the number of people that are going to cross that dam. As part of the requirements and process they have to build a bridge to bypass that dam so that you are not getting people crossing over but there is kind of an interim idea you need to get the BOR to say it is okay now and now you also have to bypass it for the full build out. With regard to Forest Service Road 90 is the way the development agreement and the alternative transportation plan was agreed to is their trigger points as the pads come through so it is basically every hundred ERU's there is a new upgrade and a new standard that they have to bring things up to so it is kind of a modular idea. It is not paved all the way right now.

Commissioner Wendell Rigby asked if there have been agreements between the developer and the fire department as to exactly what it is that they are going to provide when it talks about a fire station. Austin Corry replied that it is probably more appropriate to ask the developer that question. I can say their plans do show the anticipated location. That is not within this phase but they are showing where their discussions have led them to so far. How big the station is and how all of those type of details I don't think has been completed yet but the applicant can address. Commissioner Wendell Rigby asked, what is a snow coach? Austin Corry replied like a snow cat but the developer can tell you more.

Commissioner Doug Grandquis asked about the density issue because some conditions have changed the commercial, the LEED, has that been addressed here? Austin Corry replied the LEED's thing has so I included that in the findings just so it is clear. At preliminary, as they went through and evaluated the density bonus that was granted for the site, one of the things that can contribute to that is providing a LEED energy compliant standard, requiring each building to go through and get their LEED certification or whatever the standard might have been. In preliminary it was indicated that they would not be able to meet those standards so they pulled that out of the density bonus. The commercial commitments that they made at preliminary were part of the density bonus that they were granted. Commissioner Doug Grandquis asked, with regard to the commercial are they reducing the density? Austin Corry replied that is something you would have to debate. This is a large Master Plan so there wasn't anything in the master plan or preliminary that suggested what phase they would provide all of that commercial in, but it was clear that they would provide and gave a total square footage but not necessarily broken down by subphase. Commissioner Doug Grandquis indicated that it says the power is going to be by propane and that doesn't seem to be energy wise. Austin Corry replied, the developer could probably give you better details. Commissioner Doug Grandquis asked about the water. Has there been any resolution to that issue? Austin Corry replied that they are limited to the amount of irrigation that they can apply to the site. They don't have all of the water initially but they would have to have it to get to the final approvals and the applicant can give you better details regarding where they are in the process of obtaining more water for the future. They do have the water rights sufficient for what they are asking you about right now.

### Applicant



Burke Roney, the applicant and the majority owner of the project, addressed the Wasatch County Planning Commission and then gave a history of the project. The project is approved and we have the development agreements in place with the County, the special service district, and with the fire district. We fully intend on abiding by all the development agreements in place and have always been committed and never fought on anything that the County has asked of us. The same thing here we are going to abide with the inquiries that Austin has asked for. We wanted to relocate the storage units away from the entry gateway of our project. We are planning on moving it a few hundred feet away in a different canyon that the public doesn't get to see and the owners and the resort guests won't see it hardly at all. We wanted to enlarge the size of the lot pads and would amend it to be 3600 square feet which would make it better for vehicles to be put under cover. We are reducing the cabins to fifty-nine in the same acreage space. The last thing we wanted to do is combine the welcome center and the convenience store with the adventure center, because we found out we needed to do a retention pond below where the adventure center was and it makes sense to move everything up kind of to the Village Center and put all the commercial elements in the same place and not bifurcate ourselves. That is it. That is all we want to do with these changes. There are some complexities about it because it appears that we are reducing commercial and comments that were made concerning that but we are not doing that but deferring it to the right place. The reason why we are doing the commercial the way we are wording it is because we would like to phase it and build something simple and get us initially started. We want to be able to add to it and we want to do something that is expandable, that is why we wanted to say that don't make us build a 10,000 square foot or 20,000 square foot building today, but let us build a 3500 square foot and give us the ability to add other things.

Commissioner Mark Hendricks asked, that you will eventually do it? Burke Roney replied, absolutely. We want commercial but it needs to be put in the right place. Todd Cates, representing the applicant, replied that we are already required to do all of these things in the development agreement. Burke Roney replied, that was approved on the day we did this for 814 and that is how much water we had. We were pre-approved for 1234 units if we acquire additional water. I know where to get the water and have acquired all the water for the project. Nothing has changed since our original intent for this resort. We want a family friendly resort and want to be very inclusive and everything down by the lake is pretty much intended to be very inclusive for the public. Also we are not required to do a bypass road that was considered early on, and later on that was taken away as a condition. Maybe it is still there as a possible bonus density and maybe that is why it is still listed there but it is not a requirement and we can confirm. We have people to help us with that if we need some historical memory. Also with regard to Condition No. 6 and it was removed and probably need to correct that. The approval tonight the County Council will help us with that issue and whatever that will be we will abide by it. Also I don't want the word shall on that. When we went through this process it was suggested and accepted on our transportation plan that we would have alternative accesses and an alternative plan including snow coaches, etc. We are going through the process and have met with the Forest Service and went on site and did all that and in the end they said this is great, but you can't tell us what to do and you can't mandate that somebody to make sure that our roads are maintained and increased. We were willing to comply but the Forest Service said that is not the County's call and we are not sure we want it improved. That is why we are considering not saying "shall" if I had my way I would say "may". Commissioner Mark Hendricks replied that at the end of the day it is your prior agreements is what is going to control.

Commissioner Wendell Rigby asked, what discussions have you had with the fire department? Burke Roney replied that we have a full development agreement signed in place with the fire district. Ernie Giles indicated that we would like to have the fire station down more towards the lake and would you consider this and we said that absolutely. We have a full development in place that says with each subsequent phase that we do and we come in and review with the fire department the plan. As far as the road from the County and it is in the development agreement and the transportation plan and we have a full phasing plan for that when it occurs after one hundred ERU's we fix the worst mile section of that road and widen it and even that has some latitude. It is by agreement and it is in there and we will follow it and it is in seven or eight phases. It is very clearly identified where we are at. Four or six hundred ERU's we have improved the road all the way in as much as the County will want us to do that.

Commissioner Doug Grandquis asked, why did you go with the propane generators? Burke Roney replied that we are going to comply for right now and that is not our long term plan and we will have a centralized propane system with a battery component. We have longer term plans that are much greener and more enjoyable than that. We are very excited to go forward and build this.

Todd Cates, representing the applicant, presented a Power Point via Zoom from Spain and addressed the project. Todd indicated that with regard to fire there is a specific emergency services plan and it has a phasing plan as well that provides for a temporary structure and then into a permanent structure. Austin Corry has done a great job covering most of our stuff. We plan on complying with everything that Burke Roney has indicated because he has done a good job explaining why we are asking for this amendment. There is no issue on open space especially at this early stage. We are in good shape when it comes to Good Cause being granted. We are just moving commercial from one plat to another. We are moving the storage facilities as Burke has indicated. We will have a cluster of homes so there will be a better open space and better usage for the open space. With a more centralized commercial center, it is going to improve the access and the movement between the homes. It makes more sense to phase those in.

With our engineer, we have gone through and all of those setbacks have now been fixed. We have twenty foot setbacks between the buildings. With all the issues in the staff report regarding the plat amendment we are totally in agreement with those and have no issues and a lot of them are covered in the Development Agreement and they don't have to be discussed. Another change that I would ask for is in Condition No. 5 and the development agreement should be matched for that conditions and the development agreement specifically says that the main access can be closed at any time and for any length of time and the secondary seasonal access can be used. That would be my request at this time.

Jon Woodard indicated that he wanted to explain my understanding and correct me Austin or Todd and the main reason that the main access can be closed at any time and it is not at the developer's discretion it is because you are going across the dam that is controlled by the BOR and we are just acknowledging that reality that dam may close at any time. Todd Cates replied that we have had discussions just recently again with the BOR and wanted to make sure that was still on the plat. It can be closed at any time and if it is being closed is generally done with plenty of advanced notice for everybody and generally not very long but just a few hours at a time but they have the right to close it whenever they want for repairs or things like that.

Austin Corry asked one question to Todd, just for clarity on your questions about number five is it because this one says "will be provided" and as far as I can tell the difference is between "will be provided" or "can be used"? Todd replied, let me look that up. Commissioner Mark Hendricks replied that all of this can be resolved by indicating compliance with the Development Agreement. Todd replied, yes that is right, Austin, the difference was it said only the seasonal access "will be provided". Burke Roney replied that I agree with Commissioner Mark Hendricks, if we are complying with the development agreement it is all stated in there. The difference being is that the development agreement actually requires to provide year round access. The deed says this is seasonal and no County services are provided and a secondary home and we get that and it is on the deed but we are actually required to provide year round access once we start plowing. It is all within the development agreement. Austin Corry replied, it is adding the word secondary primarily rather than just calling it seasonal access because they have year round access through the main road.

#### **Public Comment**

Chair Chuck Zuercher then opened the public hearing up for public comment and there was none so the public comment period was closed.

Chair Chuck Zuercher then asked if there is any more comment regarding the matter. Austin Corry replied that you will notice that it was noticed this way and I don't have any language or proposal from the developer in the application but this does include a request to amend the development agreement. What I heard Mr. Roney mention was that possibly some discrepancies that are written in the Development Agreement from potentially what was approved. I don't have the historical knowledge of that and all I have is the development agreement that reads differently, but I do think that the County Council in considering amendments to the development agreement and if the history is different could hopefully provide some clarity on that and get in a recorded document and that is if that is the case. The reason I am bringing it up is that you as a Planning Commission are aware that this does include a request to amend the development agreement.

Commissioner Mark Hendricks replied that this Commission is primarily not a party and we don't have authority and we can't comment on that. If we need to bifurcate the application and kind of carve that out. The Council can do whatever they want. It is their agreement and they are the party right? Whoever it is, it is not us and my view on that is we should remain neutral on any necessary amendments to the Development Agreement. Austin Corry replied that I did not intend to convey that you should opine on that in any way. Commissioner Mark Hendricks replied that it is important that we understand that it is in their application. Austin Corry replied that there was some discussion about potentially changing conditions and that is more why I brought that issue up rather than wanting to delve into a large development agreement discussion. Commissioner Mark Hendricks replied that the only condition, and could you go to Condition No. 8 and I understand what the intent here is but it is weird. I would be more inclined to say something, and I am not drafting right now, but something on those lines of the applicant acknowledges that the ERU allocation is a function of their commitment to commercial. Jon Woodard, you will need to help us word smith this. I am not comfortable the way that this is worded but I just think it should be either we say nothing because saying that the commercial ERU's can be increased is not the same but I just find this awkward. The intent is that we want the commercial ERU's but because their number of ERU's is a function of their commitment to a certain amount of commercial and we are removing a commitment to a certain amount of commercial in this amendment and we should just acknowledge that the overall commitment to commercial remains but possibly in a different location.

Commissioner Doug Grandquis asked, is there a formula for the ERU's based on commercial footage, evaluation or whatever uses? Austin Corry replied that honestly not to that level of detail so it is because of the amount of commercial that they presented

during the Master Plan process when they went through the Planned Performance Development there was a percentage of bonus density granted overall.

Commissioner Mark Hendricks replied that when you say an amount what is the matrix and what is the quantifier for amount, is it square footage or is it uses? It may not be that specific. Austin Corry replied that is not that specific. I think what I am hearing you say is if they came in and said I am going 15,000 square feet of commercial and well that is a seven percent bonus and that is not how the code is written. The Council can grant zero to thirty percent of a bonus and you tell me what you are going to do and then the Council is going to tell you what they will give you. Commissioner Mark Hendricks replied that I think we need to strike this thing completely. They are going to have to review it and we are going to have to see it anyway. This just says and I can read this and say the applicant has indicated and first of all we don't care what the applicant indicates and they can say that I am indicating the sky is falling and I don't want to find that they have said something and that the commercial ERU's can be increased later and it is like I want ten million commercial ERU's I have just increased it. I am not comfortable with this as a phrase.

Todd Cates replied that quite frankly both number seven and number eight are incorrect in my mind because number seven we aren't really decreasing the amount of commercial ERU's in the master plan and moving it around in different phases and we still plan on these exact amount of commercial ERU's from the Master Plan. Commissioner Mark Hendricks indicated that if we don't have a size formula it just lands right back in the County Council's discretion to say that yes you have done enough commercial to keep that ERU bonus or wait a minute no that you haven't. We want to reduce your ERU's and if we don't have a good standard.

Commissioner Doug Grandquis replied, why can't we put that in there? Why can't we put that in there and why can't you say something that is the discretion of County Council to decide the number of ERU's based on commercial. Austin Corry replied that decision has been made. We do have a total square footage that they are supposed to hit.

Commissioner Mark Hendricks replied that it doesn't require them to do it here right? Austin Corry replied, not necessarily. Commissioner Mark Hendricks replied, so maybe it doesn't matter. Austin Corry replied that what we do have is the totals that they came during Master Plan. The Finding No. 7 or 8 whatever one that mentioned they are reducing the ERU's well that is based on this that says that the activity center is 20,000 square feet and they are proposing that is 5800 square feet and that is a decrease from what they proposed in master plan. The next finding the one that you are struggling with and I'm not saying that it was worded correctly but the intent was to acknowledge that they are building something smaller but they are indicating that they will expand the size of that later on to comply with the Master Plan. Commissioner Mark Hendricks replied that I am fine. This isn't an obstacle in my mind in advancing this to the Council and I just don't like finding that but to have a finding that says that the developer recognizes that the current allocation of ERU's is based on prior representations of commercial development or ERU's and acknowledges its commitment to do something equivalent throughout the course of the project. You get this for this. It is very hard to nail it down in my opinion.

Burke Roney replied that I think Austin is trying to help us and he is trying to make it so that we don't have to do another amendment in the future. He knows what our intents are. I think it is a working thing. All we are looking at and maybe can take out the word that the applicant has indicated and maybe it is just commercial ERU's may be increased later with the approval of the Planning Commission. Commissioner Mark Hendricks replied, that is not what I am trying to achieve. Burke Roney replied then strike them both. Commissioner Mark Hendricks replied that what I am trying to achieve is that if you have got a bonus for a certain amount of commercial activity you should commit to that. I fully understand that you want to commit to it and it is in your interest. I understand the spirit is there. Chair Chuck Zuercher replied, isn't that in the Development Agreement?

Jon Woodard replied that let me throw out an idea: The commercial ERUs shall be consistent with the master plan throughout the development and the commercial ERUs in Phase 1A and 1B may be increased consistent with the master plan with proper site plan approvals".

Commissioner Mark Hendricks replied, that does it, yes. Austin Corry replied, are we talking about amending Finding No. 8? Jon Woodard replied that Finding No. 7 is okay. Commissioner Mark Hendricks replied that I would leave Finding No. 7 and 8 and replace it with a new number seven. Austin Corry replied that No. 7 is still technically correct. Commissioner Mark Hendricks replied that is correct and then leave No. 7.

### **Motion**

**Commissioner Mark Hendricks made a motion to approve the amendment and final plat for Strawberry Ranch Phase 1A and 1B and forward it to the County Council with all the conditions and the findings in the staff report as modified.**

Commissioner Kimberly Cook seconded the motion.

The motion carries with the following vote:

**AYE:** Chair Chuck Zuercher, Mark Hendricks, Doug Grandquis, Doug Hronek, Kimberly Cook, Wendell Rigby, Scott Brubaker

**NAY:** None.

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**ADJOURNMENT**

Chair Chuck Zuercher made a motion to adjourn.

Commissioner Kimberly Cook seconded the motion.

The motion carries with the following vote:

**AYE:** Chair Chuck Zuercher, Mark Hendricks, Wendell Rigby, Doug Hronek, Doug Grandquis, Kimberly Cook, Scott Brubaker

**NAY:** None.

Meeting adjourned at 10:00 p.m.

  
CHUCK ZUERCHER/CHAIRMAN

**EXHIBIT Ad1-D – Phase 1a and 1b Affordable Housing Obligation**

FIRST AMENDMENT TO THE  
STRAWBERRY RANCH DEVELOPMENT AGREEMENT

**Affordable Housing for Phases 1A and 1B**

A. Wasatch County Affordable Housing Requirements for Strawberry Ranch

Strawberry Ranch shall comply with Section 16.30 — Moderate Income Housing of the Wasatch County Code. Strawberry Ranch is considered a resort development under Section 16.30.14. Resort developments "...shall provide the proposed resort's seasonal workforce housing plan that provides moderate income housing in a socially, economically and environmentally responsible manner" per Section 16.30.03. Ten percent (10%) of the employee housing demand generated by the resort development should be developed by the resort per Section 16.30.08.A.

B. Affordable Housing Requirement for Phase 1A and 1B per Section 16.30.08

Building	Area	FTE	AUE Obligation
Welcome Center/Real Estate Management	2,500 sf	5.9	$(2,500 \times 5.9)/1000 = 14.75$ employees
Convenience Store	2,500 sf	3.3	$(2,500 \times 3.3)/1000 = 8.25$ employees
Club House/Activity Center	5,000 sf	5.3	$(5,000 \times 5.9)/1000 = 29.5$ employees
			Total Employees = 52.5

10% of the calculated affordable unit equivalent (AUE) should be provided by the development. The AUE for Phase 1A and 1B is 5.25.

C. Affordable Housing Requirement for Phase 1A and 1B per Anticipated Employees

The full time equivalent (FTE) per leasable building area outlined in Section 16.30.08 of the county code appears to be very high for the Strawberry Ranch development. The following is offered as an alternative affordable housing requirement for Phase 1A and 1B.

<u>Use</u>	<u>40 Hour per Week Employees</u>
Real estate and property management office	4
Convenience store	2
Club House/Activity Center	4
	10.00 = total employees




Affordable housing should be provided for 10% of the anticipated employees. The affordable housing requirement for Phase 1A and 1B is 1.0 AUEs. Since this is only 1 unit a fee in lieu is proposed for Phase 1A and 1B.



PLANT SCHEDULE

BOTANICAL / COMMON NAME	CONT.	QTY
 ACER FREEMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE	2" CAL.	13
 PICEA PUNGENS / COLORADO BLUE SPRUCE	B & B	47
 PICEA PUNGENS GLAUCA 'WELL'S BLUE TOTEM' / WELL'S BLUE TOTEM SPRUCE	B & B	7
 PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	B & B	5
 POPULUS TREMULOIDES / QUAKING ASPEN	2" CAL.	27
 PRUNUS VIRGINIANA 'CANADA RED' / CANADA RED CHOCHECHERRY	2" CAL.	23

GROUNDCOVERS

-  STRAWBERRY RANCH HYDROSEED MIX 2 / APPALACHIAN KENTUCKY BLUEGRASS, SELWAY KENTUCKY BLUEGRASS, ROADSTAR KENTUCKY BLUEGRASS, BOREAL CREEPING RED FESCUE, SHINING STAR PERENNIAL RYEGRASS FOR MANICURED AREAS.
-  DISTURBED AREAS RE-VEGETATED WITH STRAWBERRY RANCH HYDROSEED MIX 1 / SHRUBS, GRASSES, AND WILDFLOWERS, INDIAN RICE GRASS, WYOMING BIG SAGEBRUSH, RUBBER RABBIT BRUSH, GLOBEMALLOW, COCKSBERRY-LEAF, WESTERN WHEAT GRASS, SANDBERG BLUEGRASS, SAND DROP HYDROSEED IN THE FALL, BEFORE SNOW, MORE THAN ONE APPLICATION MAY BE NECESSARY IF SEED DOES NOT GERMINATE IN SPRING.
-  STRAWBERRY RANCH HYDROSEED MIX 1 PLANT IN DISTURBED AREAS WITH TEMPORARY IRRIGATION UNTIL PLANTS ARE ESTABLISHED. IRRIGATION TO BE SHUT OFF AT TIMERS, VALVES, OR BY CAPPING SPRINKLER HEADS.

SEED MIXTURES AND APPLICATION BY SUMMIT SEEDING, Mike 801-906-9503


PLANTING NOTES

1. THE BASE INFORMATION FOR THIS DRAWING WAS OBTAINED FROM OTHERS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DRAWING WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK, AND IMMEDIATELY NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN THE EVENT THAT THE CONTRACTOR BEGINS WORK PRIOR TO VERIFYING AND COMPARING THE BASE INFORMATION WITH ACTUAL FIELD CONDITIONS. THEN ANY CHANGES OR ALTERATIONS TO THE WORK INVOLVED WITH THESE DRAWINGS DUE TO SUCH DISCREPANCIES WILL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND MARKING THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK PRIOR TO BEGINNING CONSTRUCTION. CONTACT THE OWNER, BLUE STAKES OF UTAH (1-800-662-4111), AND ALL OTHER ENTITIES AS NECESSARY. IN THE EVENT THAT THE CONTRACTOR BEGINS WORK PRIOR TO VERIFYING AND STAKING ALL UTILITIES, AND DAMAGE TO UTILITIES OCCURS, THE DAMAGED UTILITIES WILL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
3. IF PROVIDED, REFER TO LEGENDS, NOTES, DETAILS, AND SPECIFICATIONS FOR FURTHER INFORMATION.
4. ANY ALTERATIONS TO THESE ACTUAL PLANTING PLANS DURING CONSTRUCTION SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND RECORDED ON 'AS BUILT' DRAWINGS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
6. ALL PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
7. QUANTITIES INDICATED IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES, AND SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING DESIGN SHOWN ON THE PLANS, REGARDLESS OF QUANTITIES INDICATED IN THE PLANT SCHEDULE.
8. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. PRUNE TREES NEXT TO SIDEWALKS TO A MINIMUM HEIGHT OF 7' FOR A CLEAR WALKING PATH.


GENERAL NOTES

1. THESE PLANS MEET THE WILD AND URBAN INTERFACE REQUIREMENTS. CONTRACTOR TO ENSURE TREE CANOPIES WILL BE A MINIMUM OF 30' AWAY FROM ANY BUILDING.
2. DEVELOPER TO PROVIDE TREES, SHRUBS, IRRIGATION, AND REVEGETATION OF DISTURBED AREAS TO MAINTAIN LANDSCAPED AREAS THEREAFTER.






LANDARC  
LANDSCAPE ARCHITECTURE



CITY OF SAN DIEGO  
PLANNING COMMISSION

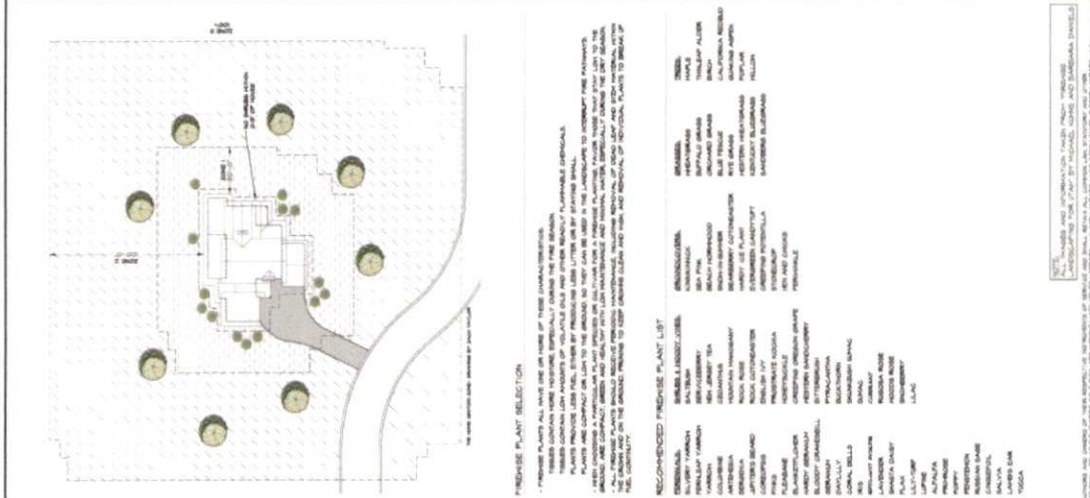
STRAWBERRY RANCH  
MOUNTAIN RESORT



811  
CITY OF SAN DIEGO

TYPICAL FIREWISE LANDSCAPE PLAN

1-301



**GENERAL INFORMATION**


LANDSCAPE ARCHITECTURE AND LANDSCAPE ARCHITECTURE AREAL WITH AREAS, PAVED AREAS, AND LANDSCAPED AREAS OF THE PROPERTY. THE LANDSCAPE ARCHITECTURE SHALL BE DESIGNED TO BE COMPATIBLE WITH THE ARCHITECTURE AND TO PROVIDE A HIGH QUALITY ENVIRONMENT FOR THE VISITOR. THE LANDSCAPE ARCHITECTURE SHALL BE DESIGNED TO BE COMPATIBLE WITH THE ARCHITECTURE AND TO PROVIDE A HIGH QUALITY ENVIRONMENT FOR THE VISITOR.

**LANDSCAPE MAINTENANCE TO REDUCE FIRE HAZARDS**

LANDSCAPE MAINTENANCE TO REDUCE FIRE HAZARDS IS A CRITICAL COMPONENT OF FIREWISE LANDSCAPE DESIGN. THE LANDSCAPE ARCHITECTURE SHALL BE DESIGNED TO BE COMPATIBLE WITH THE ARCHITECTURE AND TO PROVIDE A HIGH QUALITY ENVIRONMENT FOR THE VISITOR.

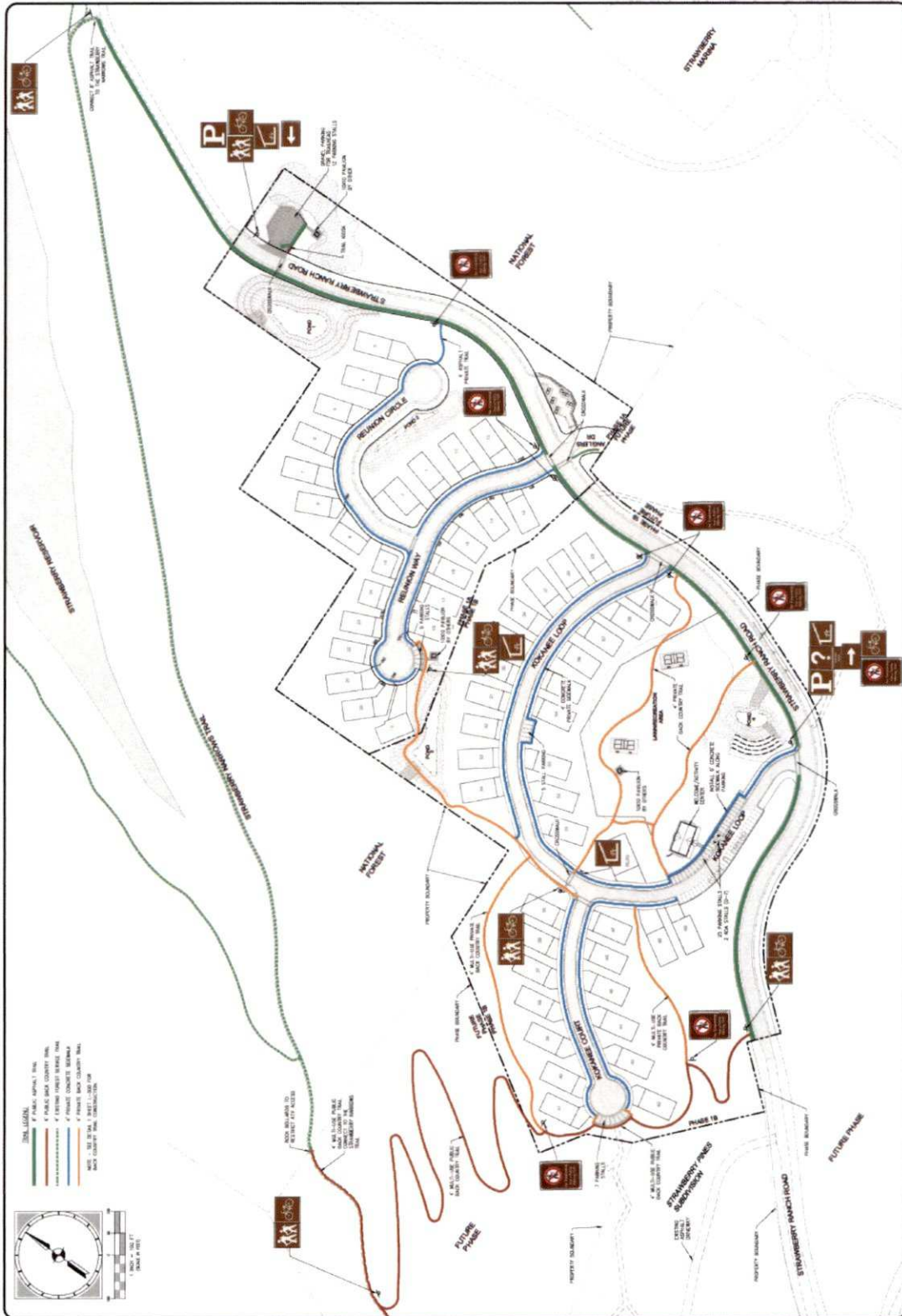
**RECOMMENDED FIREWISE PLANT LIST**

PLANT NAME	PLANT TYPE	PLANT CHARACTERISTICS
AGAVE	SUCCULENT	LOW GROWING, DROUGHT TOLERANT
YUCCA	SUCCULENT	LOW GROWING, DROUGHT TOLERANT
CELESTINE	SUCCULENT	LOW GROWING, DROUGHT TOLERANT
GRASS	GRASS	LOW GROWING, DROUGHT TOLERANT
...	...	...



3D rendering showing the application of firewise landscaping principles, including the use of fire-resistant plants and structures.

### EXHIBIT G – Trail Plan



**EXHIBIT H – Proposed Affordable Housing Obligation Amendment****Affordable Housing for Phases 1A and 1B****A. Wasatch County Affordable Housing Requirements for Strawberry Ranch**

Strawberry Ranch shall comply with Section 16.30 — Moderate Income Housing of the Wasatch County Code. Strawberry Ranch is considered a resort development under Section 16.30.14. Resort developments "...shall provide the proposed resort's seasonal workforce housing plan that provides moderate income housing in a socially, economically and environmentally responsible manner" per Section 16.30.03. Ten percent (10%) of the employee housing demand generated by the resort development should be developed by the resort per Section 16.30.08.A.

**B. Affordable Housing Requirement for Phase 1A and 1B per Section 16.30.08**

Building	Area	FTE	AUE Obligation
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Club House/Activity Center	5,000 sf	5.3	$(5,000 \times 5.9)/1000 = 29.5$ employees
			Total Employees = 52.5

10% of the calculated affordable unit equivalent (AUE) should be provided by the development. The AUE for Phase 1A and 1B is 5.25.

**C. Affordable Housing Requirement for Phase 1A and 1B per Anticipated Employees**

The full time equivalent (FTE) per leasable building area outlined in Section 16.30.08 of the county code appears to be very high for the Strawberry Ranch development. The following is offered as an alternative affordable housing requirement for Phase 1A and 1B.

<u>Use</u>	<u>40 Hour per Week Employees</u>
Real estate and property management office	4
Convenience store	2
Club House/Activity Center	4
	10.00 = total employees

Affordable housing should be provided for 10% of the anticipated employees. The affordable housing requirement for Phase 1A and 1B is 1.0 AUEs. Since this is only 1 unit a fee in lieu is proposed for Phase 1A and 1B.

**EXHIBIT I – Master Plan ERU breakdown**

December 1, 2012

**Strawberry Highlands - Revised ERU Calculations**

Equivalent Residential Units (ERU) calculations are based on Section 16.37.11 - ERU of the Wasatch County Code. A summary of items from this section that apply to the Strawberry Highlands project include:

Hotel or motel room not to exceed 500 sq. feet	0.25
Hotel, motel or resort suite not to exceed 700 sq. feet	0.33
Hotel, motel or resort suite not to exceed 1,000 sq. feet	0.50
Hotel, motel or resort suite not to exceed 1,500 sq. feet	0.75
Residential unit not to exceed 5,000 sq. feet	1.00
ERU increase for every 500 sq. feet a residential unit exceeds 5,000 sq. feet	0.10
Commerical eru is 0.86 / 2,000 sq. feet of floor space = 0.00043 ERU per sq. foot	0.00043
RV pads have been assumed the same as a not to exceed a 500 sq. feet motel room	

**Table 1 - Strawberry Highlands ERU Calculation**

Use	Cabins or Lots	Rentals Lodge Suites	RV Pads	Amenity Floor Area	ERU Rate	ERU
<i>Strawberry Phase</i>						
Reunion Lodge #1		10			0.33	3.30
Reunion Lodge #2		10			0.33	3.30
Rental Cabins (< 700 sf)		33			0.33	10.89
Rental Cabins (< 1,000 sf)		33			0.50	16.50
Rental Cabins (< 1,500 sf)		33			0.75	24.75
Lots with homes < 5,000 sf	54				1.00	54.00
Cabins	36				1.00	36.00
Club Strawberry Units	40				1.00	40.00
RV Park			33		0.25	8.25
Activity Center				20,000	0.00043	8.60
Welcome Center				20,000	0.00043	8.60
Gatehouse				25,000	0.00043	10.75
						224.94
<i>Willow Creek Phase</i>						
Fishing Village Lodge		10			0.50	5.00
Hideout Lodge		1			1.00	1.00
Rental Cabins (<1,500 sf)		12			0.75	9.00
Lots with homes < 5,000 sf	58				1.00	58.00
Lots with homes > 5,000 sf	30				1.20	36.00
Cabins	110				1.00	110.00
Discovery Center				50,000	0.00043	21.50
						240.50
<i>Lost Bear Phase</i>						
High Altitude Lodge		25			0.33	8.25
Lots with homes < 5,000 sf	18				1.00	18.00
Lots with homes > 5,000 sf	18				1.20	21.60
Cabins	51				1.00	51.00
RV Park			115		0.25	28.75
Trail Head Activity Center				20,000	0.00043	8.60
High Altitude Sports Center				110,000	0.00043	47.30
						183.50
<i>Bear Canyon Phase</i>						
Dude Ranch Lodge		10			0.33	3.30
Adventure Lodge and Spa		25			0.33	8.25
Rental Cabins (<1,500 sf)		25			0.75	18.75
Lots with homes < 5,000 sf	31				1.00	31.00
Lots with homes > 5,000 sf	31				1.20	37.20
Equestrian Center				100,000	0.00043	43.00
Adventure Center				55,000	0.00043	23.65
						165.15
<b>Master Plan Totals</b>	<b>347</b>	<b>227</b>	<b>148</b>	<b>400,000</b>		<b>814.09</b>

EXHIBIT J – DRC Report

**Wasatch County**  
**DESIGN REVIEW**  
**COMMITTEE (DRC)**  
**COMMENTS**

PROJECT ID: DEV-6741  
 PROJECT NAME: STRAWBERRY RANCH RESORT PH 1A AND 1B  
 VESTING DATE: 6/23/2022  
 REVIEW CYCLE #: 5

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**REVIEW CYCLE STATUS: READY FOR DECISION**

Project comments have been collected from reviewers for the above noted review cycle and compiled for your reference below. Please review the comments and provide revised plans/documents if necessary. **Resubmittals must include a plan review response letter** outlining where requested changes and corrections can be found. Failure to provide such a letter will result in the project being returned to you.

**When uploading revisions please name your documents exactly the same as it was previously uploaded.**

**Revision numbers and dates are automatically tracked. There is no need to re-upload documents that aren't being changed. DO NOT DELETE documents and then upload new ones.**

Once you have addressed all of your items and successfully uploaded your revisions, be sure to re-submit your project for review. Resubmittal must be made through the portal in order to receive official review. Projects requiring Planning Commission approvals or recommendations will not be placed on a planning commission agenda until all DRC reviewers have recommended the item to move forward.

Entity	Decision
Manager's office	Ready for Decision
Public Works Department	Ready for Decision
County Surveyor	Ready for Decision
Sheriff's Office	Ready for Decision
Weed Department	Ready for Decision
GIS Department	Ready for Decision
Environmental Quality	Ready for Decision
Building Department	Ready for Decision
MAG Regional Trail Planner	Ready for Decision
Planning Department	Ready for Decision
Health Department	Ready for Decision
DRC - Strawberry SSD	Ready for Decision
Engineering Department	Ready for Decision
Recorder's Office	Ready for Decision
DRC - SSA 1 Water	Ready for Decision
Assessor's Office	No Action Taken
Housing Authority	No Action Taken
Fire SSD	No Action Taken

**Approved** = Reviewing entity has approved the project under consideration of their applicable codes. Any open comments are considered conditions of the entities recommendation.

**Ready for Decision** = Reviewing entity recommends the project move forward to a Planning Commission meeting (if applicable). Any open comments are considered conditions of the entities recommendation.

**Changes Required** = Reviewing entity has identified an issue(s) that needs to be resolved before recommending the project move forward.

**No Action** = Reviewing entity has not taken any action for the review cycle.

## OVERALL PROJECT COMMENTS

DRC Project Comments		
Comment ID	Entity	Comment
DRC-JSSD1	DRC - Jordanelle SSD	Plan review coordination to take place and be completed with the District engineer.
DRC-JSSD3	DRC - Jordanelle SSD	Approval of this phase of development is contingent on the developer complying with the maximum permanently irrigated acres indicated in the will serve letter (which matches the information provided by the landscape architect for the project). This phase of development includes a large area which we understand is intended to be temporarily irrigated to revegetate disturbed areas and thus re-establish native plantings. If these areas are permanently irrigated, the now current owner(s) of these phases will be required to dedicate additional water rights to satisfy this use. Temporary irrigation requirements in SRSSD are that: (i) systems for such areas be above ground systems; (ii) such systems can only be served by meters/laterals which include permanently irrigated areas; and (iii) such systems will only be in use for one to two seasons. The latest submitted irrigation plans cast some ambiguity as to whether these requirements are still intended to be met. This must be clarified by the developer in an updated irrigation plan, or alternatively, additional water rights for these areas are dedicated to this phase.
DRC-PLN44	PLN - Planners	Be aware that the increase in building pad space results in a decrease in the overall open space conservation easement being provided. As things progress through future phases you will want to ensure you can still comply with the open space requirement.
DRC-PLN63	PLN - Planners	Planning and Engineering spoke with the project owner 8/2/2023 and received confirmation from them that they are aware of the conflicts in the document and gave verbal indication of their intended direction to proceed. This will be represented in the staff report since conditions will be necessary to resolve them.

## PROJECT DOCUMENT SHEET COMMENTS BY REVIEWING ENTITY

DRC - Engineering Dept		
Comment ID	Sheet Name	Comment
DRC-ENG3	10 - Street Plan	Relative to sheet D-1, need a geotechnical engineered design for Retaining walls greater than 4'. That includes combinations of more than one 4' wall. The walls they are showing are very constructible. I am fine with the layout and I am good reviewing the wall designs after the construction permit has been permit has been issued.
DRC-ENG13	10 - Street Plan	Need more than a chain link fence on top of the retaining wall on

		the down hill side of the dumpster area to protect vehicles from going over wall. Guardrail will have to be incorporated and accounted for in retaining wall plan.
DRC-ENG20	15 - Cost Estimate	Wasatch County has adopted a standardized engineer's estimate spreadsheet. This will have to be provided during the construction permitting process.
DRC-ENG26	10 - Street Plan	It is hard to foresee all areas where guardrail may be required. Guardrail will be required on the project site per the county code. The code requires guardrail on any slopes 3:1 or steeper for a vertical height of more than 8'. Exact location of guardrail will be determined upon site inspection with the engineer of record for the project.
DRC-ENG27	10 - Street Plan	Section 2.2 is not what was discussed. There should be a park strip on both sides of the road.
DRC-ENG28	10 - Street Plan	On sheet C-3.8 the plan view for Kokanee Court still shows the sidewalk next to the curb
DRC-ENG29	10 - Street Plan	There is some contradictions in the site plan, plan and profiles, and street plans where it states paved trails could be used. The sidewalk adjacent to roads has to be 4' concrete sidewalk due to setback requirements. No 4' wide paved trails will be accepted.

DRC – Planning Dept		
Comment ID	Sheet Name	Comment
DRC-PLN46	17 - DevAgreement	Should use the version accepted by the County attorney.  The proposed modification on D.a. and D.b. doesn't match the proposed plans. The welcome/activity and convenience store is shown in phase 1b and phase 1c should be showing moving reunion lodge #2 from there to 1b.
DRC-PLN47	01 - Cover	Your site calculations are incorrect. This states 13.58 acres of common area in phase 1B, however, I calculate 9.7. It appears you have included your commercial parcel in the numbers.
DRC-PLN48	Other - Strawberry Ranch Parking Tabulations	Applicant has indicated that this is now only a subdivision application with deferred site plan review. As such, parking will be analyzed when the full site plan documents are provided.  By way of information, a quick review of 16.33 and your document suggests a commercial requirement of 40 stalls, not the 21 that shows here. For the site plan application, please provide a better parking analysis that references the 16.33 standards you apply in your assumptions.
DRC-PLN49	02a - Plat	Plat note 10 should be amended to grant a specific easement. The following is the recommended language:  Trails as shown are dedicated for public use. In the event that the developer builds trails in a slightly different location(s), the Developer can prepare a deed with an as-built legal description of the trails, and with written signoff from the county planning director and the county attorney, may record the deed conveying the as-built trails to the county, which deed shall

		automatically supersede the trails as shown on this plat without the need for a plat amendment.
DRC-PLN50	02a - Plat	The public trail easement for the 4 foot backcountry trails needs to be 10 feet. See16.38.03.
DRC-PLN51	02a - Plat	Common areas that need to contribute to the 96.7% open space commitment for the bonus density will need to have an open space easement in favor of Wasatch County. This is typically done by a simple plat note as discussed with Todd Cates on 7/27/2023. While the calculations were run and the project can currently comply without the open space easement on this phase (14.167 acres 1a, 22.648 acres 1b, 3489.23 acre conservation easement = 98.96% for the total 3,526.05 ac currently in consideration/encumbered), the master plan documents show this area as part of the open space. Currently there is 3489.23 acres under conservation easement that is credited toward the total 6,778.67 required to meet the 96.7%. If you would like this area to be taken from the open space contribution, please provide documentation of how the 6,778.67 will be achieved elsewhere.
DRC-PLN52	DRC Response	Response to PLN42 indicates that landscaping has been added to the base of the wall for screening. While the wall detail is updated, the landscape plan does not reflect the same.
DRC-PLN57	Other - Site Plan	There are a few of the units that aren't measuring at 20 feet setback from back of walk.
DRC-PLN58	10 - Street Plan	Cross section 2.2 is missing the parkstrip on one side. It needs to match your site plan.
DRC-PLN59	10 - Street Plan	Some cross-sections call-out 4 foot asphalt. Per engineering, it either needs to be 4 foot concrete or 6 foot asphalt. At this stage, I can only approve at 4 foot concrete because if you opt to move to asphalt, it will affect your setbacks.
DRC-PLN60	Other - Site Plan	The 4 foot asphalt trail will have to be concrete, or you will have to adjust your units again to fit 6 foot asphalt trails.
DRC-PLN61	Other - Trail Exhibit	This shows a legend of 4 foot concrete, but labels that say 4 foot asphalt.
DRC-PLN62	DRC Response	Responses indicate you have updated all plans to be 4 foot concrete, but review of the plans shows conflicting information. This will be moved forward based on your statement you are doing 4 foot concrete. Your plans need to be updated to reflect such.

DRC - Surveyor Office		
Comment ID	Sheet Name	Comment
DRC-SUR1	02a - Plat	This is a preliminary plat. We will approve this plat so the project can proceed to the planning commission phase. We reserve the right to review the final signed plat.



Doug Smith indicated that we don't need to add anything on Condition No. 5 but I think on Condition No. 4 that Commissioner Mark Hendricks was saying that maybe we just state that is a compliant secondary access and not contingent on having a specific developer do it. Commissioner Mark Hendricks replied that I think that is what you have done with what is up on the screen by striking out that language as amended and Condition No. 4 is a good condition. Frankly you probably could strike all of Condition No. 4. Jon Woodard replied that the concern I have right now we are approving a plan that shows Benloch Ranch Road as the secondary access and I don't care who builds it but as soon as you are not using Benloch Ranch Road you are deviating from a preliminary plan and it could well be that works one hundred percent but that is not the plan that we have before us. Commissioner Mark Hendricks replied that I agree with that so I retract my comment.

Chair Chuck Zuercher asked, do we have to have anything in there that says an access road is acceptable to the County engineering standards? Doug Smith replied no, because I think that is going to be a given. Russell Skuse replied that Benloch Ranch Road can be considered both and it can be a main access and also considered a secondary access in multiple situations. Jon Woodard replied that I don't see an issue with the Commission adding that if you want to but I think we have explained it that is how we would read Condition No. 5 that we look to engineering to determine what is complete.

Commissioner Wendell Rigby asked, during your presentation did you indicate that the staff was recommending approval? Doug Smith replied that yes we were recommending that.

### Motion

**Commissioner Mark Hendricks made a motion that we approve Item No. 3, the application by Cache Private Capital Diversified Fund LLC for final subdivision approval of Benloch Ranch Phase 4A, in light of the findings and subject to the conditions outlined in the staff report. The conditions have been modified by the staff with strike-out to certain language in Condition No. 4.**

Commissioner Kimberly Cook seconded the motion.

The motion carries with the following vote:

**AYE:** Chair Chuck Zuercher, Mark Hendricks, Kimberly Cook, Doug Hronek , Doug Grandquis, Wendell Rigby, Scott Brubaker.

**NAY:** None.

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**ITEM 4**      **BRIAN BALLS, REPRESENTING BURKE RONEY, REQUESTS A PLAT AMENDMENT TO STRAWBERRY RANCH PHASE 1A AND AN AMENDED FINAL SUBDIVISION APPROVAL FOR STRAWBERRY RANCH PHASE 1B IN ORDER TO AMEND PREVIOUS APPROVALS FOR PHASES 1A AND 1B OF THE MASTER PLANNED DEVELOPMENT TO VACATE PLATTED COMMERCIAL LOTS FROM PHASE 1A; INCREASE THE SIZE OF PUD CABIN LOTS FROM AN AVERAGE OF 900 SQUARE FEET TO NOW BE 3,600 SQUARE FEET; INCREASE THE NUMBER OF CABIN ERUS FROM 40.99 TO 59 CABIN ERUS AND TO DECREASE COMMERCIAL ERUS FROM 4.69 TO 2.4; AND MOVE THE LOCATION OF A CLUBHOUSE AND WELCOME CENTER FROM 1A TO 1B. THE PROPOSAL ALSO INCLUDES A REQUESTED AMENDMENT TO THE DEVELOPMENT AGREEMENT WHICH WOULD HAVE THE EFFECT OF ACCEPTING THE PROPOSED MODIFICATIONS AS COMPLIANT WITH THE PRELIMINARY APPROVAL. IF APPROVED, THE OVERALL SITE ACREAGE WOULD ALSO INCREASE FROM APPROXIMATELY 18 ACRES TO INSTEAD INCLUDE 36.815 ACRES LOCATED AT 9514 S STRAWBERRY RANCH ROAD IN THE PRESERVATION (P160) ZONE. *\*IF FORWARDED, THE RECOMMENDATION BY THE PLANNING COMMISSION ON THIS ITEM WILL BE CONSIDERED BY THE COUNTY COUNCIL AS THE LAND USE AUTHORITY, AT A PUBLIC HEARING ON AUGUST 16, 2023. (DEV-6741; AUSTIN CORRY)***

### Staff

Austin Corry, Assistant Wasatch County Planner, presented a Power Point presentation and then addressed the Wasatch County Planning Commission and indicated that it has been quite a fair amount of time since the overall project of Strawberry Ranch has come through the Planning Commission. Austin then gave some background so that the Planning Commission members can see

submittal include general guidelines to comply, but does not include finals plans for the units. As noted earlier, the open space common areas currently on the plans are lacking compared to the preliminary submittal, but will be reviewed in further detail at the site plan application.

- TRAILS -

As per 16.29.11 there shall be appropriate pedestrian access throughout the development either on sidewalks or trails. The application includes a trails system of mixed public and private trails. The public trails are areas where specifically required by the development agreement as part of the bonus density and cooperation with the forest service.

16.38 of the County Code regulates the design, ownership, and easement requirements of trails. The public trails on the plat include easements, but the easement widths are too narrow. All easements on the plat need to be brought up to the width standards required by 16.38.

Suggested improvements to the trail plan would be to consider the connections within the development such as amenities, commercial facilities, and other open spaces. The central trails near the activity center seem to have ignored making important connections such as from parking areas to the pickleball courts. This can be refined in the more detailed site plan review.

- POWER -

The application includes a will-serve letter from Moon Lake electric, but the developer has decided to provide power instead with propane generators. This infrastructure will need to be completed, functional, and accepted by the County prior to issuing any building permits.

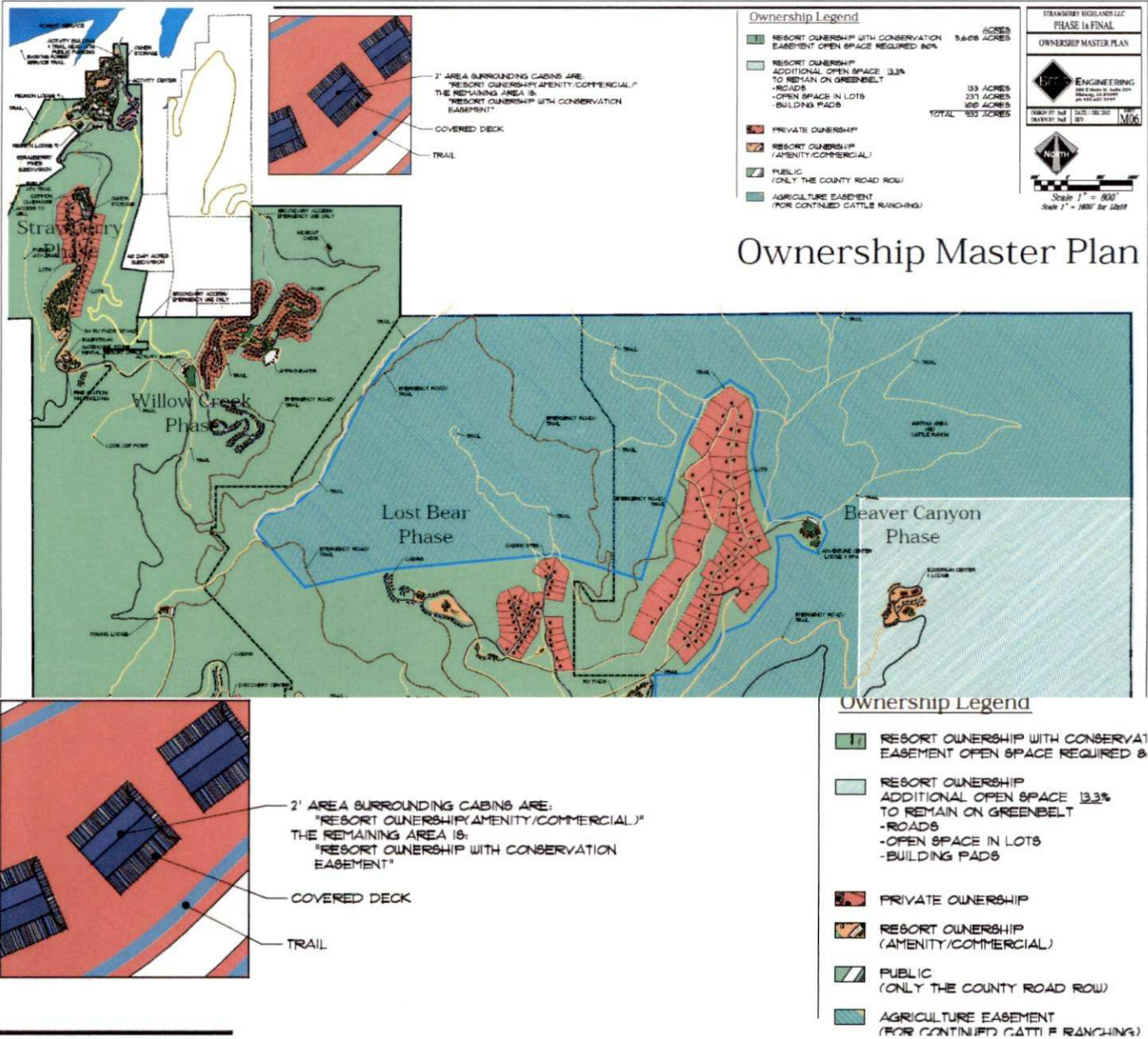
- WATER -

Water is very limited for the development, especially for irrigated landscape. The SRSSD has indicated a specific caution to ensure that the water requirements for the project are adhered to. Conditions of approval should include adopting the SRSSD comment which is included on the DRC report.

DRC-JSSD3	DRC - Jordanelle SSD	<p>Approval of this phase of development is contingent on the developer complying with the maximum permanently irrigated acres indicated in the will serve letter (which matches the information provided by the landscape architect for the project). This phase of development includes a large area which we understand is intended to be temporarily irrigated to revegetate disturbed areas and thus re-establish native plantings. If these areas are permanently irrigated, the now current owner(s) of these phases will be required to dedicate additional water rights to satisfy this use.</p> <p>Temporary irrigation requirements in SRSSD are that: (i) systems for such areas be above ground systems; (ii) such systems can only be served by meters/laterals which include permanently irrigated areas; and (iii) such systems will only be in use for one to two seasons. The latest submitted irrigation plans cast some ambiguity as to whether these requirements are still intended to be met. This must be clarified by the developer in an updated irrigation plan, or alternatively, additional water rights for these areas are dedicated to this phase.</p>
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- OPEN SPACE -

The SRZ, at a minimum, requires 80% of the project area to be open space. However, the project was given bonus density based on a higher open space commitment of 96.7% (6,778.67). From review of the documents, it appears this was proposed to be achieved by dedication of open space easements over all but a two foot buffer surrounding each cabin and the entirety of the resort owned lots. Open space required for a project is required to have an open space preservation easement recorded. This is noted in WCC 16.21.06 as well as in the SRZ and PPD portions of the code that the project is vested under. When the development agreement was recorded, it included an Exhibit O which was the first granting of an open space conservation easement for the project. The easement includes 3489.23 acres (shown in cyan color below) of agriculturally dedicated ground that encumbers the Lost Bear and Beaver Canyon phases of the master project. If this final plan is approved, the current status of the project will be 98.96% open space of the 3,526 acres either encumbered or with final entitlements.



Ownership Master Plan

– WILDLIFE MITIGATION –

Due to the remote nature of the area and potential impacts on numerous wildlife, the Utah DWR provided wildlife mitigation criteria that were adopted as conditions to the project. Within the development agreement, it outlines the specific details of strategies that the developer must employ to protect cougar, bear, moose, elk, and other habitats that are prominent in the area. These includes things like educational efforts between the resort and guests, notes on plats, motion sensor lighting, bear-proof dumpsters, and leash laws.

– BONDING –

All unfinished improvements must be bonded for in compliance with county bonding policies previous to plat recording.

– EXISTING DEVELOPMENT AGREEMENT –

The Master Development Agreement for this project was approved by the County Council and recorded in April 2017. The development agreement is intended to provide a clear outline of the obligations of the Developer and the obligations of the County as they relate to the project. The DRC review of the project included review for compliance with the development agreement as noted in other sections of this report.

This request does include an amendment to the development agreement. The amendment primarily is to allow the shifting of the welcome center from phase 1a and allow it to be included with the activity center in phase 1b. Other language is tied to accepting the final plans as presented as being compliant with the preliminary approval. If the County Council disagrees with either of these requests, it is recommended the item be continued so the applicant can revise drawings after guidance from the Council.

Due to the length of time that has passed between approvals, the conditions from preliminary approval have been included in the body of this report as well as a staff response in **bold** explaining if and how the condition has been met.

1. *A development agreement with issues worked out at final and recorded with the phase 1 plat that addressed, timing, type of road improvements and maintenance on FS90 up to the County standard in an agreement with the SSD, fire station location and specifies, exhibits for commercial parcels, public amenities that meet density bonus expectations, open space and agricultural easement that meets open space and agricultural requirement, winter road maintenance requirements and safety enhancements, domestic animal control policies in accordance with DWR recommendations and any applicable comments from State Parks, etc.*  
**Response: This has been memorialized in a development agreement, reviewed and approved by the County Council per the motion made during preliminary approval on March 19, 2014. An amendment to that development agreement is included as part of this proposal.**
2. *Consideration of other emergency evacuation options i.e., helipads at key locations, snow coaches, fire shelters, grooming of the Devils Notch road and road to Highway 6 for second accesses.*  
**Response: Nothing was provided in this application related to this. It is anticipated that these discussions will be had with the Fire District and should be included with future requests.**
3. *Approval of the Maynes access prior to phase 2 or some other appropriate access that meets the code for cul-de-sac length and number of units on a cul-de-sac.*  
**Response: This is a phase 2 requirement, and therefore, not applicable at this time.**
4. *The Planning Commission and County Council should find that the proposed commercial uses are appropriate for the development and will fit in with the surroundings and open space. 16.29.03b,c. A close look at the architecture of the owner storage units should be done.*  
**Response: The current application is for subdivision approval only. It would create the commercial parcels, but does not grant the site plan approval required. This review will be done at the site plan application stage.**

5. *Notes on the plat CC&R's, development agreement and a notice of interest recorded on each lot/unit stating that the main access can be closed at any time, for any length of time and if so only the seasonal access will be provided.*

**Response: This is part of the development agreement and included as a plat note.**

6. *It does not appear that the density bonus allowed for the LEED leadership in energy and environmental design will work. This 6% density bonus should be withdrawn. The maximum density if water is obtained would be 1,160 without the LEED 6% density bonus.*

**Response: This is addressed in the development agreement. The bonus was removed and the total ERU count permitted is 814 ERUs.**

7. *Studies for slope stability and final soils report at final on any lot with a building envelope over 25% slope.*

**Response: The applicant has indicated there are no building lots over 25%.**

8. *Appropriate access and grades in and out of the RV area should be looked at further at final.*

**Response: This is not applicable until a later phase.**

9. *Final approval will also require site plan and conditional use approval to include a parking plan showing off-street parking that meets the required number of parking stalls for all uses. Additional uses beyond the uses shown will require a conditional use.*

**Response: Each rental cabin is intended to provide two off-street parking spaces. Additional parking analysis is deferred to the site plan applications and is not reviewed at this time.**

10. *Submitted with final application there will need to be an affordable housing study in compliance with the newly adopted ordinance 13-20 which will be codified as 16.30 of the County code.*

**Response: The applicant has provided an analysis with this phase following the same justifications presented with the original phase 1a approval. This was sent to the affordable housing consultant and no response was received. Per County code, this is accepted by the DRC as an approval by the consultant for purposes of the staff report. The County Council is the ultimate authority to accept or reject the proposal.**

#### **DEVELOPMENT REVIEW COMMITTEE**

This proposal has been reviewed by the various members of the Development Review Committee (DRC) for compliance with the respective guidelines, policies, standards, and codes. A report of this review has been attached in the exhibits. The Committee has accepted the item for Planning Commission and Council to render a decision.

In addition to the DRC, the County sends applications for development that may impact state or federal resources to those agencies to gather further input.

#### **– BUREAU OF RECLAMATION –**

The BOR owns the road over the dam and can control access over the dam. It is the understanding of the County that according to the BOR there is no need for a federal study referred to as a NEPA study. That may however be a requirement when and if the road opens up for year-round access. At the preliminary meeting the following was stated by the bureau "Allen Christensen, representing the Bureau of Reclamation, addressed the Wasatch County Planning Commission and indicated that there is no NEPA study needed at this time, but as things change there may be a need for a NEPA process. Allen also indicated that the Bureau of Reclamation cannot hold an escrow account and only when the Soldier Creek Dam Road is maintained with snow, etc., that would require Wasatch County consulting with the Bureau of Reclamation concerning that."

#### **– STATE RDCC REVIEW –**

Wasatch County sends applications for development to the State for review if a development may impact some State resources. The state coordinates review from a number of applicable State agencies. There were comments from the Department of Wildlife Resources (DWR) and State Parks. This additional phase of cabins does not further impact these reviews beyond what has been addressed in the development agreement and the first Phase 1a approval. Further review may be necessary at later phases of the project.

**POTENTIAL MOTION**

The following motions is provided IF the Planning Commission and County Council determine that the modifications requested are compliant with the preliminary approval. This also assumes that the County Council believes that good cause exists in order to amend the phase 1a plat. If the Planning Commission or County Council does not believe the request complies with the preliminary plans, it is recommended that the item be continued with guidance given to staff and the applicant to the expectations for revisions before returning the item for decision.

Move to Approve with Conditions consistent with the findings and conditions presented in the staff report.

***Findings:***

1. The density being proposed is consistent with what was approved in the original master plan and preliminary plan. It should be noted that the approved density numbers have been reduced from the master plan approval at the applicant's decision in Phase 1a to no longer pursue bonuses associated with providing LEED compliant design features.
2. There is a development agreement recorded that establishes the project vested approvals such as density, on- and off-site improvements, open space requirements, access etc.
3. The Development Review Committee has reviewed the project and forwarded the item for decision with a list of comments/concerns noted in the DRC report.
4. Per the DRC report, the requirements of the SRZ and Planned Performance sections of the code can be met with conditions and addressed in the development agreement.
5. The preliminary plans included review from state agencies which are included in the development agreement.
6. The applicant has proposed an amendment to the affordable housing obligation originally calculated for phase 1a. The proposal follows a similar procedure as the initial analysis, but increases from 0.65 AUE to 1 AUE after employee calculations increase by adding the proposed phase 1b which includes the activity center.
7. The proposal decreases the amount of commercial ERUs presented in the master plan.
8. The applicant has indicated that the commercial ERUs can be increased later without need for a plat amendment.
9. The application is for subdivision approval only and does not include a site plan review.
10. The submitted plans contain errors or omissions related to setbacks, sidewalks, and road cross-sections. The staff has provided an analysis based on a commitment from the property owner that the setbacks will be corrected and that the construction plans will include a four foot concrete sidewalk and five foot landscaped parkstrip in compliance with the engineering standard cross-section approved with the preliminary plans.
11. No public or private roads are being vacated as part of this plat amendment. As represented by the applicant, the only portion of the public road being altered is in the modified final approval request of phase 1b where a plat was not recorded.
12. Good cause for the amendment exists in that the proposal facilitates changes to rental cabins being proposed with an updated product determined to be acceptable to the County. The densities proposed, although higher than the original phase 1a plat, are within the approved densities of the master plan approval for the Strawberry Phase.
13. All owners within the existing phase 1a plat have provided a consent document for the developer to proceed with the request.
14. The proposal is consistent with Utah Code §17-27a-609.
15. The County determines that the proposed final plan includes only minor inconsequential changes from the approved Preliminary Plans and can be approved with conditions.

***Conditions:***

1. Prior to final plat recording or any engineering construction permits, the amendment to the development agreement will need to be signed and recorded.

2. Prior to plat recording or any engineering construction permits, DRC conditions related to building pad location and conflicting documents related to the street cross sections and site plan must be resolved to ensure adequate setbacks and building separations are met.
3. Prior to plat recording, cost estimates and a cash bond or letter of credit must be provided for all improvements necessary for issuance of a building permit. This includes, but may not be limited to, culinary water, power, propane system, sewer system, fire flow, and hard surface roads, etc.
4. The additional fee-in-lieu for affordable housing shall be paid prior to plat recording.
5. A notice of interest shall be recorded on each lot/unit stating that the main access can be closed at any time, for any length of time, and if so, only the seasonal access will be provided. The NOI for each lot shall be required to be recorded prior to issuance of a building permit and evidence of the recording submitted with each permit.
6. The improvements and directional signage for the emergency access out to the Renegade Marina will need to be done prior to occupancy of the first unit. Necessary improvements are to Forest Service standards. Prior to the first occupancy permit, an inspection by the SSD, Forest Service, and developer should be done and improvements made so that a two-wheel drive vehicle can use the emergency access. Signage should be clear to direct people out following the shortest route.
7. Consideration should be given for other emergency evacuation options i.e. helipads at key locations, snow coaches, fire shelters, grooming of the Devils Notch road and road to Highway 6 for second accesses as shown in the emergency evacuation plan.
8. A final site plan application will be required for all commercial uses, including the reunion lodge, and for the open space and amenities. Review of those applications will require the Planning Commission to find that the proposed commercial uses are appropriate for the development and will fit in with the surroundings and open space as per 16.29.03(B) (2012).
9. Any agreements with the Bureau of Reclamation regarding the crossing of the dam are to be provided by the applicant to the County to ensure conditions and expectations of the outside review agencies are clearly understood by all stakeholders.
10. Future phases will require the applicant to coordinate with the BOR and State RDCC.
11. Any conditions/concerns noted in the DRC report shall be resolved to the satisfaction of the DRC members prior to plat recording.
12. All owners within the phase 1a plat will be required to sign owner's consent on the plat.

### **ALTERNATIVE ACTIONS**

The following is a list of possible motions the Planning Commission can take. If the action taken is inconsistent with the potential findings listed in this staff report, the Planning Commission should state new findings.

1. Approve. This action may be taken if the Planning Commission finds that the Final Subdivision request is compliant as proposed with Wasatch County Code and all other applicable ordinances.
2. Approve with Conditions. This action can be taken if the Planning Commission finds that issues can be resolved subject to the conditions noted.
3. Continue. This action can be taken if the Planning Commission needs additional information before making a recommendation, if there are issues that have not been resolved, or if the application is not complete.
4. Deny. This action can be taken if the Planning Commission finds that the proposal does not meet applicable codes and/or ordinances.

**EXHIBITS**

- A. Vicinity Plan
- B. Existing Phase 1a Plat
- C. Proposed Subdivision Plats
- D. Proposed Site Plan
- E. Proposed Trailhead
- F. Landscape Plan
- G. Trail Plan
- H. Proposed Affordable Housing Obligation Amendment
- I. Master Plan ERU Breakdown
- J. DRC Report



**EXHIBIT A – Vicinity Plan**

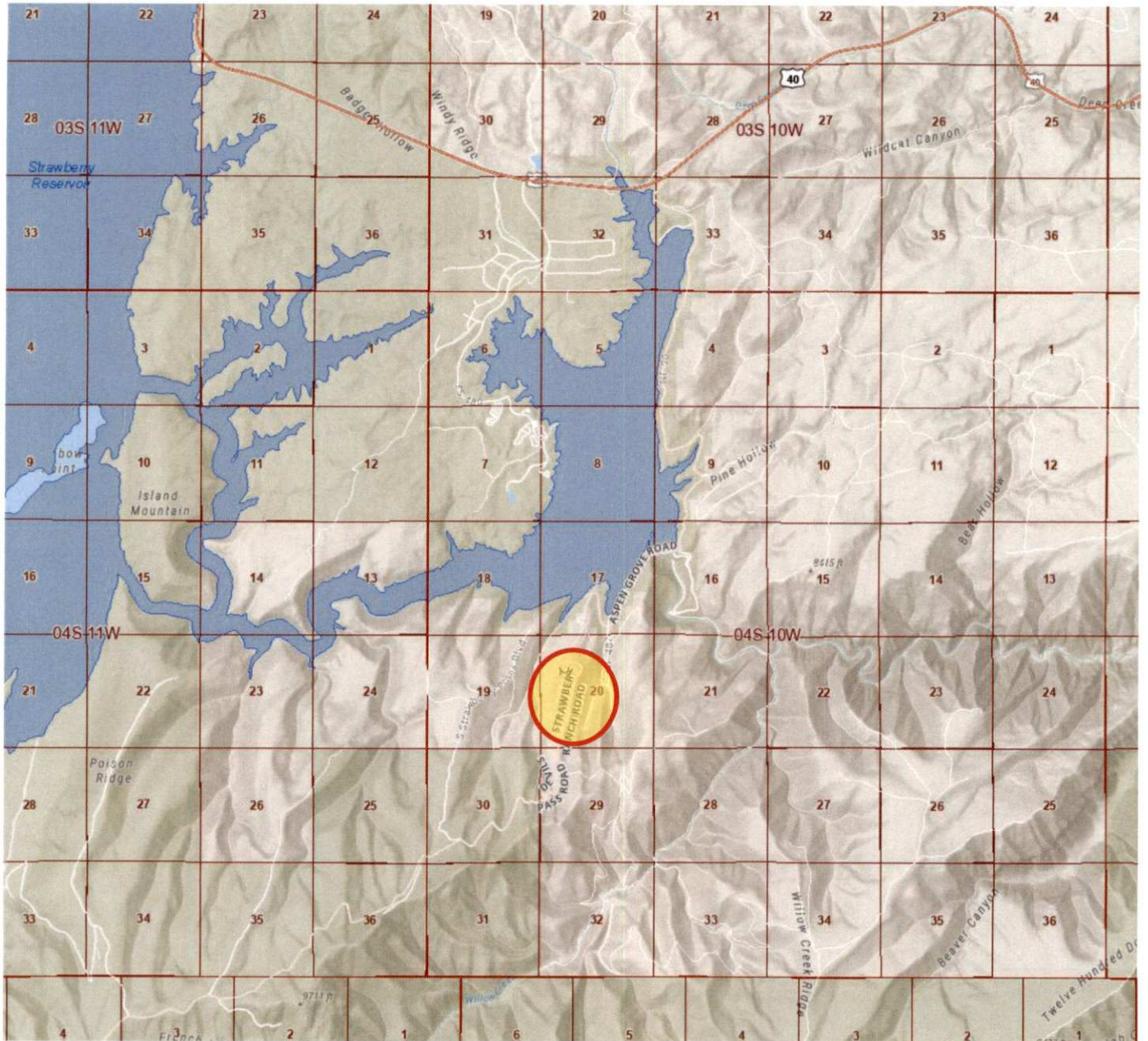




EXHIBIT B – Existing Phase 1a Plat

<p><b>OWNER'S DECLARATION</b></p> <p>I, the undersigned, hereby declare that I am the owner of the property described in this plat and that I am the owner of all of the property described in this plat. I hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief. I have read and understand the contents of this plat and the provisions of the plat and I hereby agree to be bound by the terms and conditions of this plat.</p> <p>_____          JERRY L. BULLOCK          OWNER</p>	<p><b>BOUNDARY DESCRIPTION</b></p> <p>THE PROPERTY DESCRIBED IN THIS PLAT IS A PORTION OF THE PROPERTY DESCRIBED IN SECTION 17, T12N, R10E, S4E, OF THE SWASATCH COUNTY PLANNING DISTRICT, SWASATCH COUNTY, NEVADA. THE PROPERTY IS BOUNDARY LINED BY THE CENTER LINE OF THE ROAD DESCRIBED IN SECTION 17, T12N, R10E, S4E, OF THE SWASATCH COUNTY PLANNING DISTRICT, SWASATCH COUNTY, NEVADA. THE PROPERTY IS BOUNDARY LINED BY THE CENTER LINE OF THE ROAD DESCRIBED IN SECTION 17, T12N, R10E, S4E, OF THE SWASATCH COUNTY PLANNING DISTRICT, SWASATCH COUNTY, NEVADA. THE PROPERTY IS BOUNDARY LINED BY THE CENTER LINE OF THE ROAD DESCRIBED IN SECTION 17, T12N, R10E, S4E, OF THE SWASATCH COUNTY PLANNING DISTRICT, SWASATCH COUNTY, NEVADA. THE PROPERTY IS BOUNDARY LINED BY THE CENTER LINE OF THE ROAD DESCRIBED IN SECTION 17, T12N, R10E, S4E, OF THE SWASATCH COUNTY PLANNING DISTRICT, SWASATCH COUNTY, NEVADA.</p>
<p><b>ACKNOWLEDGMENT</b></p> <p>I, the undersigned, hereby acknowledge that I am the owner of the property described in this plat and that I am the owner of all of the property described in this plat. I hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief. I have read and understand the contents of this plat and the provisions of the plat and I hereby agree to be bound by the terms and conditions of this plat.</p> <p>_____          JERRY L. BULLOCK          OWNER</p>	<p><b>BASES OF BEARINGS</b></p> <p>THE BEARINGS AND DISTANCES FOR THE BOUNDARY LINES OF THIS PLAT WERE OBTAINED FROM THE FIELD SURVEY CONDUCTED BY THE SURVEYOR AND PROFESSIONAL LAND SURVEYOR. THE BEARINGS AND DISTANCES FOR THE BOUNDARY LINES OF THIS PLAT WERE OBTAINED FROM THE FIELD SURVEY CONDUCTED BY THE SURVEYOR AND PROFESSIONAL LAND SURVEYOR. THE BEARINGS AND DISTANCES FOR THE BOUNDARY LINES OF THIS PLAT WERE OBTAINED FROM THE FIELD SURVEY CONDUCTED BY THE SURVEYOR AND PROFESSIONAL LAND SURVEYOR.</p>
<p><b>APPROVALS</b></p> <p>SWASATCH COUNTY SOLID WASTE          APPROVED BY: _____          DIRECTOR</p> <p>SWASATCH COUNTY WEED BOARD          APPROVED BY: _____          DIRECTOR</p> <p>COUNTY ENGINEER DEPARTMENT          APPROVED BY: _____          DIRECTOR</p>	<p><b>SURVEYOR'S CERTIFICATE</b></p> <p>I, the undersigned, hereby certify that I am a duly licensed Professional Land Surveyor and that I have personally supervised and conducted the survey of the property described in this plat. I hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief. I have read and understand the contents of this plat and the provisions of the plat and I hereby agree to be bound by the terms and conditions of this plat.</p> <p>_____          SURVEYOR</p>
<p><b>APPROVALS</b></p> <p>PUBLIC WORKS DEPARTMENT          APPROVED BY: _____          DIRECTOR</p> <p>HEALTH DEPARTMENT          APPROVED BY: _____          DIRECTOR</p> <p>COUNTY ATTORNEY          APPROVED BY: _____          COUNTY ATTORNEY</p>	<p><b>COUNTY PLANNING OFFICE</b></p> <p>APPROVED BY: _____          COUNTY PLANNING OFFICE</p>
<p><b>APPROVALS</b></p> <p>SWASATCH COUNTY FIRE CHIEF          APPROVED BY: _____          FIRE CHIEF</p> <p>SWASATCH COUNTY WATER RESOURCES          APPROVED BY: _____          DIRECTOR</p> <p>SWASATCH COUNTY PLANNING COMMISSION          APPROVED BY: _____          CHAIRMAN</p>	<p><b>COUNTY ENGINEER DEPARTMENT</b></p> <p>APPROVED BY: _____          DIRECTOR</p>
<p><b>VICINITY MAP</b></p>	
<p><b>SWASATCH COUNTY FIRE CHIEF</b></p> <p>APPROVED BY: _____          FIRE CHIEF</p>	<p><b>SWASATCH COUNTY WATER RESOURCES</b></p> <p>APPROVED BY: _____          DIRECTOR</p>
<p><b>SWASATCH COUNTY PLANNING COMMISSION</b></p> <p>APPROVED BY: _____          CHAIRMAN</p>	<p><b>SWASATCH COUNTY PLANNING OFFICE</b></p> <p>APPROVED BY: _____          COUNTY PLANNING OFFICE</p>
<p><b>SWASATCH COUNTY SOLID WASTE</b></p> <p>APPROVED BY: _____          DIRECTOR</p>	<p><b>SWASATCH COUNTY WEED BOARD</b></p> <p>APPROVED BY: _____          DIRECTOR</p>
<p><b>COUNTY ENGINEER DEPARTMENT</b></p> <p>APPROVED BY: _____          DIRECTOR</p>	<p><b>SWASATCH COUNTY RECORDS</b></p> <p>RECORDED BY: _____          COUNTY RECORDS</p>







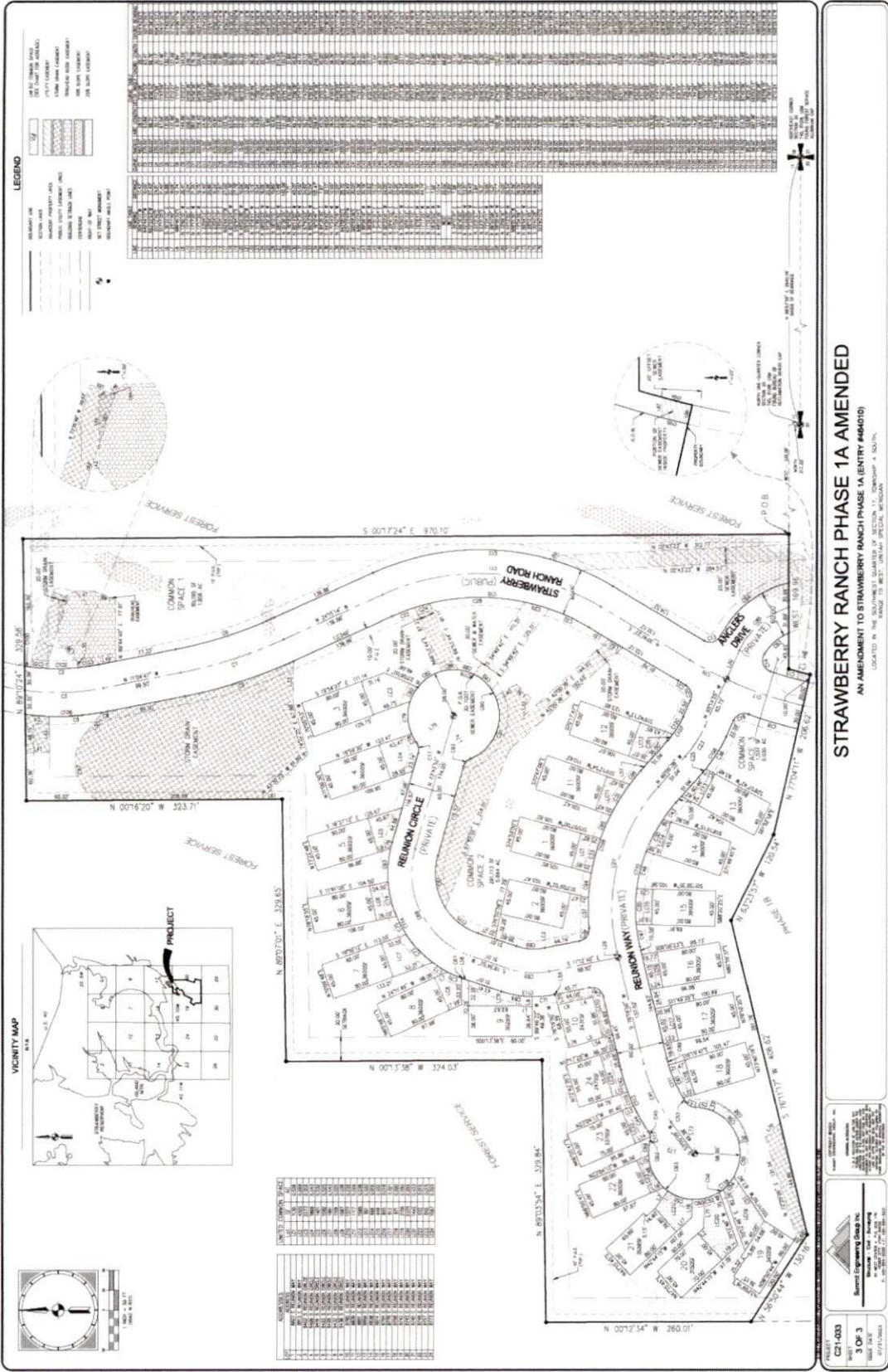




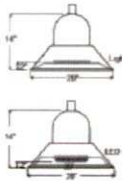




EXHIBIT D – Proposed Site Plan



**ANP Lighting** Specifications **BVA2001**



Project Name: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

**Specifications**  
**Materials:** All parts are stainless 304 cast aluminum and high strength aluminum forgings. All hardware (finished) shall be stainless steel or zinc plated steel.  
**Finish:** A polyester powder coat high quality finish. Marine grade finish is available.  
**Mounting:** Post Mount. Bolt chain pin to base (optional).  
**Delivered:** Unfinished and light 120-277 is standard. A 50W version is available.  
 See pages 2 and 3 for LED options and other specifications.  
**Weight:** 16 lbs  
**EPA:** 0.92

**Color:** LUP  
**BVA2001 CPM7BW30 TS 40K PC PA1613 72**  
 Luminaire Series Light Source & Voltage Optic CCT Accessories Mounting Finish

**BVA2001 - LED**

Dark Sky Friendly

Category Number

**1** BVA2001 **2** CPM7BW30 **3** TS **4** 40K **5** PC **6** PA1613 **7** 72

**1 LIGHT SOURCE & WATTAGES**

Platform	Light Guide Small
CPM7BW30 (30W Ceramic LED)	T2 (Type II) (30W, 40W and 50W Only)
CPM7BW30 (30W Ceramic LED)	T3 (Type III)
CPM7BW30 (30W Ceramic LED)	T4 (Type IV)
CPM7BW30 (30W Ceramic LED)	T8 (Type V)

**4 ACCESSORIES\*\***

W3030 (30" Fluorescent Tube)
W3036 (36" Fluorescent Tube)
W3048 (48" Fluorescent Tube)
W3060 (60" Fluorescent Tube)
W3072 (72" Fluorescent Tube)
W3084 (84" Fluorescent Tube)
W3096 (96" Fluorescent Tube)
W3108 (108" Fluorescent Tube)
W3120 (120" Fluorescent Tube)
W3132 (132" Fluorescent Tube)
W3144 (144" Fluorescent Tube)
W3156 (156" Fluorescent Tube)
W3168 (168" Fluorescent Tube)
W3180 (180" Fluorescent Tube)
W3192 (192" Fluorescent Tube)
W3204 (204" Fluorescent Tube)
W3216 (216" Fluorescent Tube)
W3228 (228" Fluorescent Tube)
W3240 (240" Fluorescent Tube)
W3252 (252" Fluorescent Tube)
W3264 (264" Fluorescent Tube)
W3276 (276" Fluorescent Tube)
W3288 (288" Fluorescent Tube)
W3300 (300" Fluorescent Tube)
W3312 (312" Fluorescent Tube)
W3324 (324" Fluorescent Tube)
W3336 (336" Fluorescent Tube)
W3348 (348" Fluorescent Tube)
W3360 (360" Fluorescent Tube)
W3372 (372" Fluorescent Tube)
W3384 (384" Fluorescent Tube)
W3396 (396" Fluorescent Tube)
W3408 (408" Fluorescent Tube)
W3420 (420" Fluorescent Tube)
W3432 (432" Fluorescent Tube)
W3444 (444" Fluorescent Tube)
W3456 (456" Fluorescent Tube)
W3468 (468" Fluorescent Tube)
W3480 (480" Fluorescent Tube)
W3492 (492" Fluorescent Tube)
W3504 (504" Fluorescent Tube)
W3516 (516" Fluorescent Tube)
W3528 (528" Fluorescent Tube)
W3540 (540" Fluorescent Tube)
W3552 (552" Fluorescent Tube)
W3564 (564" Fluorescent Tube)
W3576 (576" Fluorescent Tube)
W3588 (588" Fluorescent Tube)
W3600 (600" Fluorescent Tube)
W3612 (612" Fluorescent Tube)
W3624 (624" Fluorescent Tube)
W3636 (636" Fluorescent Tube)
W3648 (648" Fluorescent Tube)
W3660 (660" Fluorescent Tube)
W3672 (672" Fluorescent Tube)
W3684 (684" Fluorescent Tube)
W3696 (696" Fluorescent Tube)
W3708 (708" Fluorescent Tube)
W3720 (720" Fluorescent Tube)
W3732 (732" Fluorescent Tube)
W3744 (744" Fluorescent Tube)
W3756 (756" Fluorescent Tube)
W3768 (768" Fluorescent Tube)
W3780 (780" Fluorescent Tube)
W3792 (792" Fluorescent Tube)
W3804 (804" Fluorescent Tube)
W3816 (816" Fluorescent Tube)
W3828 (828" Fluorescent Tube)
W3840 (840" Fluorescent Tube)
W3852 (852" Fluorescent Tube)
W3864 (864" Fluorescent Tube)
W3876 (876" Fluorescent Tube)
W3888 (888" Fluorescent Tube)
W3900 (900" Fluorescent Tube)
W3912 (912" Fluorescent Tube)
W3924 (924" Fluorescent Tube)
W3936 (936" Fluorescent Tube)
W3948 (948" Fluorescent Tube)
W3960 (960" Fluorescent Tube)
W3972 (972" Fluorescent Tube)
W3984 (984" Fluorescent Tube)
W3996 (996" Fluorescent Tube)
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W4056 (1056" Fluorescent Tube)
W4068 (1068" Fluorescent Tube)
W4080 (1080" Fluorescent Tube)
W4092 (1092" Fluorescent Tube)
W4104 (1104" Fluorescent Tube)
W4116 (1116" Fluorescent Tube)
W4128 (1128" Fluorescent Tube)
W4140 (1140" Fluorescent Tube)
W4152 (1152" Fluorescent Tube)
W4164 (1164" Fluorescent Tube)
W4176 (1176" Fluorescent Tube)
W4188 (1188" Fluorescent Tube)
W4200 (1200" Fluorescent Tube)
W4212 (1212" Fluorescent Tube)
W4224 (1224" Fluorescent Tube)
W4236 (1236" Fluorescent Tube)
W4248 (1248" Fluorescent Tube)
W4260 (1260" Fluorescent Tube)
W4272 (1272" Fluorescent Tube)
W4284 (1284" Fluorescent Tube)
W4296 (1296" Fluorescent Tube)
W4308 (1308" Fluorescent Tube)
W4320 (1320" Fluorescent Tube)
W4332 (1332" Fluorescent Tube)
W4344 (1344" Fluorescent Tube)
W4356 (1356" Fluorescent Tube)
W4368 (1368" Fluorescent Tube)
W4380 (1380" Fluorescent Tube)
W4392 (1392" Fluorescent Tube)
W4404 (1404" Fluorescent Tube)
W4416 (1416" Fluorescent Tube)
W4428 (1428" Fluorescent Tube)
W4440 (1440" Fluorescent Tube)
W4452 (1452" Fluorescent Tube)
W4464 (1464" Fluorescent Tube)
W4476 (1476" Fluorescent Tube)
W4488 (1488" Fluorescent Tube)
W4500 (1500" Fluorescent Tube)
W4512 (1512" Fluorescent Tube)
W4524 (1524" Fluorescent Tube)
W4536 (1536" Fluorescent Tube)
W4548 (1548" Fluorescent Tube)
W4560 (1560" Fluorescent Tube)
W4572 (1572" Fluorescent Tube)
W4584 (1584" Fluorescent Tube)
W4596 (1596" Fluorescent Tube)
W4608 (1608" Fluorescent Tube)
W4620 (1620" Fluorescent Tube)
W4632 (1632" Fluorescent Tube)
W4644 (1644" Fluorescent Tube)
W4656 (1656" Fluorescent Tube)
W4668 (1668" Fluorescent Tube)
W4680 (1680" Fluorescent Tube)
W4692 (1692" Fluorescent Tube)
W4704 (1704" Fluorescent Tube)
W4716 (1716" Fluorescent Tube)
W4728 (1728" Fluorescent Tube)
W4740 (1740" Fluorescent Tube)
W4752 (1752" Fluorescent Tube)
W4764 (1764" Fluorescent Tube)
W4776 (1776" Fluorescent Tube)
W4788 (1788" Fluorescent Tube)
W4800 (1800" Fluorescent Tube)
W4812 (1812" Fluorescent Tube)
W4824 (1824" Fluorescent Tube)
W4836 (1836" Fluorescent Tube)
W4848 (1848" Fluorescent Tube)
W4860 (1860" Fluorescent Tube)
W4872 (1872" Fluorescent Tube)
W4884 (1884" Fluorescent Tube)
W4896 (1896" Fluorescent Tube)
W4908 (1908" Fluorescent Tube)
W4920 (1920" Fluorescent Tube)
W4932 (1932" Fluorescent Tube)
W4944 (1944" Fluorescent Tube)
W4956 (1956" Fluorescent Tube)
W4968 (1968" Fluorescent Tube)
W4980 (1980" Fluorescent Tube)
W4992 (1992" Fluorescent Tube)
W5004 (2004" Fluorescent Tube)
W5016 (2016" Fluorescent Tube)
W5028 (2028" Fluorescent Tube)
W5040 (2040" Fluorescent Tube)
W5052 (2052" Fluorescent Tube)
W5064 (2064" Fluorescent Tube)
W5076 (2076" Fluorescent Tube)
W5088 (2088" Fluorescent Tube)
W5100 (2100" Fluorescent Tube)
W5112 (2112" Fluorescent Tube)
W5124 (2124" Fluorescent Tube)
W5136 (2136" Fluorescent Tube)
W5148 (2148" Fluorescent Tube)
W5160 (2160" Fluorescent Tube)
W5172 (2172" Fluorescent Tube)
W5184 (2184" Fluorescent Tube)
W5196 (2196" Fluorescent Tube)
W5208 (2208" Fluorescent Tube)
W5220 (2220" Fluorescent Tube)
W5232 (2232" Fluorescent Tube)
W5244 (2244" Fluorescent Tube)
W5256 (2256" Fluorescent Tube)
W5268 (2268" Fluorescent Tube)
W5280 (2280" Fluorescent Tube)
W5292 (2292" Fluorescent Tube)
W5304 (2304" Fluorescent Tube)
W5316 (2316" Fluorescent Tube)
W5328 (2328" Fluorescent Tube)
W5340 (2340" Fluorescent Tube)
W5352 (2352" Fluorescent Tube)
W5364 (2364" Fluorescent Tube)
W5376 (2376" Fluorescent Tube)
W5388 (2388" Fluorescent Tube)
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W5412 (2412" Fluorescent Tube)
W5424 (2424" Fluorescent Tube)
W5436 (2436" Fluorescent Tube)
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W5460 (2460" Fluorescent Tube)
W5472 (2472" Fluorescent Tube)
W5484 (2484" Fluorescent Tube)
W5496 (2496" Fluorescent Tube)
W5508 (2508" Fluorescent Tube)
W5520 (2520" Fluorescent Tube)
W5532 (2532" Fluorescent Tube)
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W5556 (2556" Fluorescent Tube)
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W5580 (2580" Fluorescent Tube)
W5592 (2592" Fluorescent Tube)
W5604 (2604" Fluorescent Tube)
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W5640 (2640" Fluorescent Tube)
W5652 (2652" Fluorescent Tube)
W5664 (2664" Fluorescent Tube)
W5676 (2676" Fluorescent Tube)
W5688 (2688" Fluorescent Tube)
W5700 (2700" Fluorescent Tube)
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W5772 (2772" Fluorescent Tube)
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W5856 (2856" Fluorescent Tube)
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W5916 (2916" Fluorescent Tube)
W5928 (2928" Fluorescent Tube)
W5940 (2940" Fluorescent Tube)
W5952 (2952" Fluorescent Tube)
W5964 (2964" Fluorescent Tube)
W5976 (2976" Fluorescent Tube)
W5988 (2988" Fluorescent Tube)
W6000 (3000" Fluorescent Tube)

**5 FINISHES**

Finish Name	Color	Material	Finish	Price
Aluminum	16	100	Aluminum	16
Black	17	100	Black	17
Blue	18	100	Blue	18
Green	19	100	Green	19
Grey	20	100	Grey	20
Red	21	100	Red	21
White	22	100	White	22
Yellow	23	100	Yellow	23
Orange	24	100	Orange	24
Purple	25	100	Purple	25
Brown	26	100	Brown	26
Pink	27	100	Pink	27
Gold	28	100	Gold	28
Silver	29	100	Silver	29
Dark Blue	30	100	Dark Blue	30
Light Blue	31	100	Light Blue	31
Dark Green	32	100	Dark Green	32
Light Green	33	100	Light Green	33
Dark Red	34	100	Dark Red	34
Light Red	35	100	Light Red	35
Dark Purple	36	100	Dark Purple	36
Light Purple	37	100	Light Purple	37
Dark Brown	38	100	Dark Brown	38
Light Brown	39	100	Light Brown	39
Dark Pink	40	100	Dark Pink	40
Light Pink	41	100	Light Pink	41
Dark Gold	42	100	Dark Gold	42
Light Gold	43	100	Light Gold	43
Dark Silver	44	100	Dark Silver	44
Light Silver	45	100	Light Silver	45

**2 OPTICS**

Platform	Light Guide Small
T2 (Type II)	T2 (Type II)
T3 (Type III)	T3 (Type III)
T4 (Type IV)	T4 (Type IV)
T8 (Type V)	T8 (Type V)

**3 COLOR TEMPERATURE (CCT)**

2700 (2700K)
3000 (3000K)
3500 (3500K)
4000 (4000K)

**6 MOUNTING SOURCE**

Post Mount Arms	Post Mount Arms
See Page 8 for Specifications	See Page 8 for Specifications
PA1412	PA2112
PA1416	PA2116
PA1420	PA2120
PA1424	PA2124
PA1428	PA2128
PA1432	PA2132
PA1436	PA2136
PA1440	PA2140
PA1444	PA2144
PA1448	PA2148
PA1452	PA2152
PA1456	PA2156
PA1460	PA2160
PA1464	PA2164
PA1468	PA2168
PA1472	PA2172
PA1476	PA2176
PA1480	PA2180
PA1484	PA2184
PA1488	PA2188
PA1492	PA2192
PA1496	PA2196
PA1500	PA2200
PA1504	PA2204
PA1508	PA2208
PA1512	PA2212
PA1516	PA2216
PA1520	PA2220
PA1524	PA2224
PA1528	PA2228
PA1532	PA2232
PA1536	PA2236
PA1540	PA2240
PA1544	PA2244
PA1548	PA2248
PA1552	PA2252
PA1556	PA2256
PA1560	PA2260
PA1564	PA2264
PA1568	PA2268
PA1572	PA2272
PA1576	PA2276
PA1580	PA2280
PA1584	PA2284
PA1588	PA2288
PA1592	PA2292
PA1596	PA2296
PA1600	PA2300
PA1604	PA2304
PA1608	PA2308
PA1612	PA2312
PA1616	PA2316
PA1620	PA2320
PA1624	PA2324
PA1628	PA2328
PA1632	PA2332
PA1636	PA2336
PA1640	PA2340
PA1644	PA2344
PA1648	PA2348
PA1652	PA2352
PA1656	PA2356
PA1660	PA2360
PA1664	PA2364
PA1668	PA2368
PA1672	PA2372
PA1676	PA2376
PA1680	PA2380
PA1684	PA2384
PA1688	PA2388
PA1692	PA2392
PA1696	PA2396
PA1700	PA2400
PA1704	PA2404

**ANPLighting** Specifications BL8511

**Project:** \_\_\_\_\_  
**Fixture Type:** \_\_\_\_\_  
**Quantity:** \_\_\_\_\_  
**Customer:** \_\_\_\_\_

**Specifications:**  
**Material:** All parts are durable, high strength extruded aluminum with a clear anodized finish. All mounting hardware shall be stainless steel or zinc plated steel.  
**Lens:** Lens is polycarbonate lens.  
**Mounting:** Standard fixture bolts are 1/8" x 10" x 2". Bolt, nuts and washers shall be full thread galvanized steel.  
**Ball pattern:** diameter is 9".  
**Delivery:** Delivery weight 220.277 lb. Standard 5'7K, 100K, and 11'V delivery in 1% increments are standard for LED models.  
**Ball pattern:** 2 balls for LED models and other sizes, voltage and delivery.  
**Finish:** A polycarbonate clear high quality finish is electrochemically treated and baked at 450° for exceptional durability and color retention. Products undergo an intensive five step cleaning and pre-treatment process for maximum paint adhesion.  
**Material:** Marine grade finish powder superior salt, humidity and UV protection. The coating will last up to 3000 hours of corrosion salt spray, comes with a 5-year warranty and is available in other finishes or glass surface.  
**Manufacture:** Central factory for custom or modified designs.

**LEDs:** BL8511 CL M010LD N 40K - GP115 - Z2  
 Model Series Lens Light Source Color CCT Accessories Finish

**Weight:** 25.0 lbs

1	2	3	4	5	6
BL8511	FR	M010LD	N	27K	EMG-LED5 - S1

1	2	3	4	5	6
<b>LENS</b>	<b>COLOR TEMPERATURE (CCT)</b>	<b>FINISHES</b>	<b>EMG-LED5 (5W, LED Emergency Driver)</b>	<b>OPTICS</b>	
CL (Clear Polycarbonate Lens)	27K (2700K)	FR (Fluoropolymer Lens)	EMG-LED5 (7W, LED Emergency Driver)	N (11' Taper Distribution with 7W LED Lens)	
FR (Fluoropolymer Lens)	30K (3000K)		EMG-LED5 (10W, LED Emergency Driver)		
	30K (3000K)		EMG-LED5 (15W, LED Emergency Driver)		
	40K (4000K)		EMG-LED5 (20W, LED Emergency Driver)		
			EMG-LED5 (25W, LED Emergency Driver)		
			EMG-LED5 (30W, LED Emergency Driver)		
			EMG-LED5 (35W, LED Emergency Driver)		
			EMG-LED5 (40W, LED Emergency Driver)		
			EMG-LED5 (45W, LED Emergency Driver)		
			EMG-LED5 (50W, LED Emergency Driver)		
			EMG-LED5 (55W, LED Emergency Driver)		
			EMG-LED5 (60W, LED Emergency Driver)		
			EMG-LED5 (65W, LED Emergency Driver)		
			EMG-LED5 (70W, LED Emergency Driver)		
			EMG-LED5 (75W, LED Emergency Driver)		
			EMG-LED5 (80W, LED Emergency Driver)		
			EMG-LED5 (85W, LED Emergency Driver)		
			EMG-LED5 (90W, LED Emergency Driver)		
			EMG-LED5 (95W, LED Emergency Driver)		
			EMG-LED5 (100W, LED Emergency Driver)		

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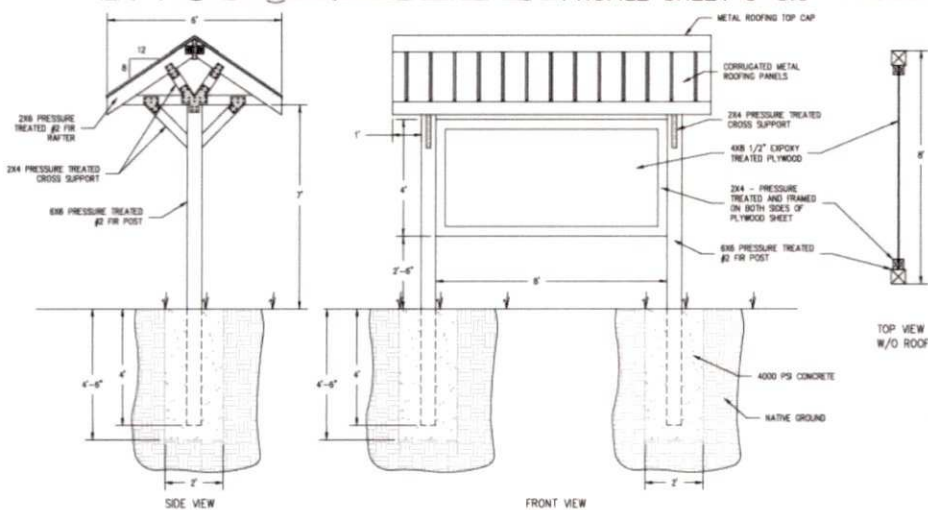
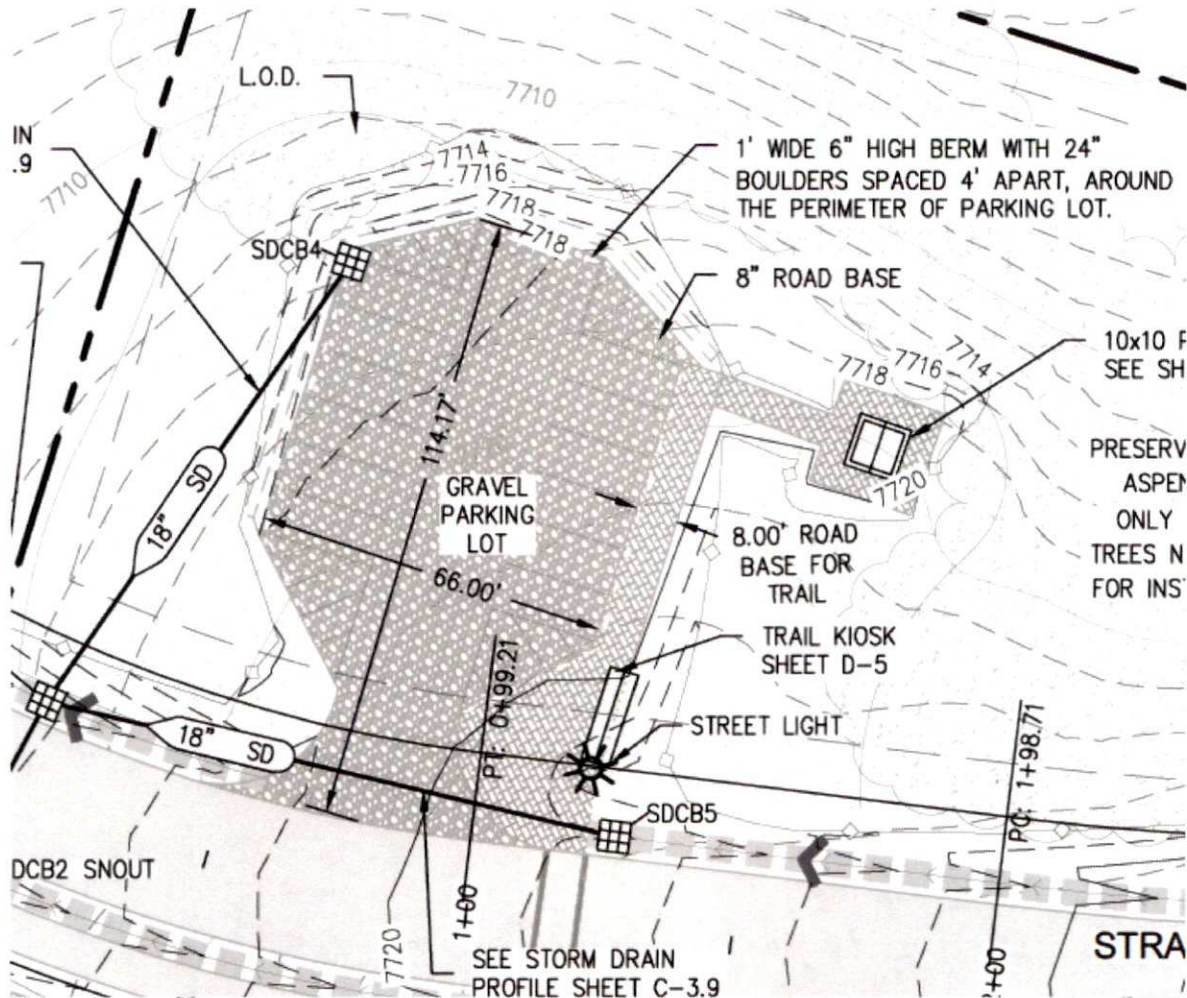
1-800-548-3227  
ANPLighting.com



PHOTO EXAMPLE OF CONSTRUCTED FIRE HYDRANT LIGHT BOLLARD

4.7 FIRE HYDRANT LIGHT BOLLARD

**EXHIBIT E – Proposed Trailhead**



**5.5 BEAR PROOF D**  
 Z:\Bear Guardian\Dumpsters - Teton\



**5.3 KIOSK SIGN DETAIL**  
 Scales: NTS

EXHIBIT F – Landscape Plans



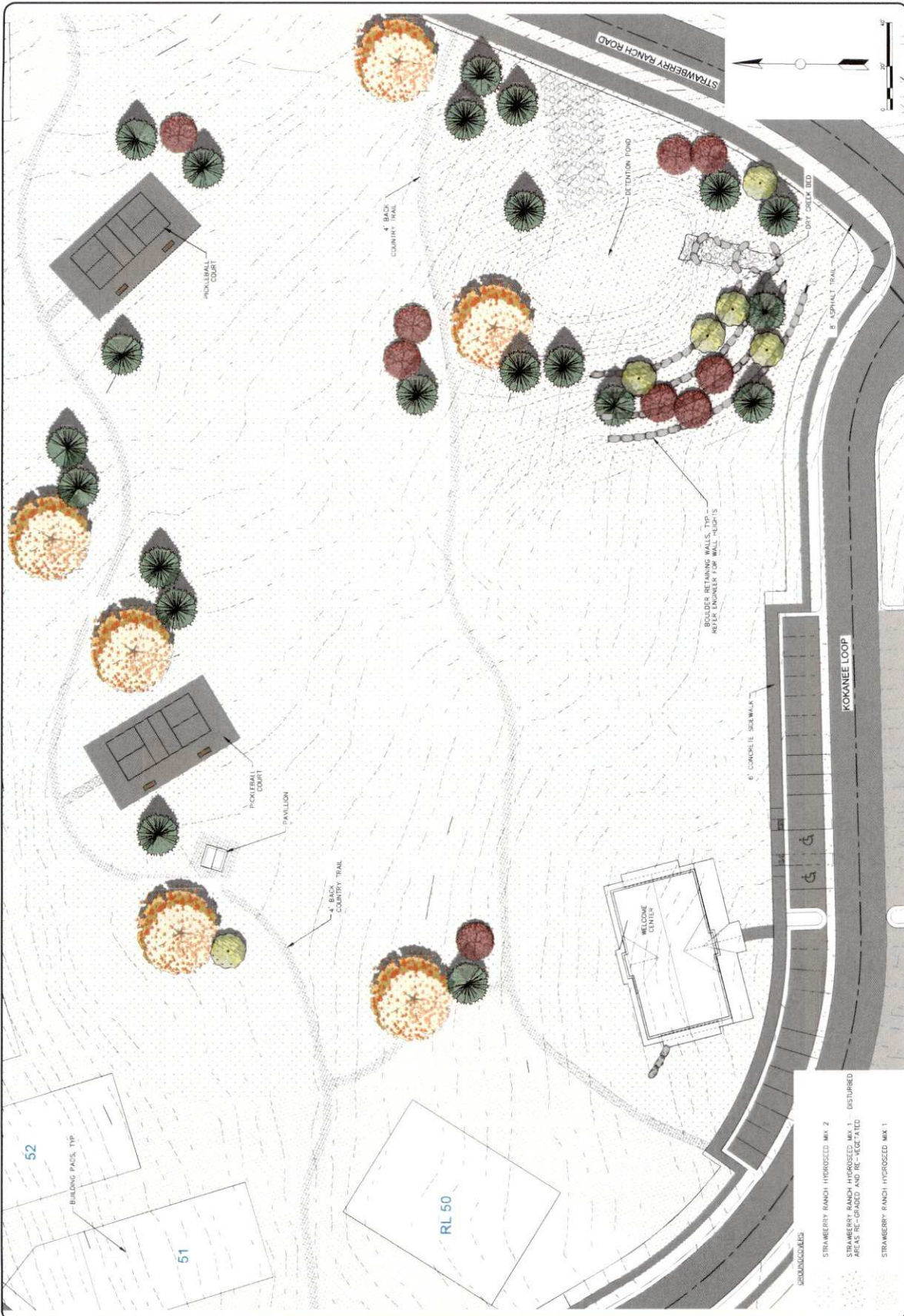


<p>Summit Engineering Group Inc.                  12345 Main St., Suite 100                  Denver, CO 80202                  Phone: (303) 555-1234                  Fax: (303) 555-5678                  Email: info@summiteng.com</p>	<p>DATE: 02/11/2021                  PROJECT: ENLARGED LANDSCAPE PLAN                  SHEET: L-103</p>		SHEET NO.: SHEET DATE:
			PROJECT NO.: SHEET NO.:





<p>Summit Engineering Group Inc.                  10000 W. 10th Ave., Suite 100                  Denver, CO 80202                  Phone: (303) 751-1000                  Fax: (303) 751-1001                  Email: info@summiteng.com</p>		DATE: 02/11/2022 DRAWN BY: JLD CHECKED BY: JLD PROJECT: STRAWBERRY RANCH HYDROLOGICAL PLAN	CLIENT: STRAWBERRY RANCH PROJECT: STRAWBERRY RANCH HYDROLOGICAL PLAN SHEET: L-104
		PROJECT: STRAWBERRY RANCH HYDROLOGICAL PLAN SHEET: L-104	PROJECT: STRAWBERRY RANCH HYDROLOGICAL PLAN SHEET: L-104



- STRAWBERRY RANCH HYDROLOGICAL MK 2
- STRAWBERRY RANCH HYDROLOGICAL MK 1 - DISTURBED AREAS - GRADED AND RE-VEGETATED
- STRAWBERRY RANCH HYDROLOGICAL MK 1



<p>Summit Engineering Group Inc.                  55 WEST CENTER • P.O. BOX 178                  STRATTON, VT • 05153-0178                  P: 435-254-8229 • F: 435-254-8231</p>	<p>DATE: 09/11/2025</p> <p>PROJECT NUMBER: STRAWBERRY RANCH</p> <p>SHEET TITLE: LANDSCAPE IRRIGATION PLAN</p>	PROJECT: STRAWBERRY RANCH SHEET: C21-033 L-106
		PROJECT OWNER: STRAWBERRY RANCH DESIGNER: SUMMIT ENGINEERING GROUP INC. DATE: 09/11/2025











**EXHIBIT Ad1-C – Final Approval Meeting Minutes**



## Wasatch County Planning Commission

# Report of Action

### 10-August-2023

*Commissioner Chuck Zuercher was present as Chair.*

**ITEM #4** – Brian Balls, representing Burke Roney, requests a Plat Amendment to Strawberry Ranch Phase 1a and an amended Final Subdivision approval for Strawberry Ranch Phase 1b in order to amend previous approvals for phases 1A and 1B of the master planned development to vacate platted commercial lots from phase 1a; increase the size of PUD cabin lots from an average of 900 square feet to now be 3,600 square feet; increase the number of cabin ERUs from 40.99 to 59 cabin ERUs and to decrease commercial ERUs from 4.69 to 2.4; and move the location of a clubhouse and welcome center from 1a to 1b. The proposal also includes a requested amendment to the development agreement which would have the effect of accepting the proposed modifications as compliant with the preliminary approval. If approved, the overall site acreage would also increase from approximately 18 acres to instead include 36.815 acres located at 9514 S Strawberry Ranch Road in the Preservation (P160) zone. (DEV-6741; Austin Corry)

**STAFF PRESENTATION** - The Staff Report to the Planning Commission provides details of the facts of the case and the Staff's analysis, conclusions, and recommendations.

**APPLICANT AND PUBLIC COMMENT** - Any comments received prior to completion of the Staff Report are addressed in the Staff Report to the Planning Commission. Key issues raised in written comments received subsequent to the Staff Report or public comment during the public hearing included the following:

- Burke Roney addressed the commission and stated that they are willing to comply with all the items addressed in the development agreement.
- The proposal, according to Mr. Roney, is to change three main things: one move the storage units so they are not so prominent; two enlarge the size of the building pads from 700 sq. ft. to 3600 sq. ft. and; three combine the welcome center/convenience with the activity center. Mr. Roney stated that they are deferring the commercial not lessening it.
- Todd Cates, representative for Mr. Roney, addressed the commission and stated that the development agreement commits them to build the commercial and amenities.
- Mr. Roney stated that they have the water for all 1234 units though at time approved for a lower number.
- Mr. Roney mentioned the second access and the requirement to improve the second access. The forest service mentioned that the county cannot require improvements on a forest road. Mr. Roney also noted that the County had removed the requirement for the bypass road from the Dam and he isn't sure why that isn't in the record.
- Todd Cates addressed the commission and went through a power point. Mr. Cates requested some modifications to the recommended conditions. One is to reword the condition regarding the plat note for the road. Mr. Corry asked for clarity on where the discrepancy was between the proposed condition and Mr. Cates recommendation. The primary difference was determined to be the inclusion of the word "secondary" to understand which road was being referred to.

**PLANNING COMMISSION DISCUSSION** - Key points discussed by the Planning Commission included the following:

- Commissioner Hendricks felt that the commercial should not be removed and it should be replaced elsewhere especially since a density bonus was granted for it.
- Commissioner Hendricks mentioned that condition number 6 should be changed so the "should" is a "shall" be inspected by the SSD, Fire District and others prior to the first occupancy certificate being issued.
- Commissioner Grandquis asked about the LEED certification and the density addition.
- Commissioner Hendricks asked if they are still committed to build the commercial. Mr. Roney replied yes.
- Commissioner Rigby asked about the discussion with the Fire District. Mr. Roney stated that they have a development agreement that stipulated what needs to be provided.
- Jon Woodard mentioned that the main access can be closed at any time and that is not under the control of the developer but the BOR.
- Commissioner Hendricks asked if this can be resolved by compliance with the development agreement.
- Commissioner Hendricks stated that this approval is not removing the commitment for commercial it is only relocating it to a future phase. He indicated that he would like to reword finding #8 to clarify this better. Jon Woodard offered suggested language that was drafted on the screen for consideration.

### **MOTION**

Commissioner Hendricks made a motion to approve the amendment and final plat for strawberry ranch phase 1A and 1B and forward it to the County Council with all the conditions and the findings in the staff report as modified.

Commissioner Cook seconded the motion.

**VOTE** ( 7 TO 0 )

Charles Zuercher	<u>AYE</u>	NAY	ABSTAIN	Doug Grandquis	<u>AYE</u>	NAY	ABSTAIN
Wendell Rigby	<u>AYE</u>	NAY	ABSTAIN	Scott Brubaker	<u>AYE</u>	NAY	ABSTAIN
Kimberly Cook	<u>AYE</u>	NAY	ABSTAIN	Doug Hronek	<u>AYE</u>	NAY	ABSTAIN
Mark Hendricks	<u>AYE</u>	NAY	ABSTAIN				

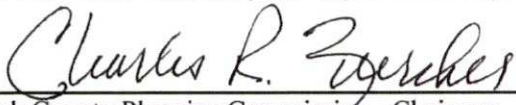
**FINDINGS / BASIS OF PLANNING COMMISSION DETERMINATION**

1. The density being proposed is consistent with what was approved in the original master plan and preliminary plan. It should be noted that the approved density numbers have been reduced from the master plan approval at the applicant's decision in Phase 1a to no longer pursue bonuses associated with providing LEED compliant design features.
2. There is a development agreement recorded that establishes the project vested approvals such as density, on- and off-site improvements, open space requirements, access etc.
3. The Development Review Committee has reviewed the project and forwarded the item for decision with a list of comments/concerns noted in the DRC report.
4. Per the DRC report, the requirements of the SRZ and Planned Performance sections of the code can be met with conditions and addressed in the development agreement.
5. The preliminary plans included review from state agencies which are included in the development agreement.
6. The applicant has proposed an amendment to the affordable housing obligation originally calculated for phase 1a. The proposal follows a similar procedure as the initial analysis, but increases from 0.65 AUE to 1 AUE after employee calculations increase by adding the proposed phase 1b which includes the activity center.
7. The proposal decreases the amount of commercial ERUs presented in the master plan.
8. The commercial ERUs shall be consistent with the master plan throughout the development and the commercial ERUs in phase 1A and 1B may be increased consistent with the master plan with proper site plan approvals.
9. The application is for subdivision approval only and does not include a site plan review.
10. The submitted plans contain errors or omissions related to setbacks, sidewalks, and road cross-sections. The staff has provided an analysis based on a commitment from the property owner that the setbacks will be corrected and that the construction plans will include a four foot concrete sidewalk and five foot landscaped parkstrip in compliance with the engineering standard cross-section approved with the preliminary plans.
11. No public or private roads are being vacated as part of this plat amendment. As represented by the applicant, the only portion of the public road being altered is in the modified final approval request of phase 1b where a plat was not recorded.
12. Good cause for the amendment exists in that the proposal facilitates changes to rental cabins being proposed with an updated product determined to be acceptable to the County. The densities proposed, although higher than the original phase 1a plat, are within the approved densities of the master plan approval for the Strawberry Phase.
13. All owners within the existing phase 1a plat have provided a consent document for the developer to proceed with the request.
14. The proposal is consistent with Utah Code §17-27a-609.
15. The County determines that the proposed final plan includes only minor inconsequential changes from the approved Preliminary Plans and can be approved with conditions.

**CONDITIONS**

1. Prior to final plat recording or any engineering construction permits, the amendment to the development agreement will need to be signed and recorded.
2. Prior to plat recording or any engineering construction permits, DRC conditions related to building pad location and conflicting documents related to the street cross sections and site plan must be resolved to ensure adequate setbacks and building separations are met.
3. Prior to plat recording, cost estimates and a cash bond or letter of credit must be provided for all improvements necessary for issuance of a building permit. This includes, but may not be limited to, culinary water, power, propane system, sewer system, fire flow, and hard surface roads, etc.
4. The additional fee-in-lieu for affordable housing shall be paid prior to plat recording.
5. A notice of interest shall be recorded on each lot/unit stating that the main access can be closed at any time, for any length of time, and if so, only the seasonal access will be provided. The NOI for each lot shall be required to be recorded prior to issuance of a building permit and evidence of the recording submitted with each permit.
6. The improvements and directional signage for the emergency access out to the Renegade Marina will need to be done prior to occupancy of the first unit. Necessary improvements are to Forest Service standards. Prior to the first occupancy permit, an inspection by the SSD, Forest Service, and developer should be done and improvements made so that a two-wheel drive vehicle can use the emergency access. Signage should be clear to direct people out following the shortest route.
7. Consideration should be given for other emergency evacuation options i.e. helipads at key locations, snow coaches, fire shelters, grooming of the Devils Notch road and road to Highway 6 for second accesses as shown in the emergency evacuation plan.
8. A final site plan application will be required for all commercial uses, including the reunion lodge, and for the open space and amenities. Review of those applications will require the Planning Commission to find that the proposed commercial uses are appropriate for the development and will fit in with the surroundings and open space as per 16.29.03(B) (2012).

9. Any agreements with the Bureau of Reclamation regarding the crossing of the dam are to be provided by the applicant to the County to ensure conditions and expectations of the outside review agencies are clearly understood by all stakeholders.
10. Future phases will require the applicant to coordinate with the BOR and State RDCC.
11. Any conditions/concerns noted in the DRC report shall be resolved to the satisfaction of the DRC members prior to plat recording.
12. All owners within the phase 1a plat will be required to sign owner's consent on the plat.



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Wasatch County Planning Commission - Chairman

The Staff Report is a part of the record of the decision of this item. Where findings of the Planning Commission differ from findings of Staff, those will be noted in this Report of Action. Official action of the Planning Commission on this item is subject to the approved minutes.

Wasatch County  
Planning Commission  
August 10, 2023



Item #4

Strawberry Ranch Phase 1a and 1b  
-Burke Roney-

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Plat Amendment/Final Subdivision Approval



# WASATCH COUNTY

## Planning Commission Staff Report

### Final Subdivision Approval

#### ITEM 4

Brian Balls, representing Burke Roney, requests a Plat Amendment to Strawberry Ranch Phase 1a and an amended Final Subdivision approval for Strawberry Ranch Phase 1b in order to amend previous approvals for phases 1A and 1B of the master planned development to vacate platted commercial lots from phase 1a; increase the size of PUD cabin lots from an average of 900 square feet to now be 3,600 square feet; increase the number of cabin ERUs from 40.99 to 59 cabin ERUs and to decrease commercial ERUs from 4.69 to 2.4; and move the location of a clubhouse and welcome center from 1a to 1b. The proposal also includes a requested amendment to the development agreement which would have the effect of accepting the proposed modifications as compliant with the preliminary approval. If approved, the overall site acreage would also increase from approximately 18 acres to instead include 36.815 acres located at 9514 S Strawberry Ranch Road in the Preservation (P160) zone. (DEV-6741; Austin Corry)

#### PROJECT SUMMARY

**Applicant:** Burke Roney

**Hearing Date:** 10 August 2023

**Existing Zone:** Strawberry Recreation Zone (SRZ)

**Related Applications:** General Plan amendment (2012), Rezone (2012), Master Plan and Density (2012), Preliminary (2014), Phase 1A Final (2016)

**Existing Land Use:** Recreation cabins / vacant

**Proposed Land Use:** Recreation cabins, Activity center

**Acreage:** 36.82

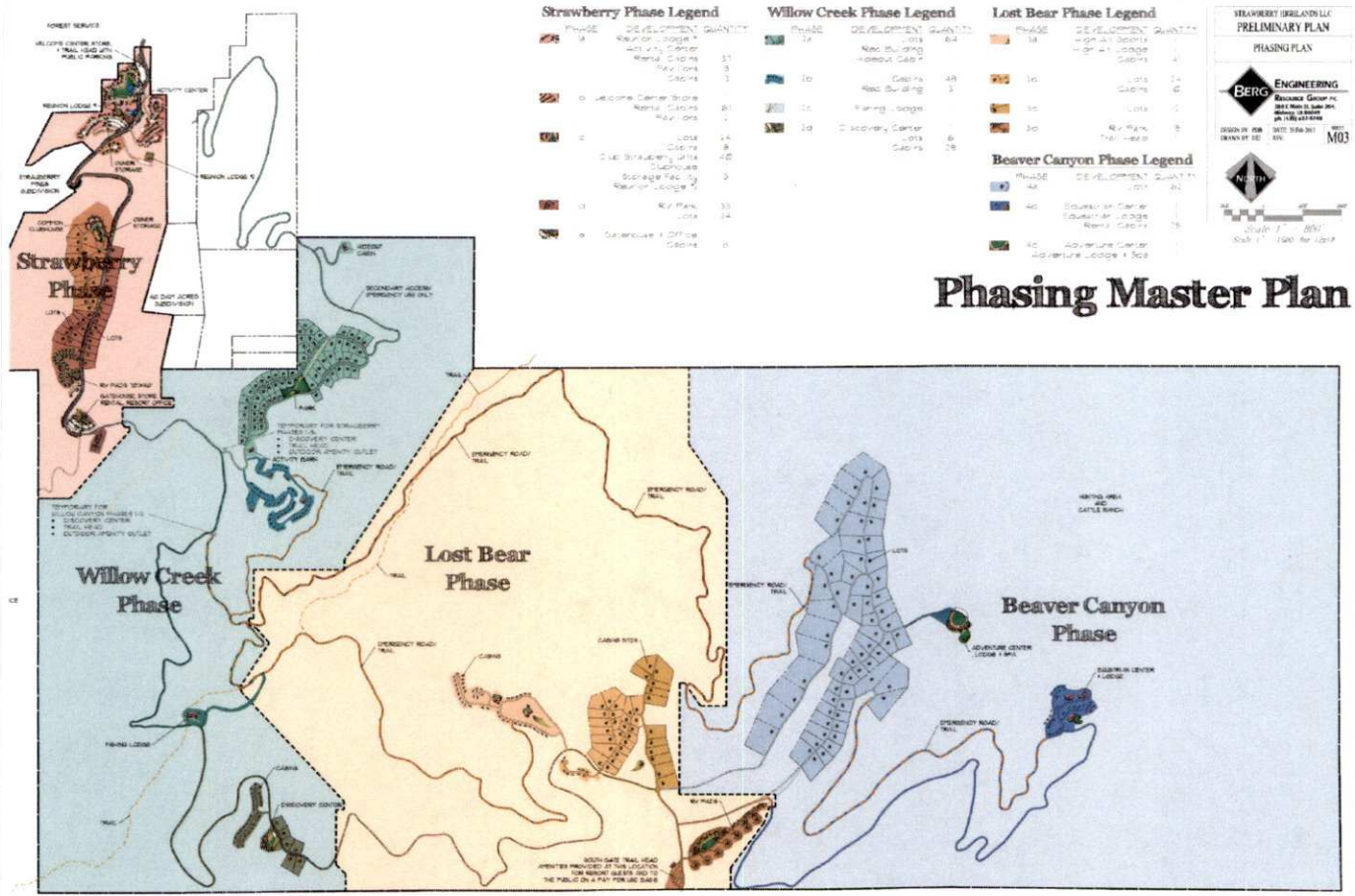
**Proposed Density:** 61.4 ERUs (59 cabins and 5,600 square feet commercial)

**Council Action Required:** Yes

#### BACKGROUND

The proposed project is located on the south east side of the Strawberry reservoir and southwest of the Soldier Creek dam approximately 45 miles from Heber City. The plat for Phase 1a of the project included 12.8 acres and was recorded in 2019 as the first recorded plat of the project. Improvements to Forest Service Road 090 (FS 090) have begun under that approval, but the full improvements of that approval have not been completed. A second plat, phase 1b, was given approval in January 2020. That approval was not acted on in the timelines required under ordinance, and the approval has expired. Since that time, the property owner has decided to pursue amending both the phase 1a plat and the plans previously presented for approval of phase 1b. This application is the subdivision plat amendment for phase 1a, and a new final subdivision application for phase 1b collectively under one revision.

The overall project is 7,010 acres and received Master Plan and Density Determination under the Strawberry Recreation Zone (SRZ). At 7,010 acres, the maximum base density for the project would have been 43 ERUs. However, The project utilized bonus density options available under the Planned Performance Development (PPD) section of the code at the time which set a new density of 701 ERUs and was then awarded 113 additional units for a total of 814 ERUs on December 19, 2012. The master plan includes four phases - the Strawberry Phase (phase 1), the Willow Creek Phase (phase 2), the Lost Bear Phase (phase 3), and the Beaver Canyon Phase (phase 4).



**Strawberry Phase Legend**

PHASE	DEVELOPMENT	QUANTITY
1a	Reunion Lodge #1	1
	Activity Center	1
	Rental Cabins	37
	Pavilions	3
	Cabins	13
1b	Welcome Center/Store	1
	Rental Cabins	61
	Pavilions	2
1c	Lots	24
	Cabins	8
	Club Strawberry Units	40
	Clubhouse	1
	Storage Facility	3
	Reunion Lodge #2	1
1d	RV Park	33
	Lots	24
1e	Gatehouse & Office	1
	Cabins	8

**Willow Creek Phase Legend**

PHASE	DEVELOPMENT	QUANTITY
2a	Lots	64
	Rec Building	1
	Hidout Cabin	1
2b	Cabins	48
	Rec Building	3
2c	Fishing Lodge	1
2d	Discovery Center	1
	Lots	6
	Cabins	28

**Lost Bear Phase Legend**

PHASE	DEVELOPMENT	QUANTITY
3a	High Alt Sports	1
	High Alt Lodge	1
	Cabins	41
3b	Lots	24
	Cabins	10
3c	Lots	12
3d	RV Park	15
	Trail Head	1

STRAWBERRY (BERKLAND) LLC  
PRELIMINARY PLAN  
PHASING PLAN

**BERG ENGINEERING**  
Resource Group PC  
2844 West 12th Street  
Denver, CO 80202  
PH: 303.733.8800  
WWW.BERGENGINEERING.COM

DESIGN BY: [ ] DATE: 08/20/21  
DRAWN BY: [ ] REV: [ ]

Scale: 1" = 80'  
Scale: 1" = 160' for Lots

**Phasing Master Plan**

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**Beaver Canyon Phase Legend**

PHASE	DEVELOPMENT	QUANTITY
4a	Lots	62
4b	Equestrian Center	1
	Equestrian Lodge	1
	Rental Cabins	25
4c	Adventure Center	1
	Adventure Lodge & Spa	1

The SRZ and PPD were both removed from County Code in 2017 under ordinance 17-07. However, the project preliminary plan vests the project for review under the existing preliminary approval from 2014 that utilized the SRZ and PPD. A development agreement was recorded in conjunction with Phase 1A in April 2017 and included a copy of the vested ordinance at that time and other details of the approval that were required as part of a density bonus granted under the PPD standards. The development agreement, among other things, requires improvements be made to the Soldier Creek Dam access roads that are tied to density. It also requires a majority of the property remain as open space and the historic grazing use be maintained. It is important to note that the vested rights associated with the project include the plan approval and does not create free-floating rights within the ordinance language. As such, it is important that any final approvals must comply with the master and preliminary plans that have entitled the project. WCC 16.29.08(3) (2017) specifically stated *"Any density above the base density established by the zoning ordinance shall be specific to the development plan approved by the Wasatch County Council. Increased density does not run with the land and no vested interest in the increased density may be claimed other than on the basis of an approved development plan."* Because of this, County review is required to consistently monitor the project for 'material changes' that would jeopardize the vested rights of the project.

### **KEY ISSUES TO CONSIDER**

- Total project is 7,010 acres, of which, 12.8 acres have been platted (Phase 1a).
- Master Plan and Density Determination was approved in November 2012 with a bonus density under the Planned Performance Development section, allowing a total of 814 ERUs.
- A development agreement was recorded establishing the density, open space, required on- and off-site improvements, land uses, etc.
- Preliminary approval was granted in March 2014, including an alternative transportation plan.
- This request is to amend Phase 1a to increase to 14.2 acres and modify Phase 1b approval from 8.28 acres to 22.6 acres.
- The proposal increases the number of ERUs in Phase 1a and 1b from 45.68 ERUs to 63.7 ERUs, but decreases the density per acre. (0.46 a/u to 0.58 a/u).
- The overall Strawberry Phase is 224.94 ERUs per the master plan.
- The proposal requires an amendment to the development to modify the phasing of amenities and to incorporate the modifications created by the most recent final proposal.
- The County Council will need to determine if the proposal is compliant with the approved preliminary plans and accept the proposed development agreement addendum.

### **STAFF ANALYSIS**

#### **– PLAT AMENDMENTS –**

The requested plat amendment for Phase 1a is not a minor amendment because it removes commercial ERUs, increases density for the plat, and alters platted open space. Utah Code § 17-27a-609 allows the County to approve a plat amendment if the County finds that: (a) there is good cause for the vacation, alteration, or amendment; and (b) no public-street, right-of-way, or easement has been vacated or altered. In order to approve the proposed 1a modifications, the County Council must find that there is good cause.

– GOOD CAUSE –

Wasatch County Code 16.04.02 has defined “good cause” as:

*“Providing positive benefits and mitigating negative impacts, determined on a case-by-case basis to include such things as: providing public amenities and benefits, resolving existing issues and non-conformities, addressing issues related to density, promoting excellent and sustainable design, utilizing best planning and design practices, preserving the character of the neighborhood and of Wasatch County and furthering the health, safety, and welfare of Wasatch County.”*

Staff has reviewed the plat amendment and has provided some potential findings that the Planning Commission and County Council can consider when determining the need to meet “good cause” as required by State Law. On one hand, the plat amendment increases density within the plat and reduces commercial ERUs that were initially intended to support the project as a whole. On the other hand, that analysis is limited to the boundaries of the sub-phase plat and could instead be considered in the context of the Master Plan as a whole. If the County Council finds that the amendment would support good cause in preserving the character of the Master Plan and promoting an improved overall project, an individualized analysis limited to the plat boundaries is likely insufficient. Additional information of how the commercial ERUs will be replaced in later phases is necessary.

– PUBLIC RIGHT-OF-WAY OR EASEMENTS –

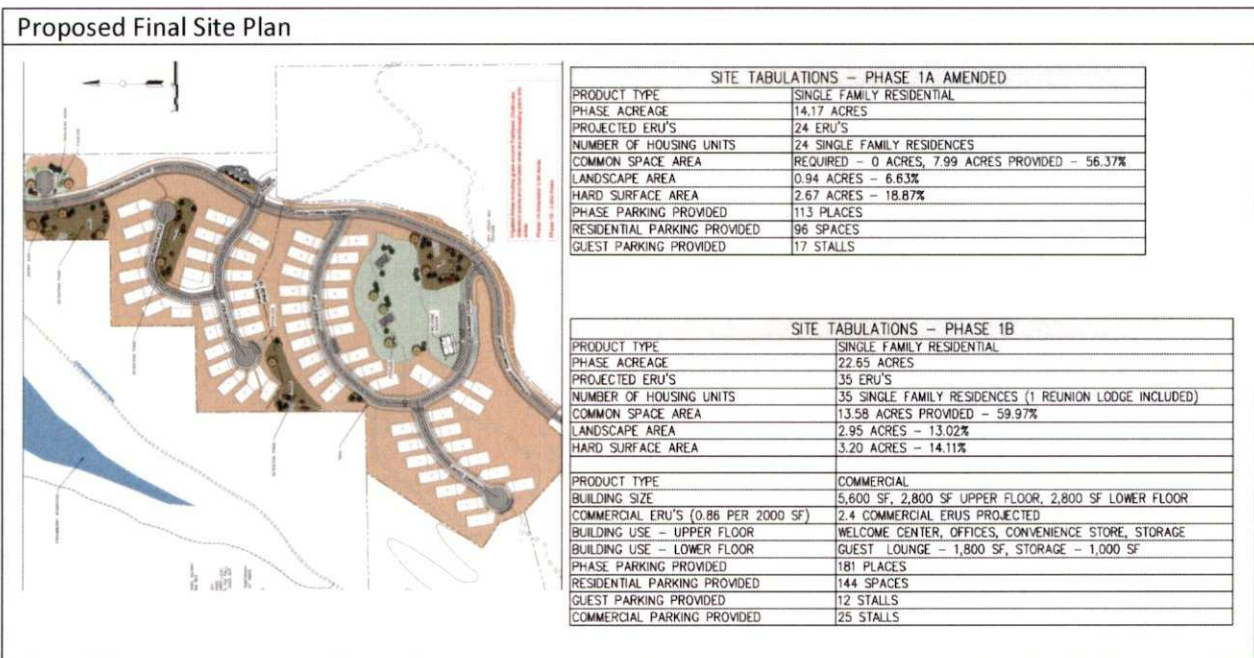
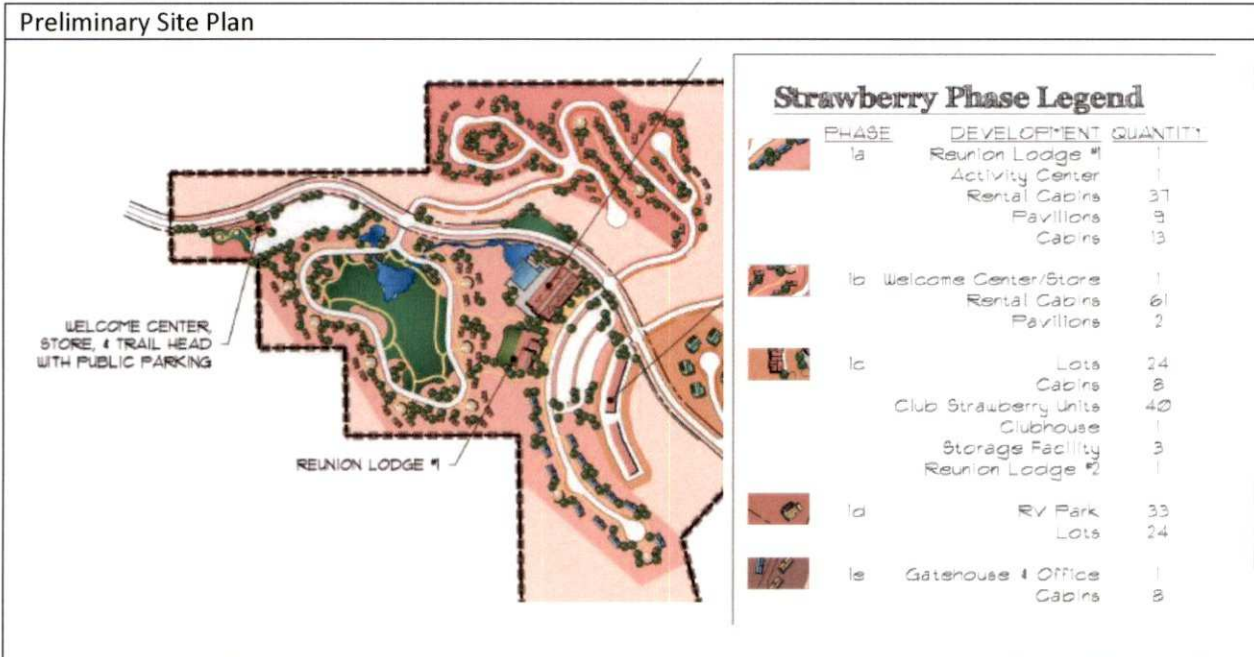
The applicant has represented that no public-street, right-of-way, or easement is proposed to be vacated or altered by this amendment. The portion of the platted Strawberry Ranch Road (FS 090) in the existing Phase 1a plat should remain as currently platted.

– LAND USE AND DENSITY –

Review of the land use and density requirements of the project requires an in-depth understanding of the history of the project. The prior approvals vest the project under the entitlements achieved, but also require the project to comply with the commitments included in the project plans. Important to the approval were off-site improvements, open spaces and amenities, and inclusion of commercial uses that add to the tax base. In this particular case, the sub-phasing within the Strawberry phase has fluctuated in the various proposals throughout the history, so a straight comparison between documents becomes difficult. Instead, staff will attempt to provide a general comparison and relate it to the preliminary Strawberry Phase approval rather than the sub-phases specifically. Comparison of the layout and amenities being provided will be more important in determining whether the proposal is a material change from the preliminary plan. If the County Council determines that the proposal is compliant with the preliminary approval, the previous final approvals become irrelevant to the project moving forward.

Provided below is a juxtaposition of the preliminary site plan and the proposed final site plan. These have been rotated and scaled as best as possible to provide a relative comparison to the changes, although this is at a large scale. There are three particular modifications being made that are perhaps the most obvious.





The first modification is to the rental cabins. Preliminary plans included a range of small cabin sites ranging from roughly 700-1,500 square feet. The cabins were included in the site plan package and included an architectural theme for a remote cabin community. The proposal changes to pad sites of 3,600 square feet with the intent that the individual unit owners will design and build their own structures. It is not clear if the resort owners will include architectural regulations. One risk with the larger cabin sites is the potential for permanent year-round occupancy. While the development agreement clearly restricts year-round access, it would be important for the County to consider that larger lots could encourage a breach of that agreement similar to what has been occurring at the Strawberry Lakeview Estates and other similar seasonal developments.

Second, the trailhead, welcome center, and store at the entry of the project (upper left of the image) is proposed to move. The new proposal keeps the trailhead at the entry, but moves it to the east side of the road requiring a crossings to connect to the forest service trails. The welcome center and store are proposed to be moved south and included with the activity center. The combined welcome center, store, and activity center are significantly smaller than the master plan proposal (65,000 square feet vs. 5,600 square feet), although the final submittal plans do suggest an ability to expand the size of these at a later date. **Important to note is that this request is for final subdivision approval only and does not include the site plan documents.** The project will need to proceed with site plan approval at a later date. Because of this, some of the nuances discussed here are indefinite and will be reviewed in further detail when those are presented for review by the applicant.

The third obvious change is the alteration to the open space area. Preliminary plans show a clear central open space area that includes trails and pavilions surrounded by cabin units. The proposed plan shifts this space to the south and adjacent to the activity center. The amount of vegetation/landscaping and the frequency of pavilions and quiet sitting areas provided in the new proposed plan is significantly lower than that of the preliminary plan although there is an addition of pickleball courts. This, again, is an area that is still pending more detailed review with the site plan application that will need to follow at a later date. It is staff's hope that the applicant considers the importance of this area to the resort and refines a design more consistent with the preliminary plan.

Review of the historical approvals indicates that the bonus densities were granted for the project based on the following justifications:

- Construction of fire station/emergency services building to serve the Strawberry area
- Improving Forest Road 090 out to Highway 40 to include wider lanes and shoulders
- Construction of road and bridge to bypass Soldier Creek Dam
- Construction of trail head and parking area for access to Forest Service Lands
- Forest Service trail marking improvements, signs and rider educational program
- Additional / Extra usable open space (96.7% open space instead of the 80% required)
- Construction of 12.3 miles of trails for hiking, biking, ATVs, and horseback users
- Opening private land for public recreational purposes
- Commercial uses, resort support, retail, hotel (Lodges, rental cabins and other accommodations for TRT)
- Welcome Center, stores, resort amenities and services to provide sales tax

Each of the above elements are expected to be included throughout the continual project approvals. Many of these are detailed in the development agreement and the preliminary plans. The allocation of the ERUs for the master plan project and anticipated facilities contributing to the rental cabins, lodges, and commercial uses are shown in Exhibit I

#### – SETBACKS –

Structures are required to have a minimum of 20 feet between buildings and a 20 foot front setback. Setbacks in Planned Performance Developments are from back of walk. Some of the units on the proposed plans do not meet the 20 foot front setback required. It is anticipated these can be adjusted without an impact on the review the Planning Commission and Council will see. If later review discovers this requires a more significant change, the project will need to return to the appropriate land use authority.

Currently, the submitted plans conflict on what the applicant's intentions are. In some instances it refers to four foot concrete sidewalks in front of the units and in others it notes four foot asphalt. Engineering review has noted that if the applicant intends to use asphalt trails in-lieu of sidewalks, that the dimensions should be six

feet. In verbal communication with the property owner, the owner has represented an intention to use concrete walk. If the applicant later decides to use six foot asphalt walks, the impact to the units required setback may trigger a significant change. Other conflicts in the document show some areas with sidewalk and parkstrip, some with monolithic sidewalk, and yet others missing sidewalks all-together. The documents will all need to be modified to resolve discrepancies and comply with county code. Only the option with sidewalk and parkstrip would comply.

Review of the documents also shows a few of the units closer than 20 feet. The most significant being unit 32 at approximately 16 feet. Plans will need to be modified and returned to the DRC for confirmation that all units comply with the 20 foot front setback. They may require pads to be decreased in size if space is unavailable in the common areas.

– MODERATE INCOME HOUSING –

Affordable housing requirements for resort developments are based upon employee housing demand generated by the resort. Phase 1a initially included a fee-in-lieu payment for 6.5 anticipated resort employees. After removing the storage units adding in the activity center with phase 1b, the net result is 10 anticipated employees. The Wasatch County Housing Authority has not responded to any of the DRC reviews throughout this process. Under the provisions of WCC, if a department does not respond through the DRC process, the item is considered to have a recommendation of approval from that departments for purposes of the staff report.

– ROADS AND ACCESS –

Access has been a primary focus since the inception of this development. There is one primary access into the property utilizing FS 090. The road is narrow, winding, and steep in some areas. The road goes over the dam which is owned by the Bureau of Reclamation (BOR). The BOR owns the road as well. During earlier reviews of the project, the BOR has stated that the development can have limited access but the road over the dam can be closed at any time for any length of time. FS 090 has not been maintained on a year round basis and, in most places, is not built to County standards.

Wasatch County Code 16.20.17 (2012) regulates access requirements in the SRZ:

*A. Due to the remote nature and the tendency for developments in the Strawberry Recreation Zone (SRZ) to potentially be more susceptible to natural disasters, developments that occur in the Strawberry Recreation Zone (SRZ) shall provide appropriate access.*

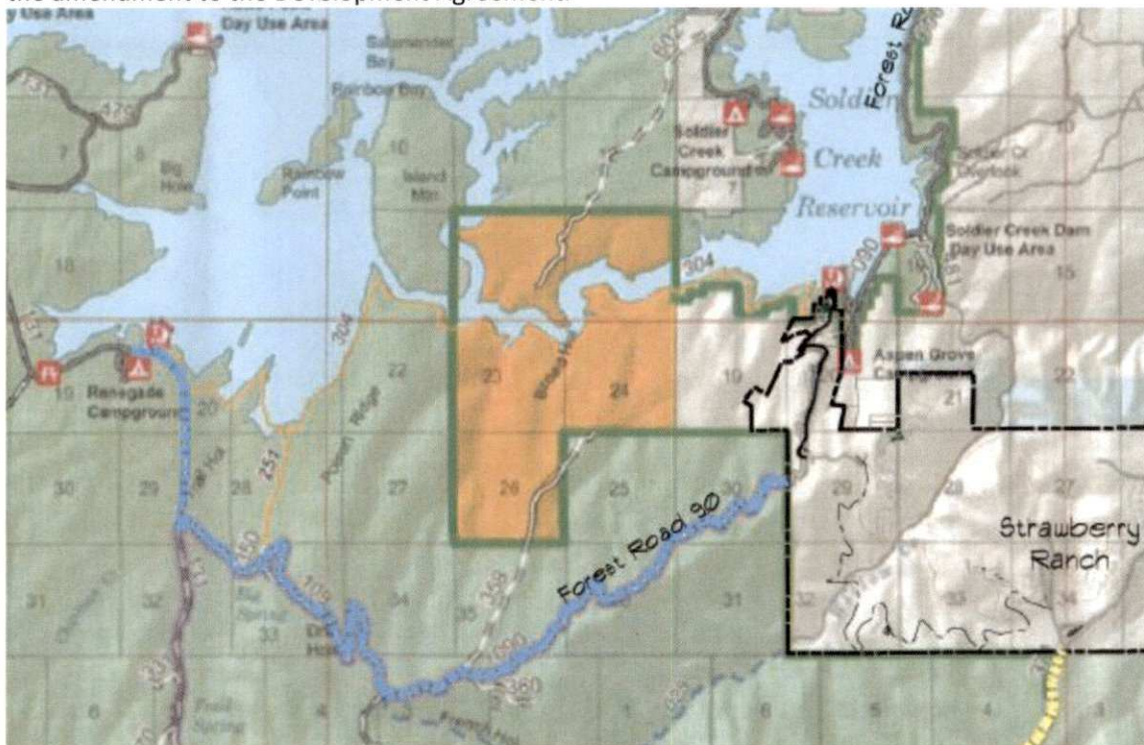
*B. Appropriate access for a development shall include the following:*

- 1. Be constructed to county standards;*
- 2. Two (2) access points are required. Two (2) access roads which connect to a county road which has been historically maintained year round will meet the requirement for this section; or*
- 3. Alternative approved transportation plan. (2002 Code § 16.09.17; amd. Ord. 08-13, 10-28-2008)*

During the review for Master Plan approval, The County traffic consultant recommended that traffic conditions on Forest Road 090 not exceed a level of service C. For the existing FS 090, level of service C is between 95 and 150 vehicles. This peak rate would be generated when there are 507 to 800 ERUs in the resort development if no other development requires the use of the road. As part of the preliminary approval in March 2014, the County Council determined to allow an “alternative transportation plan” as allowed in 16.20.17(B)(3) noted above. The County Council reviewed the proposal by the applicant to upgrade the main access into the site. Due

to the remote nature of the development, a restriction that the development will not be permanent residency, as well as the terrain and vegetation, the County Council approved an alternative transportation plan with a requirement to improve FS 090 from highway 40 to the resort when the project reaches 100 ERUs. As proposed, this application is 61.4 ERUs and would not reach the first 100 ERU trigger.

Previous project approvals noted that phase 1 secondary access would be required to be improved and maintained to Renegade Marina and that any additional phases will also need improvements out to Highway 6. The improvements to Renegade Marina were conditions of approval to phase 1a and will remain as a condition of any future approvals until they are completed. The County should consider how to proceed with additional plats prior to the improvements being constructed. This consideration could be discussed and memorialized in the amendment to the Development Agreement.

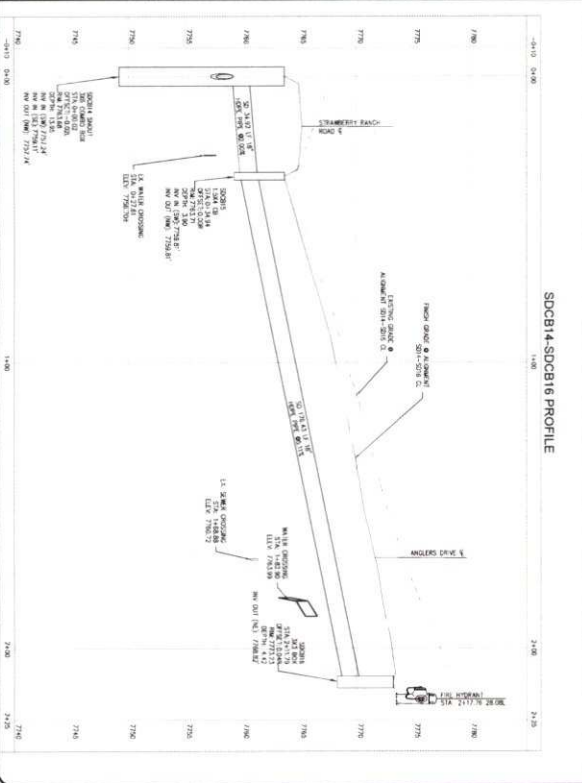
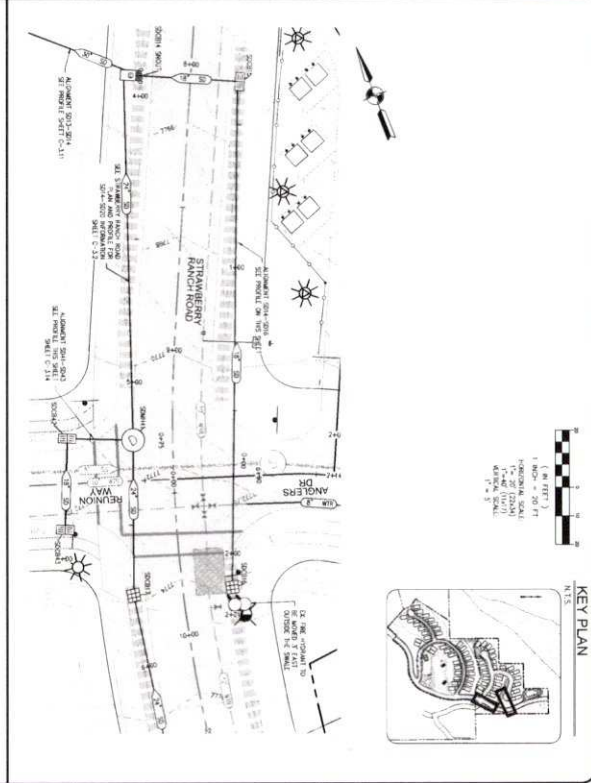
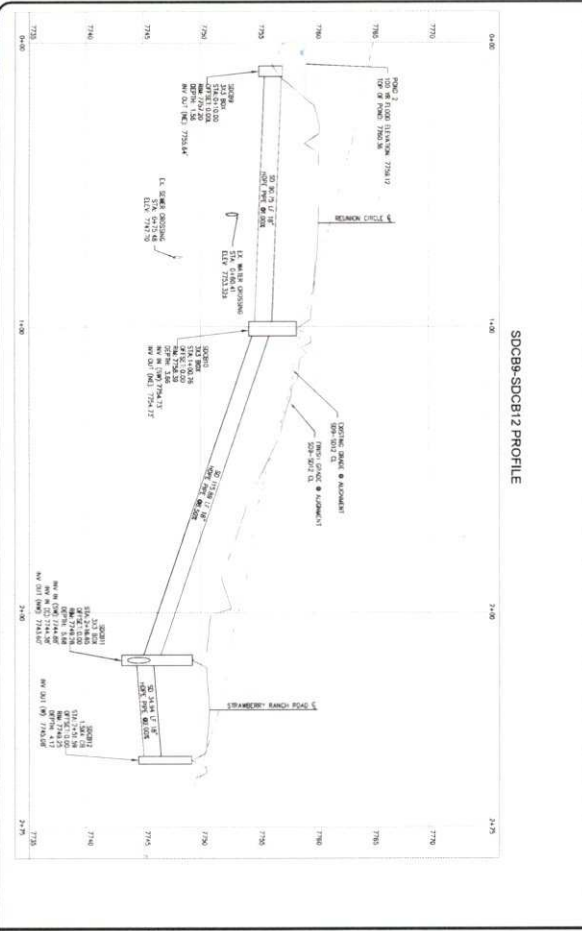
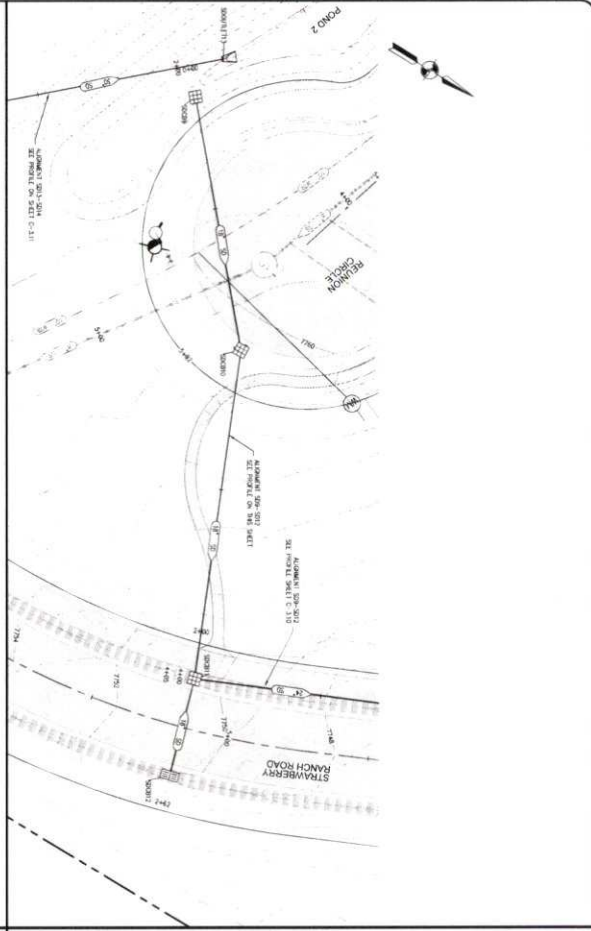


– ENVIRONMENTAL CONSTRAINTS ANALYSIS –

Wasatch County Code 16.27.25 requires an environmental constraints analysis to be submitted with any preliminary application which outlines the potential constraints on development activity. The documentation provided by the developer asserts that the proposal does not conflict with the requirements of the code. If any evidence later discovered indicates that such representation has not been made after a full inspection, or there has been any change in circumstances indicating the likelihood of a failure to be able to meet the standards of the physical constraints restrictions, the county may require that certain site specific reports be prepared. Additional evidence discovered may decrease the density originally approved for the project.

– LANDSCAPING –

A typical landscape plan for each unit was provided with the preliminary plans. Because of the remote nature and the wildland fire area, firewise landscape plans are a requirement for this project. The plans require a landscape architect to design landscaping that meets the firewise requirements. This set must be stamped by the landscape architect verifying these requirements are met. The landscape plans submitted with the final

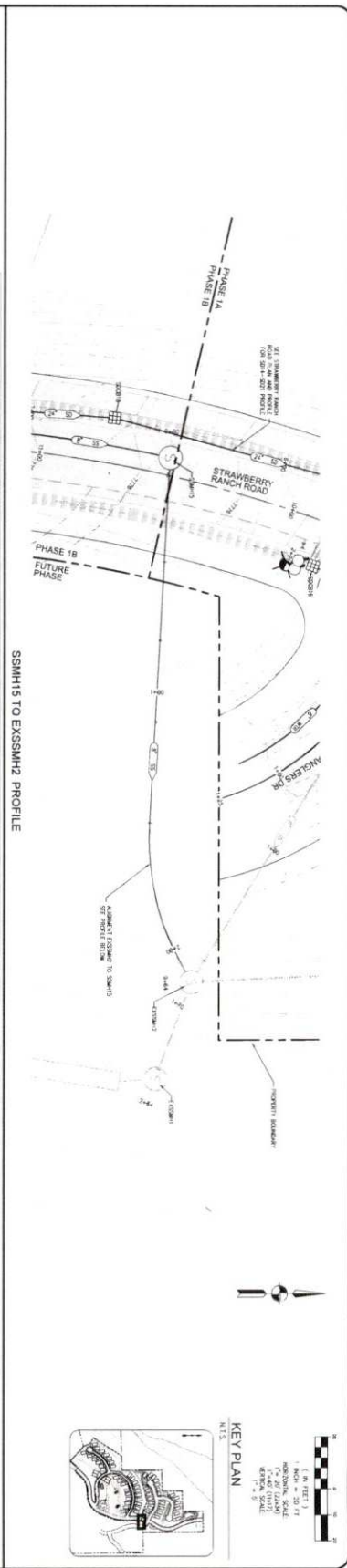
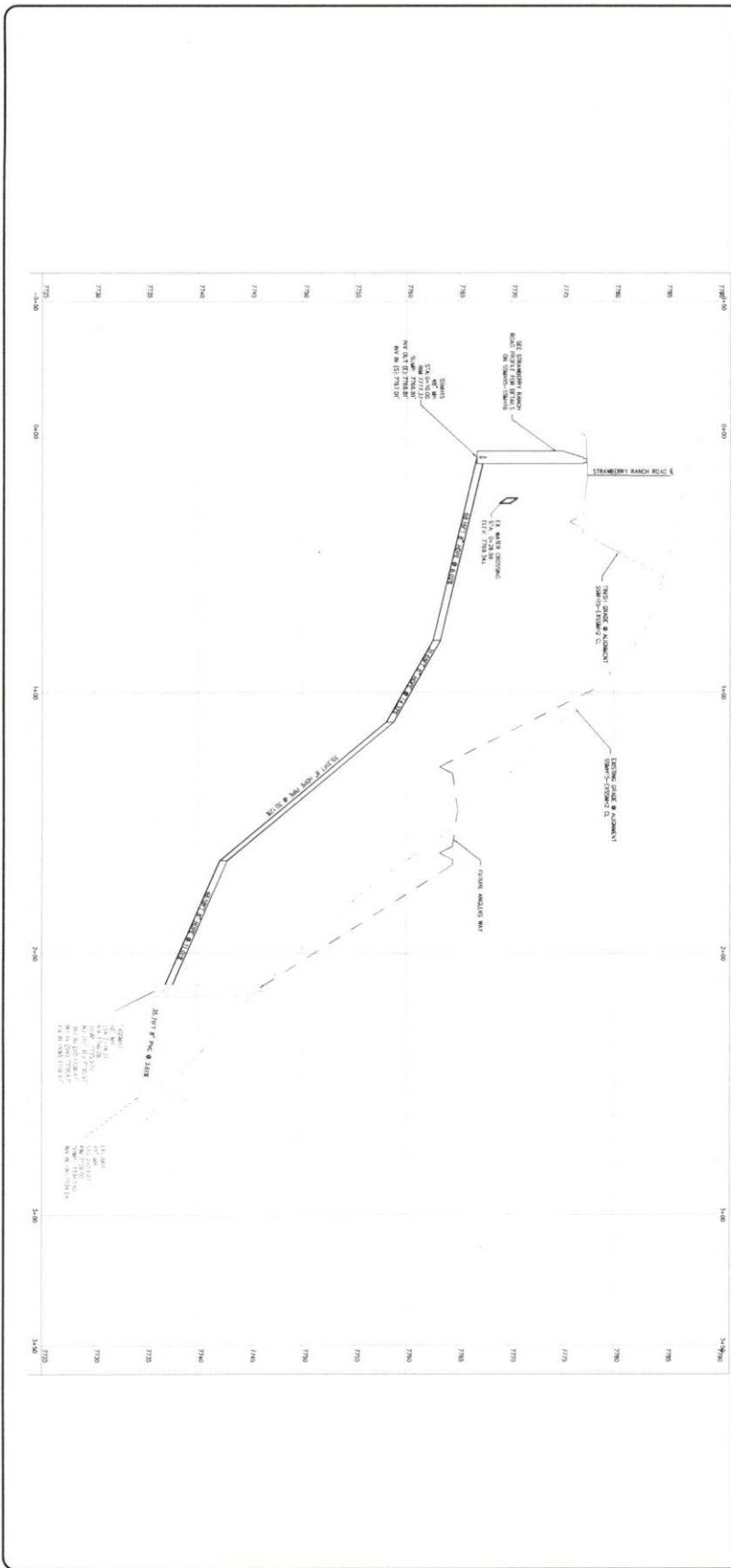


**KEY PLAN**

GRAPHIC SCALE  
1" = 10' (HORIZONTAL)  
1" = 20' (VERTICAL)  
ADAPTIVE SCALE

2: USER PROJECTS\CURRENT PROJECTS\121-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\DWG\121-033 SD SHEETS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BWS	DATE BY	COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC.  SUMMIT E. GROUP 11 S. WILSON ST. SUITE 100 WHEAT RIDGE, CO 80037 TEL: 303-440-8800 FAX: 303-440-8801 WWW.SUMMIT-ENG.COM
PROJECT NUMBER C21-033	PROJECT NUMBER ENR	REVISIONS	
SHEET TITLE SDCB8 TO SDCB12 - 0+50 TO 2+75 SDCB14 TO SDCB16 STA: -0+10 TO 2+25	DRAWN BY SFS	DATE	STRUCTURAL • CME • LAND SURVEYING 55 WEST CENTER • P.O. BOX 176 WHEAT RIDGE, COLORADO 80037 • 303-440-9229 • F. 303-440-9231
DATE 07/22/2023	ISSUED BY SDCB ENGINEER	DATE	

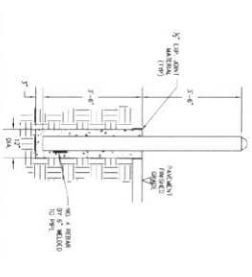


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PROJECT: STRAWBERRY RANCH		PROJECT MANAGER: BME		REVISIONS:		DRAWING A: [ ]		
SHEET: C-317		DRAWN BY: SFS		1		2		
SHEET TITLE: SANITARY PLAN AND PROFILE SSMH15-EXSSMH2 STA -0+50 TO 3+50		DATE: 08/22/2023		3		4		
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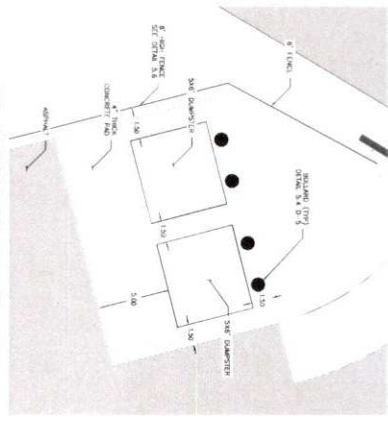




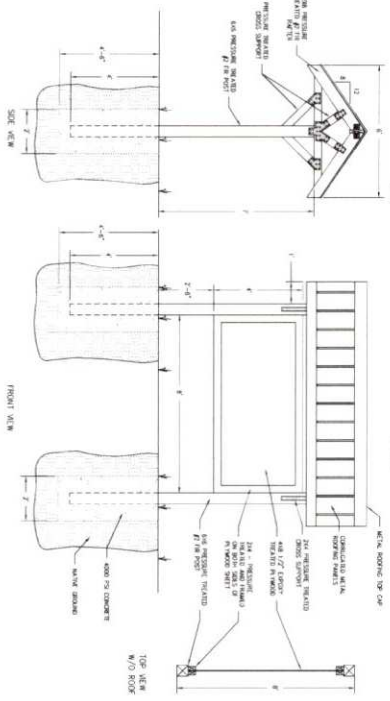
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SCALE: NTS



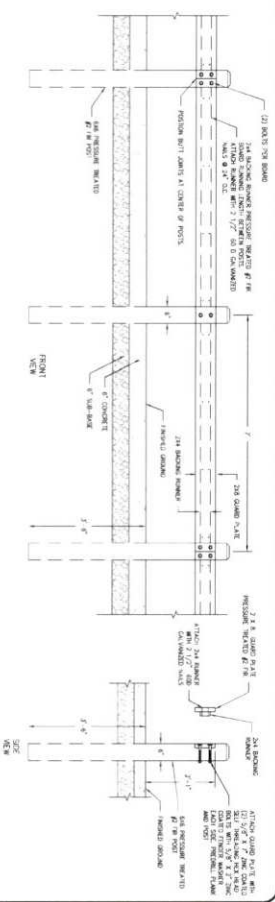
5.4 BOLLARD FOR DUMPSTER AREA  
SCALE: NTS



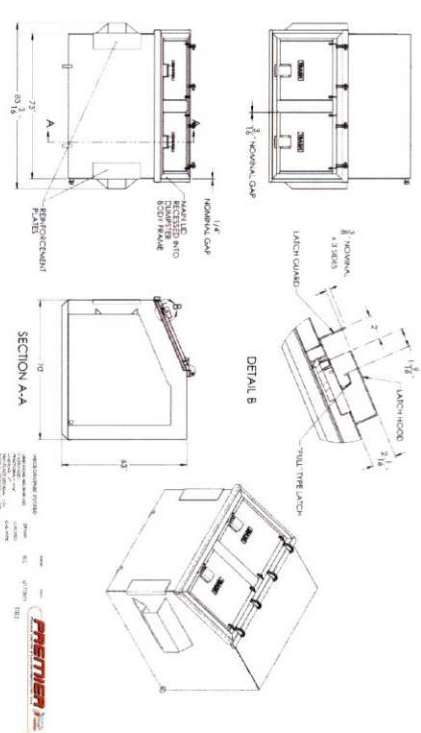
5.2 DUMPSTER AREA PLAN VIEW DETAIL  
SCALE: NTS



5.3 KIOSK SIGN DETAIL  
SCALE: NTS



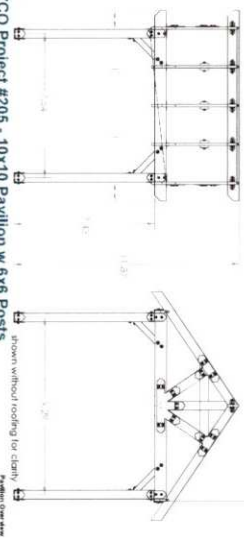
5.9 GUARD RAIL - DUMPSTER AREA  
SCALE: NTS



5.5 BEAR PROOF DUMPSTER  
SCALE: NTS



5.8 PAVILION DETAIL  
SCALE: NTS



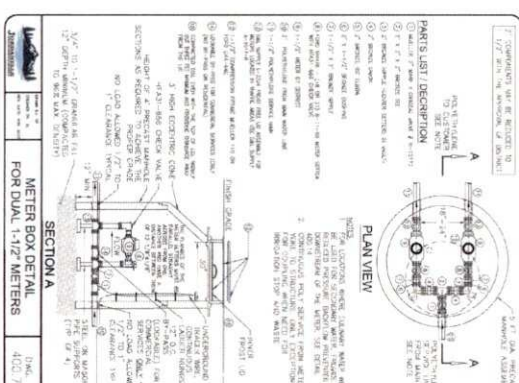
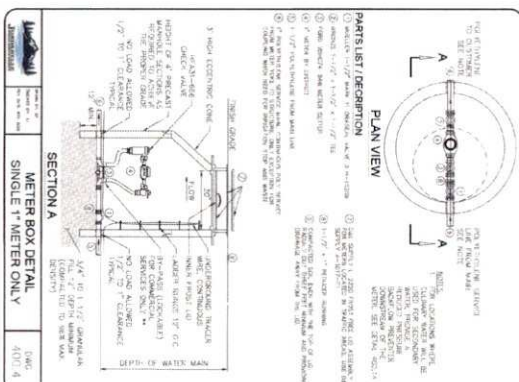
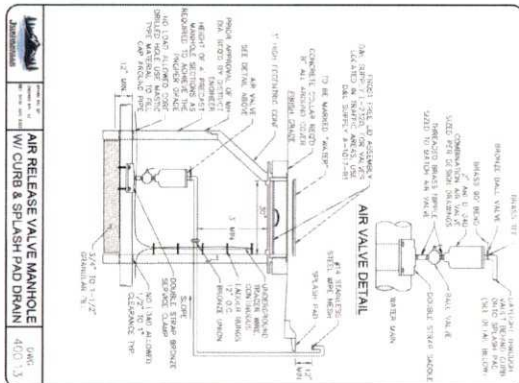
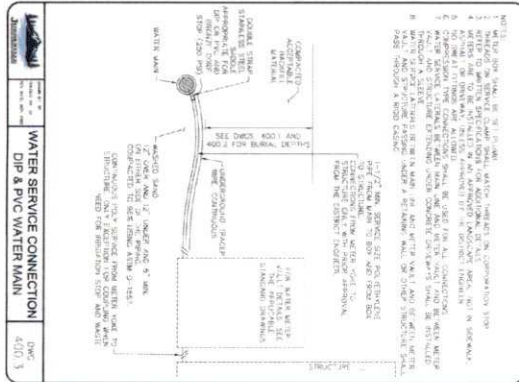
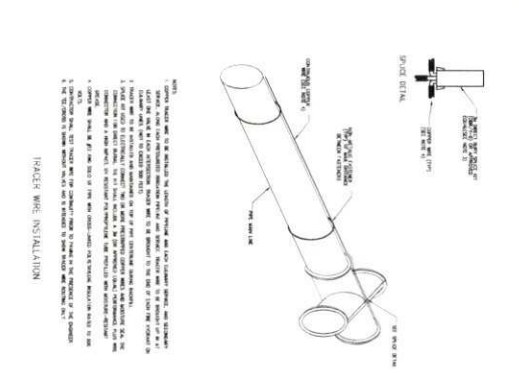
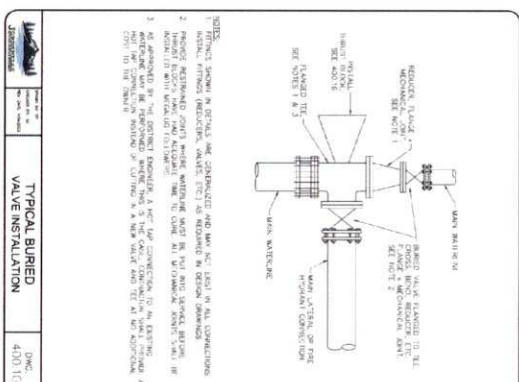
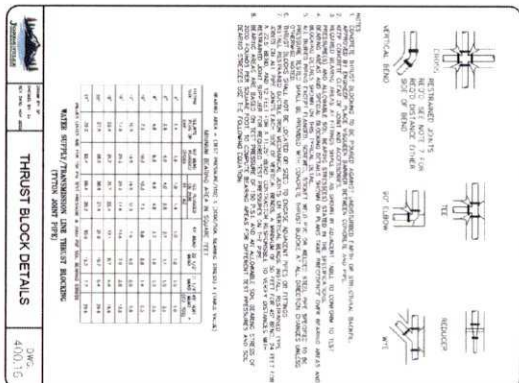
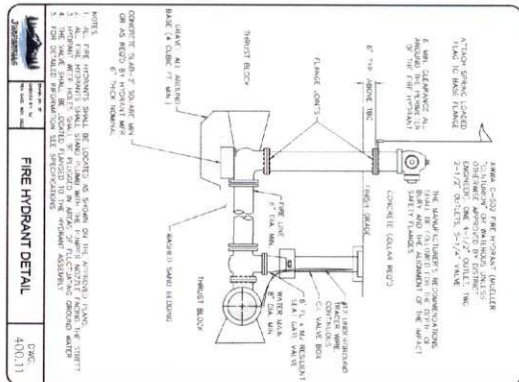
OZCO Project #205 - 10x10 Pavilion w 6x8 Posts  
Shown without roofing for clarity.  
Pavilion Owner Use

2:\\$60 PROJECTS\CURRENT PROJECTS\21-033 STRAWBERRY RANCH\3D\WORKING FILES\ENGINEERING\DWG\21-033 DETAILS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENB	DATE: 01/11/2023
SHEET TITLE: FENCE DETAILS, TRAIL KIOSK, DUMPSTER, BOLLARD, GUARDRAIL DETAIL	PROJECT MANAGER: ENB	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC.
SCALE: D-5	DRAWN BY: SFS	ISSUED DATE: 08/22/2023
	DESIGN ENGINEER: GMS	

Summit Engineering Group Inc.  
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100 WELLS CENTER • P.O. BOX 1116  
STONEY CREEK, COLORADO 80537  
PHONE: 303-654-8220 • FAX: 303-654-8231



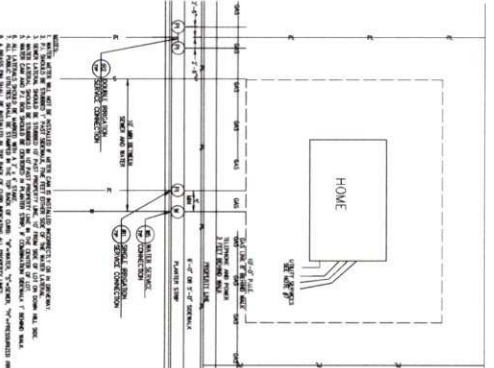
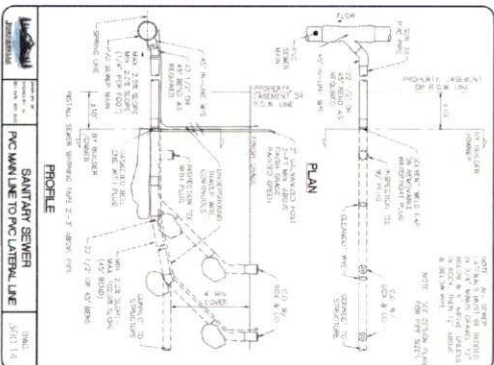
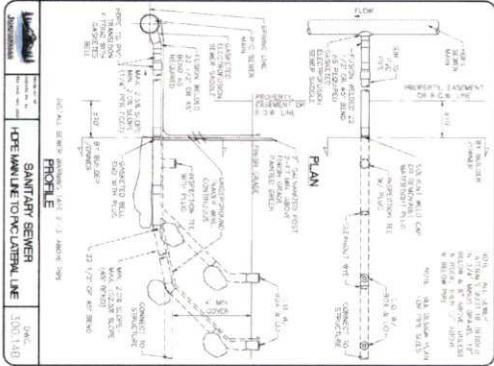
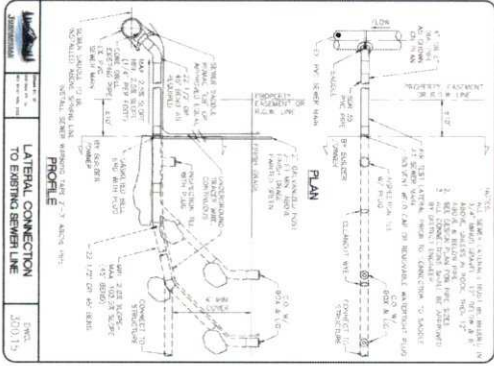
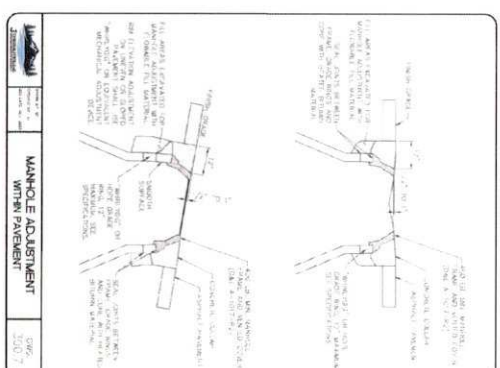
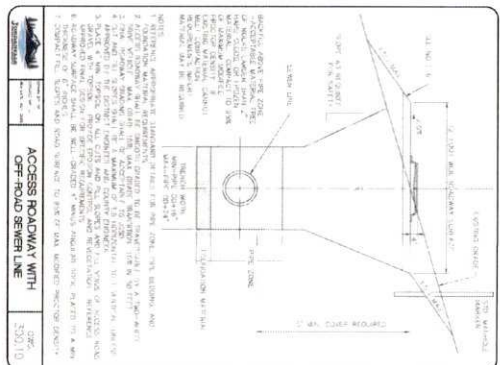
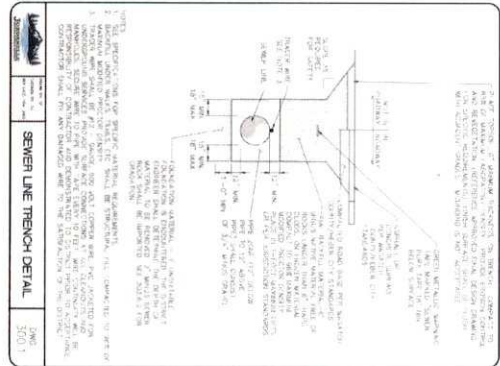
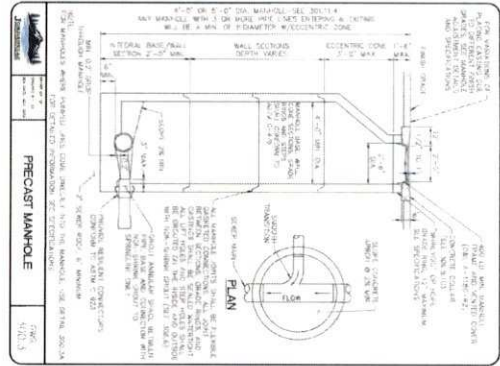


PROJECT: STRAWBERRY RANCH  
SHEET: CULINARY WATER DETAILS  
DATE: 08/22/2023  
DESIGNER: DWL

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
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55 WEST CENTER • P.O. BOX 176  
435-554-0222 • 435-554-9231

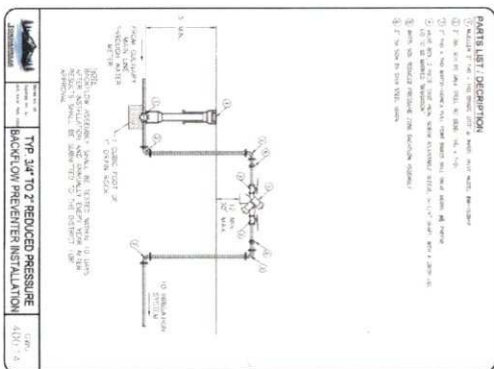
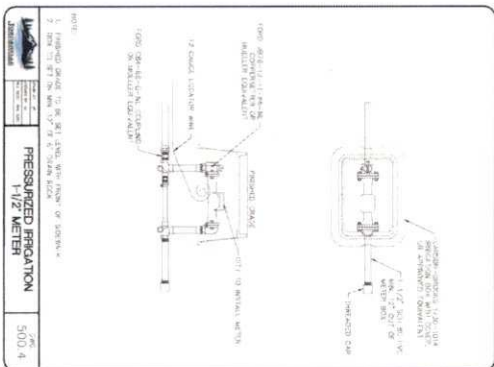
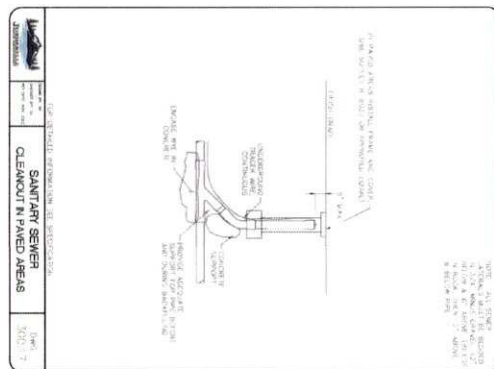
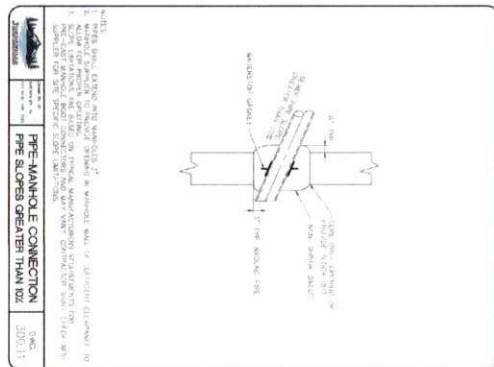


75 SANITARY LATERAL TO EXISTING SEWER MAIN  
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 DATE: 5/20/14

76 SANITARY LATERAL HDPE TO PVC  
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 DATE: 5/20/14

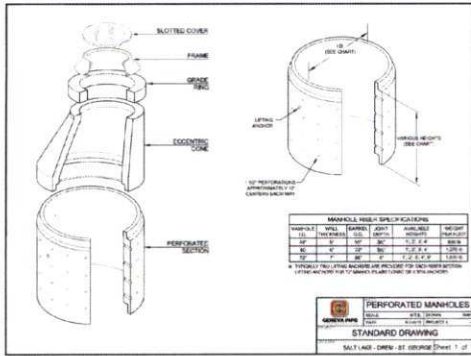
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78 LATERAL LOCATIONS  
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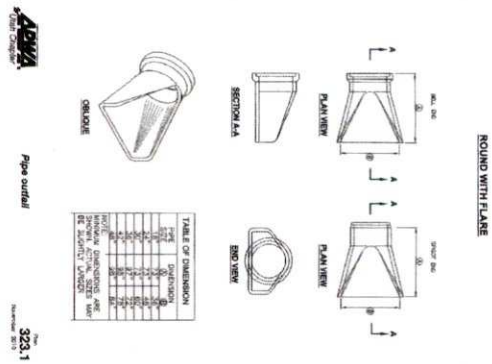


PROJECT: STRAWBERRY RANCH SHEET TITLE: SANITARY SEWER & IRRIGATION DETAILS		PROJECT ENGINEER: ENB PROJECT MANAGER: ENB DRAWN BY: SFS REVISION DATE: 08/22/2023	DESIGN ENGINEER: ENB	REVISIONS: <table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th></tr> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> </table>	NO.	DATE	BY	1			2			3			4			5			6			7			8			COPYRIGHT © 2013 SUMMIT ENGINEERING GROUP, INC. 1177 W. MAIN STREET, SUITE 100 REBER CITY, INDIANA 46052 P: 431-854-9223 • F: 431-854-9231	<p>STRUCTURAL • CIVIL • LAND SURVEYING</p>
NO.	DATE	BY																															
1																																	
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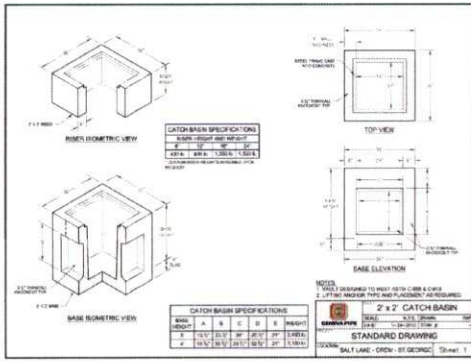
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SCALE: NTS



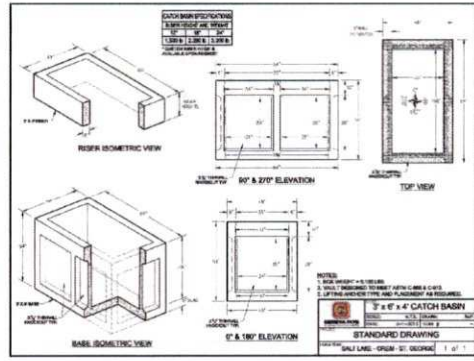
9.1 PIPE OUTFALL  
SCALE: NTS



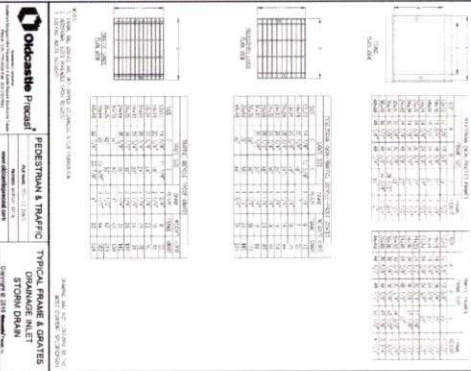
9.6 3X3 CATCH BASIN DETAIL  
SCALE: NTS



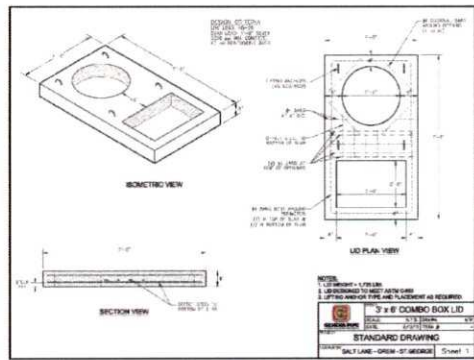
9.2 3X6 CATCH BASIN DETAIL  
SCALE: NTS



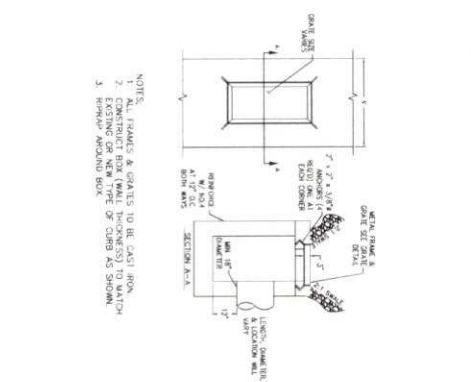
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SCALE: NTS



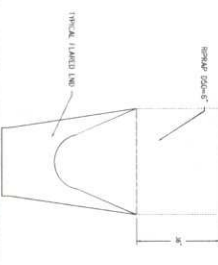
9.3 3X6 COMBO BOX LID  
SCALE: NTS



9.8 INLET IN SWALE DETAIL  
SCALE: NTS



9.4 PIPE OUTLET WITH RRPPAP PROTECTION  
SCALE: NTS

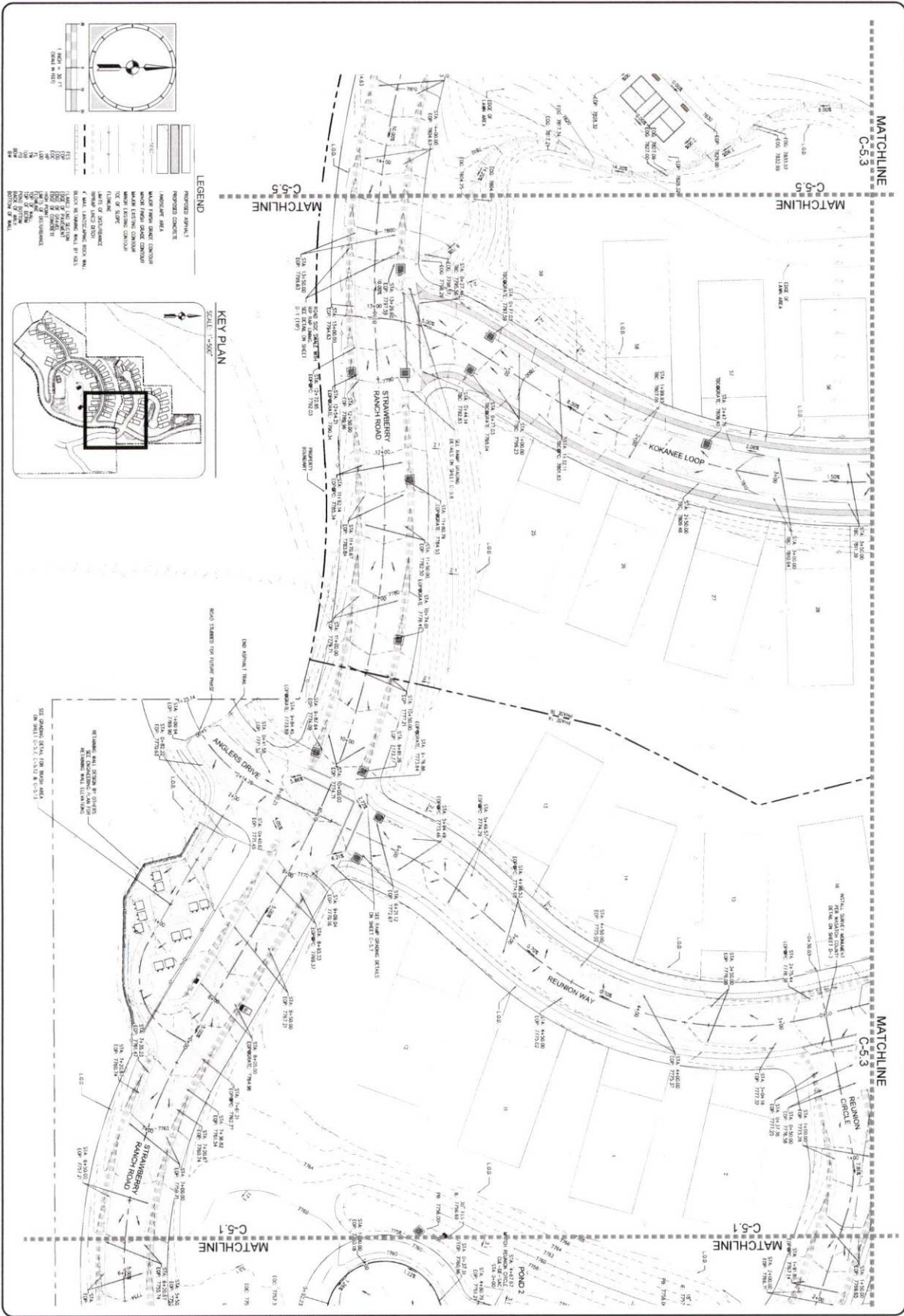


© USE PROJECT'S CURRENT PROJECTS\C21-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\DWG\C21-033 DETAILS.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: EMB	DATE: BY:	COPYRIGHT © 2011 SUMMIT ENGINEERING GROUP, INC.
DRAWN BY: SFS	PROJECT NUMBER: EMB	REVISIONS:	
SHEET TITLE: STORM WATER DETAILS	DRAWN BY: SFS	DATE: BY:	<p>Summit Engineering Group Inc. STRUCTURE • CME • LAND SURVEYING 55 WEST CENTER • P.O. BOX 176 HEERDEN, CO. 80432 P: 430-654-9229 • F: 430-654-9231</p>







2. USE PROJECT'S CURRENT PROJECTS/C21-D13 STRAWBERRY RANCH C30\WORKING FILES\ENGINEERING\DWG\C21-D13 GRADING PLAN.DWG

PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BME	DATE BY:	DATE BY:
SHEET TITLE: GRADING PLAN	PROJECT NUMBER: BME	REVISIONS:	DATE BY:
SCALE: C-5.2	DRAWN BY: SJS	1	
	CHECKED BY: BME	2	
	DATE: 08/22/2013	3	
		4	
		5	
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		8	
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DESIGN ENGINEER: [Signature]

Summit Engineering Group Inc.  
 STRUCTURE • CIVIL • LAND SURVEYING  
 55 WEST 2000 S • SUITE 200  
 SALT LAKE CITY, UT 84119  
 P: 801-554-9222 • F: 801-554-9231

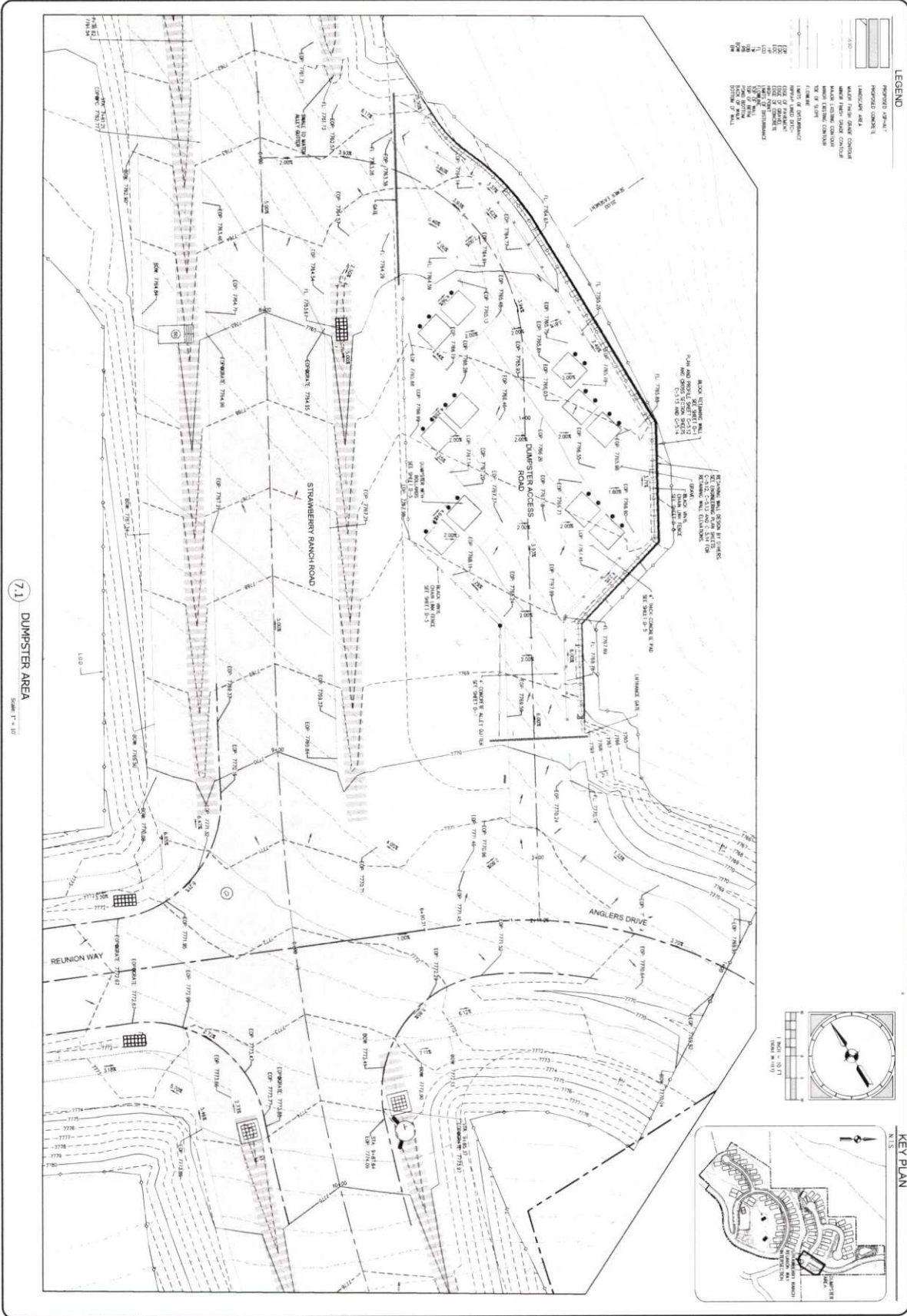












7.1 DUMPISTER AREA  
SCALE: 1" = 10'

Z:\06C PROJECTS\CURRENT PROJECTS\21-033 STRAWBERRY RANCH CSD\WORKING FILES\ENGINEERING\DWG\21-033 GRADING DETAILS.DWG

PROJECT STRAWBERRY RANCH	PROJECT ENGINEER BMS	DATE BY	COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC. SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • 750 BOX 176 NEWBY CITY, OHIO 44663 P: 430-654-9220 • F: 430-654-9231
SHEET C-5-7	PROJECT MANAGER BMS	REVISIONS	
SHEET TITLE GRADING DETAILS	DESIGNER SJS	DATE	STRUCTURE • ONE • LAND SURVEYING 55 WEST CENTER • 750 BOX 176 NEWBY CITY, OHIO 44663 P: 430-654-9220 • F: 430-654-9231
	DATE 06/22/2023	DESIGN ENGINEER GMS	







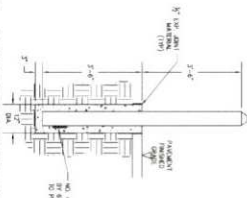




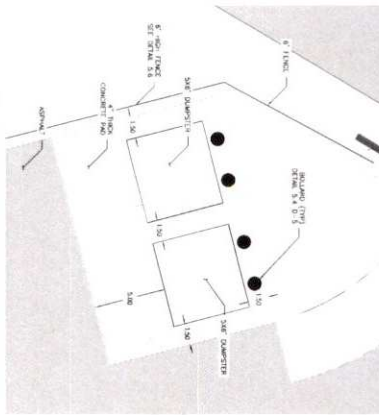




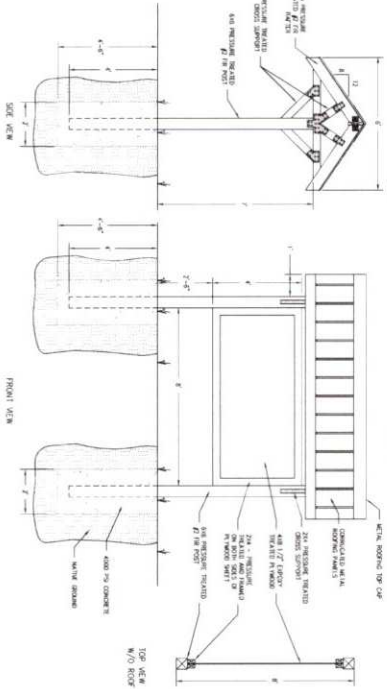
5.1 BACK VINYL COVERED CHAIN LINK FENCE  
SCALE: NTS



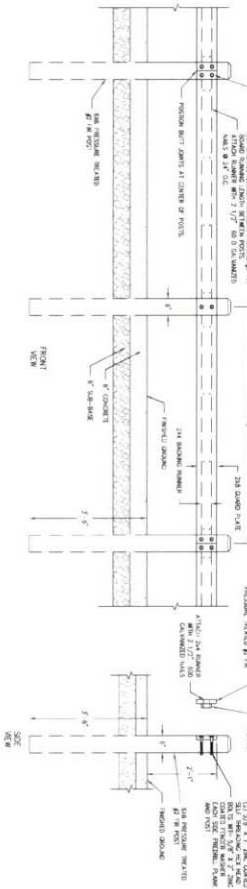
5.4 BOLLARD FOR DUMPSTER AREA  
SCALE: NTS



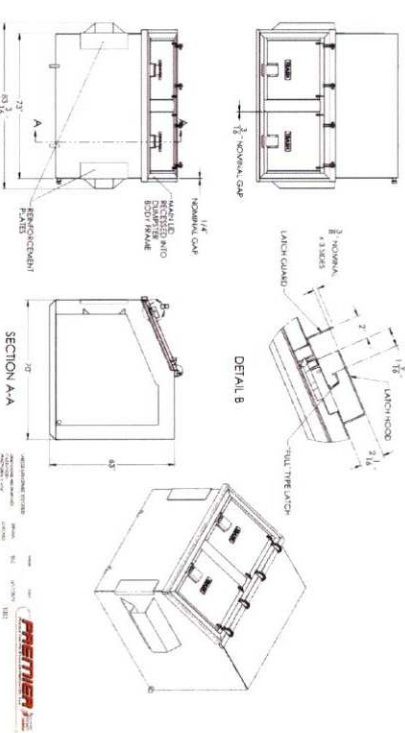
5.2 DUMPSTER AREA PLAN VIEW DETAIL  
SCALE: NTS



5.3 KIOSK SIGN DETAIL  
SCALE: NTS



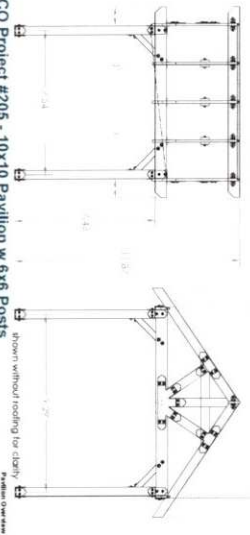
5.9 GUARD RAIL - DUMPSTER AREA  
SCALE: NTS



5.5 BEAR PROOF DUMPSTER  
SCALE: NTS



5.8 PAVILLION DETAIL  
SCALE: NTS

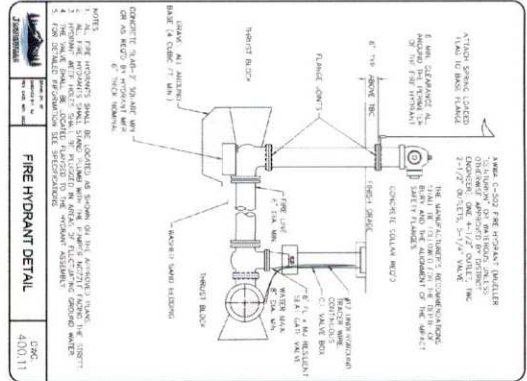


5.8 PAVILLION DETAIL  
SCALE: NTS

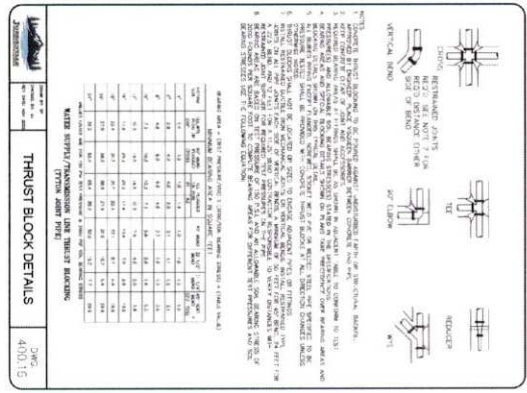
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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: BWS	DATE: BY:	COPYRIGHT © 2003 SUMMIT ENGINEERING GROUP, INC. 100 WEST CENTER ST., SUITE 1170 DENVER, CO 80202 TEL: 303-556-8220 FAX: 303-556-8231
SHEET: C21-033	PROJECT MANAGER: BWS	REVISIONS:	
DRAWN BY: SFS	CHECKED BY: BWS	DATE: 08/22/2023	Summit Engineering Group Inc. STRUCTURAL • CIVIL • LAND SURVEYING 100 WEST CENTER ST. • P.O. BOX 1170 DENVER, CO 80202 TEL: 303-556-8220 • FAX: 303-556-8231

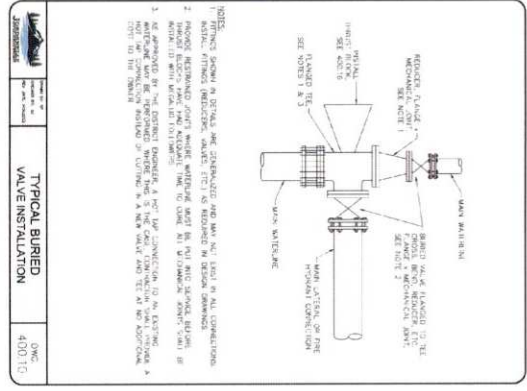
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DATE: 08/22/2023  
PROJECT MANAGER: BWS  
PROJECT ENGINEER: BWS



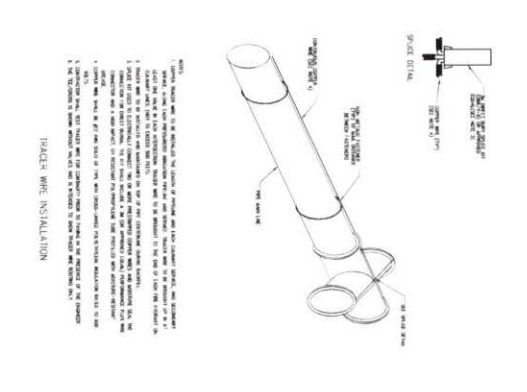
6.1 FIRE HYDRANT  
Scale: NTS



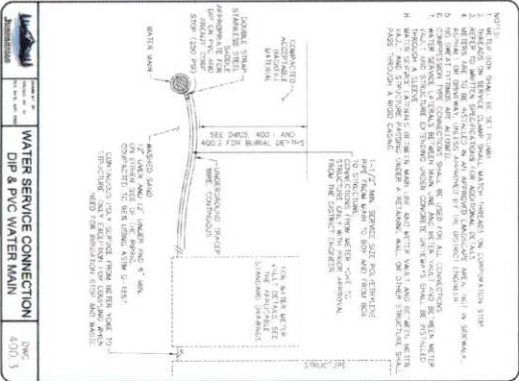
6.2 THRUST BLOCK  
Scale: NTS



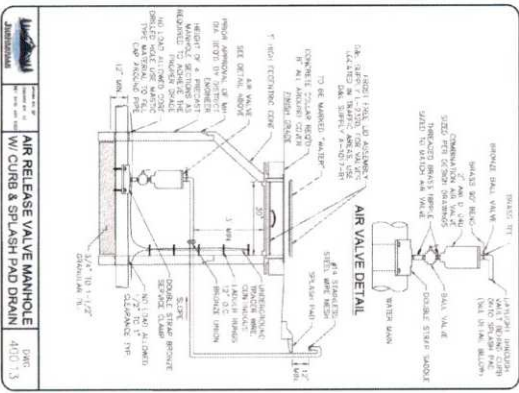
6.3 TYPICAL BURIED VALVE  
Scale: NTS



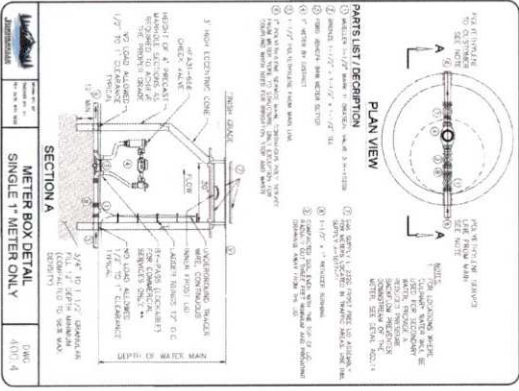
6.4 TRACER WIRE  
Scale: NTS



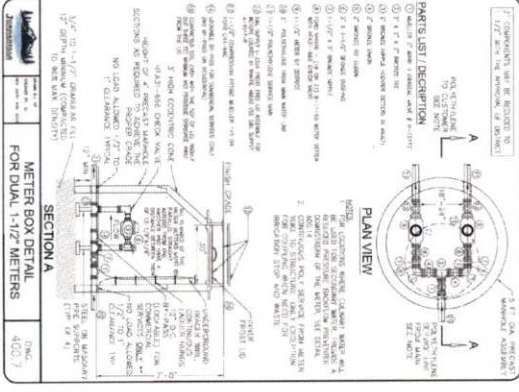
6.5 TYPICAL WATER SERVICE CONNECTION  
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6.6 AIR RELEASE VALVE  
Scale: NTS

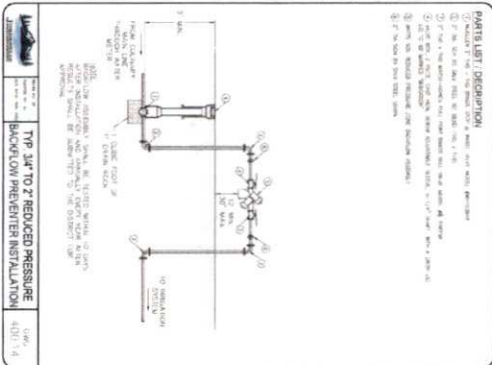
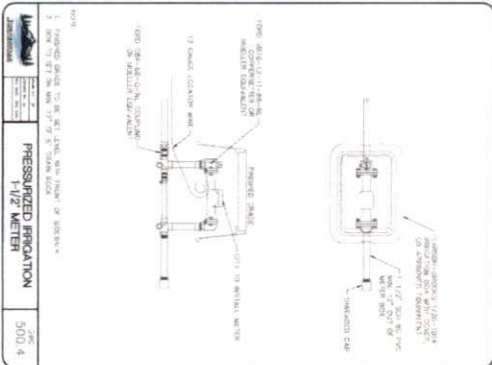
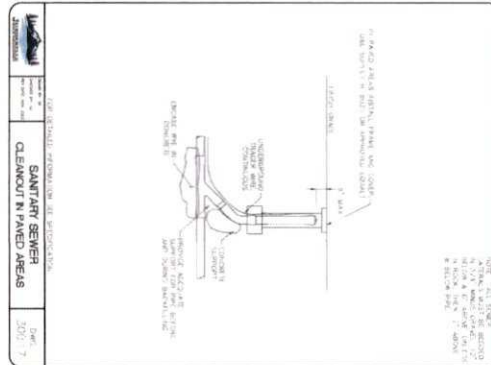
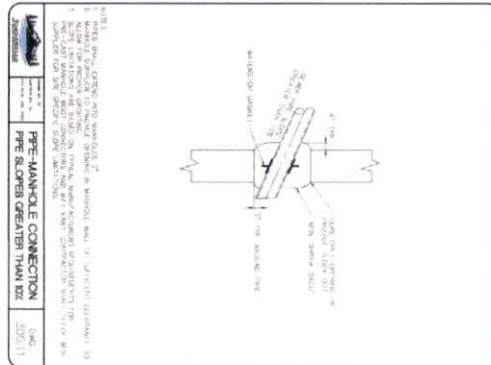


6.7 METER BOX DETAIL  
Scale: NTS



6.7 DUAL METER BOX DETAIL  
Scale: NTS



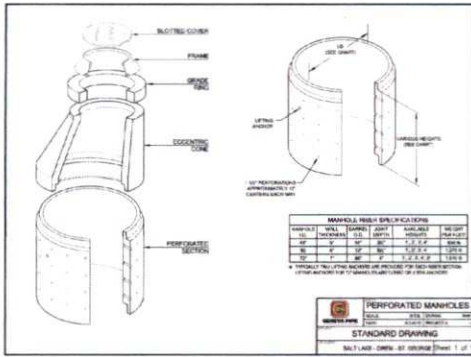


8.3 IRRIGATION METER

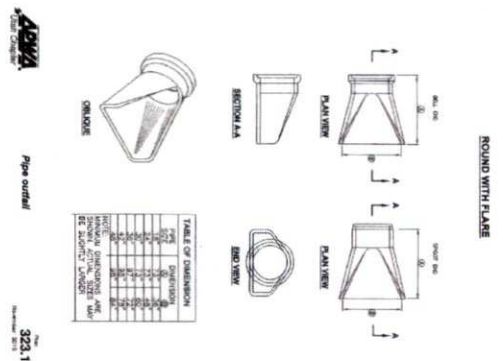
8.4 BACKFLOW PREVENTER

<p>PROJECT: STRAWBERRY RANCH</p> <p>PROJECT NUMBER: EMB</p> <p>DATE: 08/22/2023</p>		<p>DESIGN ENGINEER: [Signature]</p>	
<p>PROJECT: STRAWBERRY RANCH</p> <p>PROJECT NUMBER: EMB</p> <p>DATE: 08/22/2023</p>		<p>DESIGN ENGINEER: [Signature]</p>	
<p>PROJECT: STRAWBERRY RANCH</p> <p>PROJECT NUMBER: EMB</p> <p>DATE: 08/22/2023</p>		<p>DESIGN ENGINEER: [Signature]</p>	
<p>PROJECT: STRAWBERRY RANCH</p> <p>PROJECT NUMBER: EMB</p> <p>DATE: 08/22/2023</p>		<p>DESIGN ENGINEER: [Signature]</p>	

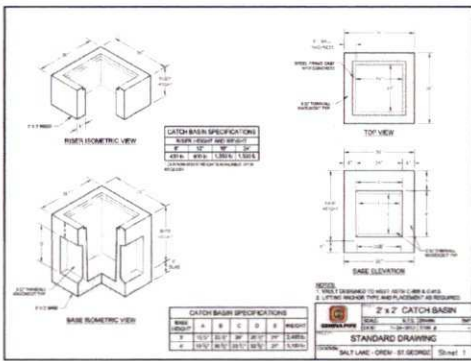




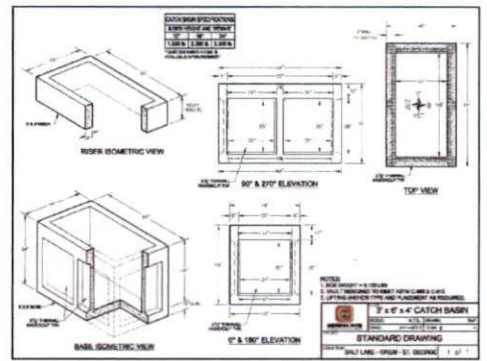
9.5 SUMP MANHOLE DETAIL  
SCALE: NTS



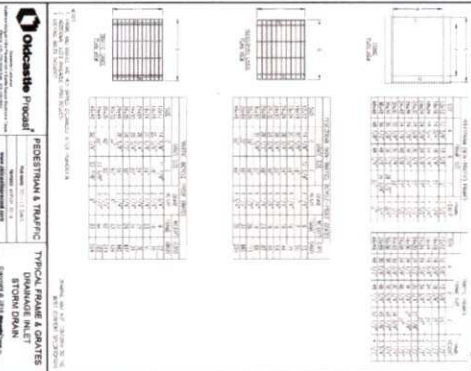
9.1 PIPE OUTFALL  
SCALE: NTS



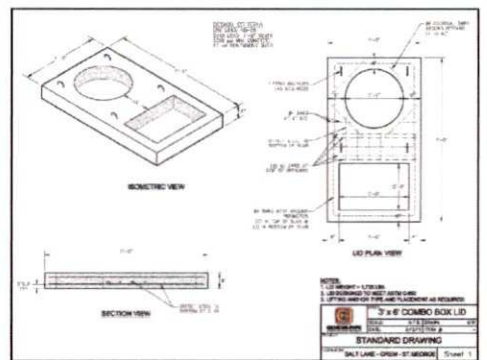
9.6 3X3 CATCH BASIN DETAIL  
SCALE: NTS



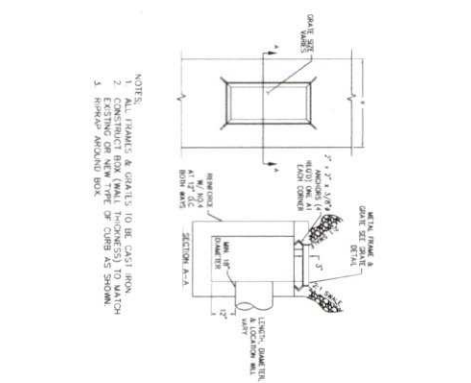
9.2 3X6 CATCH BASIN DETAIL  
SCALE: NTS



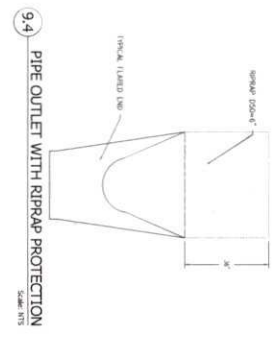
9.7 GRATE & FRAME DETAIL  
SCALE: NTS



9.3 3X6 COMBO BOX LID  
SCALE: NTS



9.8 INLET IN SWALE DETAIL  
SCALE: NTS

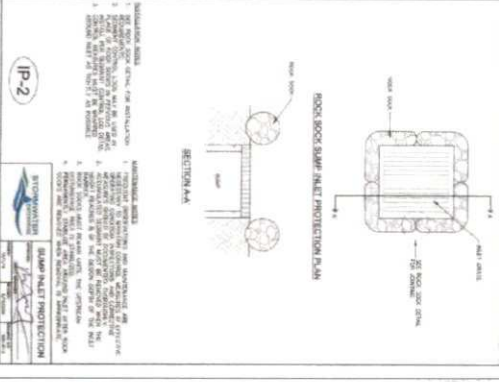
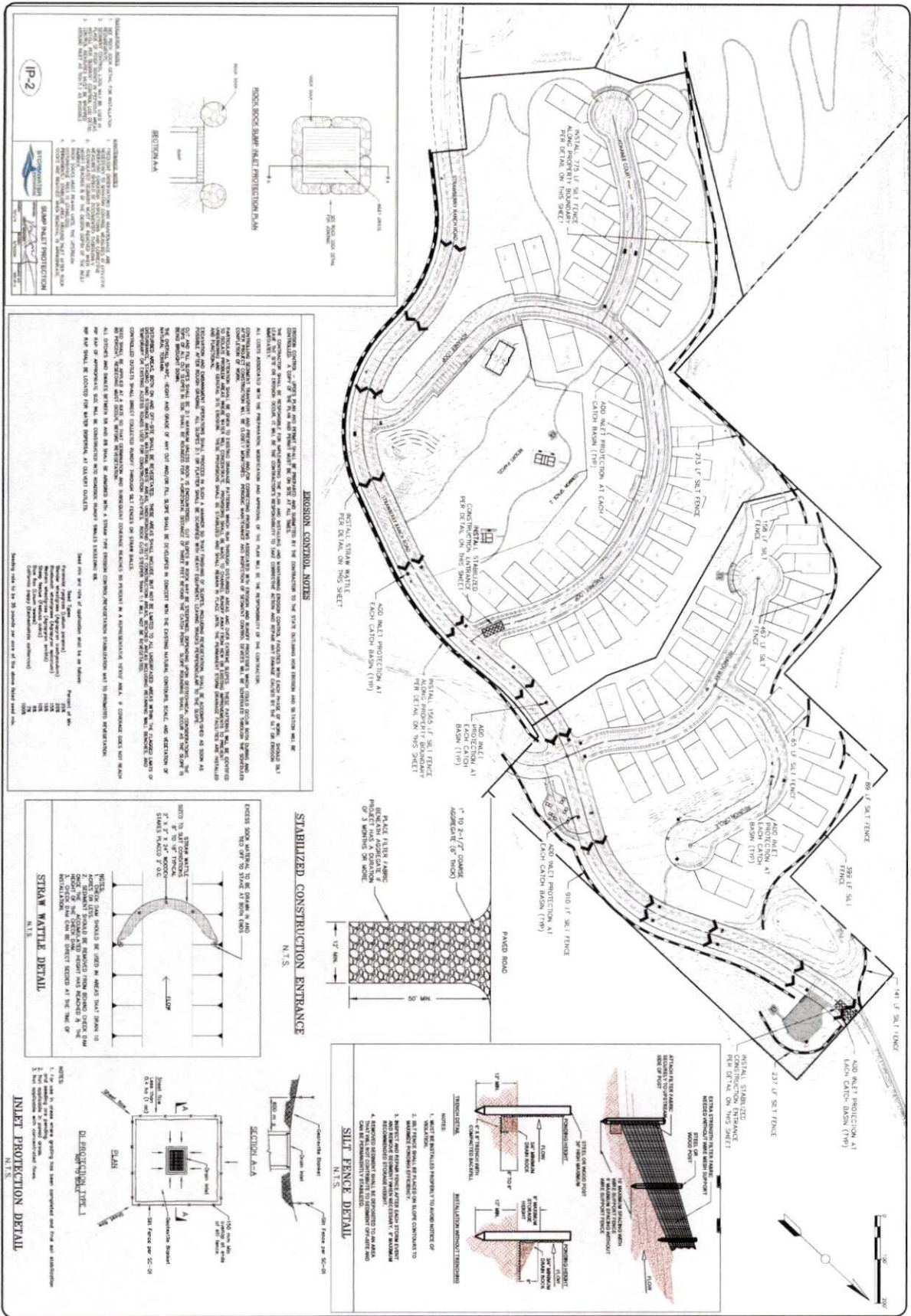


9.4 PIPE OUTFLET WITH RIPRAP PROTECTION  
SCALE: NTS

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PROJECT: STRAWBERRY RANCH	PROJECT ENGINEER: ENW	DATE: BY:	COPYRIGHT © 2011 SUMMIT ENGINEERING GROUP, INC.	
SHEET TITLE: STORM WATER DETAILS	PROJECT NUMBER: ENW	DATE: BY:		
PROJECT: STRAWBERRY RANCH	PROJECT NUMBER: ENW	DATE: BY:	SUMMIT ENGINEERING GROUP, INC. 55 WEST CENTER • P.O. BOX 176 HENRY CITY, IOWA 50422 P: 402-854-9222 • F: 402-854-9221	
PROJECT: STRAWBERRY RANCH	PROJECT NUMBER: ENW	DATE: BY:		





**EROSION CONTROL NOTES**

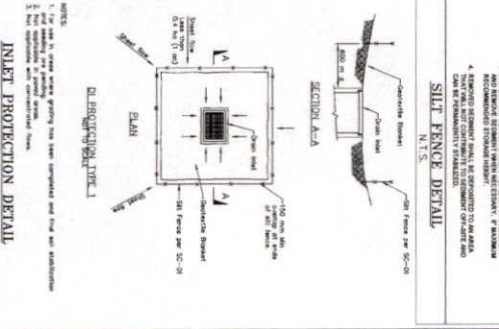
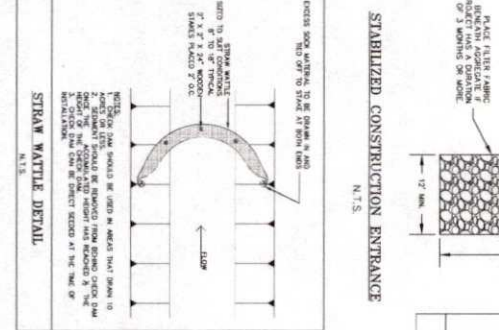
1. EROSION CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION PLAN AND THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, MAINTENANCE AND REPAIR OF THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, MAINTENANCE AND REPAIR OF THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, MAINTENANCE AND REPAIR OF THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

**STABILIZED CONSTRUCTION ENTRANCE**

1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION PLAN AND THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, MAINTENANCE AND REPAIR OF THE STABILIZED CONSTRUCTION ENTRANCE THROUGHOUT THE CONSTRUCTION PERIOD.

**INLET PROTECTION DETAIL**

1. INLET PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CONSTRUCTION PLAN AND THE CONSTRUCTION CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, MAINTENANCE AND REPAIR OF THE INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD.



<p>PROJECT: STRAWBERRY RANCH</p> <p>PROJECT NUMBER: C21-033</p> <p>DATE: 08/22/2023</p>	<p>PROJECT ENGINEER: [Name]</p> <p>PROJECT MANAGER: [Name]</p> <p>DATE: 08/22/2023</p>	<p>REVISIONS:</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	BY	DESCRIPTION																																													<p>COPYRIGHT © 2023 SUMMIT ENGINEERING GROUP, INC.</p> <p>Summit Engineering Group Inc.</p> <p>STRUCTURAL • CME • LAND SURVEYING</p> <p>55 WEST CENTER AVENUE, SUITE 176</p> <p>HEBEN CITY, OHIO 44843</p> <p>PH: 419-851-8229 • F: 419-854-8231</p>
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