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RICHARD T. MAUGHAN  
DAVIS COUNTY, UTAH RECORDER  
8/30/2023 4:11 PM  
FEE 0.00 Pgs: 50  
DEP MEC REC'D FOR FARMINGTON  
CITY CORP

**When recorded, mail to:**

Farmington City  
160 S Main  
Farmington, UT 84015

Affects Parcel No(s): 086640001

**LONG-TERM STORMWATER MANAGEMENT AGREEMENT**

This Long-Term Stormwater Management Agreement ("Agreement") is made and entered into this 24 day of March, 2021, by and between Farmington City, a Utah municipal corporation ("City"), and STATION PARK TOWNHOMES a LIMITED LIABILITY COMPANY ("Owner").

**RECITALS**

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters within the MS4, as set forth in the Farmington City Stormwater Ordinance, as amended ("Ordinance"), adopted pursuant to the Utah Water Quality Act, as set forth in *Utah Code Ann.* §§ 19-5-101, et seq., as amended ("Act"); and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in Exhibit "A," attached hereto and incorporated herein by this reference ("Property"); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to accommodate and regulate these anticipated changes in existing storm and surface water flow conditions, the Owner is required to build and maintain at Owner's expense a storm and surface water management facility or improvements ("Stormwater Facilities"); and

WHEREAS, the Stormwater Facilities are more particularly described and shown in the final site plan or subdivision approved for the Property and related engineering drawings, and any amendments thereto, which plans and drawings are on file with the City and are hereby incorporated herein by this reference ("Development Plan"); and

WHEREAS, summary description of all Stormwater Facilities, details and all appurtenance draining to and affecting the Stormwater Facilities and establishing the standard operation and routine maintenance procedures for the Stormwater Facilities, and control measures installed on the Property, ("Long Term Stormwater Management Plan") more particularly shown in Exhibit "B" on file with the City Planning Department and,

WHEREAS, a condition of Development Plan approval, and as required as part of the City's Small MS4 UPDES General Permit from the State of Utah, Owner is required to enter into this Agreement establishing a means of documenting the execution of the Long Term Stormwater Management Plan and,

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the City's approval of the Long Term Stormwater Management Plan, and the mutual covenants contained herein, the parties agree as follows:

#### **Section 1**

**Construction of Stormwater Facilities.** The Owner shall, at its sole cost and expense, construct the Stormwater Facilities in accordance with the Development Plans and specifications, and any amendments thereto which have been approved by the City.

#### **Section 2**

**Maintenance of Stormwater Facilities.** The Owner shall, at its sole cost and expense, adequately maintain the Stormwater Facilities. Owner's maintenance obligations shall include all system and appurtenance built to convey stormwater, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance, for purposes of this Agreement, is defined as good working condition so that the Stormwater Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Stormwater Facilities in good working condition.

#### **Section 3**

**Annual Maintenance Report of Stormwater Facilities.** The Owner shall, at its sole cost and expense, inspect the Stormwater Facilities and submit an inspection report and certification to the MS4 annually. The purpose of the inspection and certification is to assure safe and proper functioning of the Stormwater Facilities. The annual inspection shall cover all aspects of the Stormwater Facilities, including, but not limited to, the parking lots, structural improvements, berms, channels, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification as to whether adequate

maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by June 30<sup>th</sup> of each year and shall be on forms acceptable to the City.

#### **Section 4**

**City Oversight Inspection Authority.** The Owner hereby grants permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Stormwater Facilities upon reasonable notice not less than three business days to the Owner. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Stormwater Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with the Act, the Ordinance, and the Stormwater Facilities Maintenance Plan.

#### **Section 5**

**Notice of Deficiencies.** If the City finds that the Stormwater Facilities contain any defects or are not being maintained adequately, the City shall send Owner written notice of the defects or deficiencies and provide Owner with a reasonable time, but not less than sixty (60) days, to cure such defects or deficiencies. Such notice shall be confirmed delivery to the Owner or sent certified mail to the Owner at the address listed on the County Tax Assessor.

#### **Section 6**

**Owner to Make Repairs.** The Owner shall, at its sole cost and expense, make such repairs, changes or modifications to the Stormwater Facilities as may be determined as reasonably necessary by the City within the required cure period to ensure that the Stormwater Facilities are adequately maintained and continue to operate as designed and approved.

#### **Section 7**

**City's Corrective Action Authority.** In the event the Owner fails to adequately maintain the Stormwater Facilities in good working condition acceptable to the City, after due notice of deficiencies as provided in Section 5 and failure to cure, then, upon Owner's failure to cure or correct within thirty days following a second notice delivered to Owner, the City may issue a Citation punishable as a Misdemeanor in addition to any State or EPA fine. The City may also give written notice that the facility storm drain connection will be disconnected. Any damage resulting from the disconnection is subject to the foregoing cure periods. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Stormwater Facilities, and in no event shall this Agreement be construed to impose any such obligation on the City. The actions described in this Section are in addition to and not in lieu of any and all equitable remedies available to the City as provided by law for Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

### **Section 8**

**Reimbursement of Costs.** In the event the City, pursuant to this Agreement, incurs any costs, or expends any funds resulting from enforcement or cost for labor, use of equipment, supplies, materials, and the like related to storm drain disconnection from the City system, the Owner shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City. After said thirty (30) days, such amount shall be deemed delinquent and shall be subject to interest at the rate of ten percent (10%) per annum. Owner shall also be liable for any collection costs, including attorneys' fees and court costs, incurred by the City in collection of delinquent payments.

### **Section 9**

**Successor and Assigns.** This Agreement shall be recorded in the County Recorder's Office and the covenants and agreements contained herein shall run with the land and whenever the Property shall be held, sold, conveyed or otherwise transferred, it shall be subject to the covenants, stipulations, agreements and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property described herein.

### **Section 10**

**Severability Clause.** The provisions of this Agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Covenant shall not be affected thereby.

### **Section 11**

**Utah Law and Venue.** This Agreement shall be interpreted under the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Salt Lake County, Utah.

### **Section 12**

**Indemnification.** This Agreement imposes no liability of any kind whatsoever on the City, and the Owner agrees to hold the City harmless from any liability in the event the Stormwater Facilities fail to operate properly. The Owner shall indemnify and hold the City harmless for any and all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against the City from failure of Owner to comply with its obligations under this agreement relating to the Stormwater Facilities.

### **Section 13**

**Amendments.** This Agreement shall not be modified except by written instrument executed by the City and the Owner of the Property at the time of modification, and no modification shall be effective until recorded in the Davis County Recorder's Office.

**Section 14**

Subordination Requirement. If there is a lien, trust deed or other property interest recorded against the Property, the trustee, lien holder, etc., shall be required to execute a subordination agreement or other acceptable recorded document agreeing to subordinate their interest to the Agreement.

**Section 15**

Exhibit B. The Long-Term Stormwater Management Plan (LTSWMP) must adapt to change in good judgment when site conditions and operations change and when existing programs are ineffective. Exhibit B will not be filed with the agreement at County Recorder but is included by reference and kept on file with the City Planning Department. Revision applications must be filed with the City of Farmington and amended into the LTSWMP on file with the Farmington City Planning Department.

**LONG-TERM STORMWATER MANAGEMENT PLAN AGREEMENT**

SO AGREED this 24 day of March 2021.

**OWNER(S)**

By: [Signature] Title: Manager

By: \_\_\_\_\_ Title: \_\_\_\_\_

**OWNER ACKNOWLEDGEMENT**

(Complete if Owner is an Individual)

STATE OF UTAH )  
 )  
 ) :ss.  
 )  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared before me, \_\_\_\_\_, the signer(s) of the foregoing instrument who duly acknowledged to me that he/she/they executed the same.

\_\_\_\_\_  
NOTARY PUBLIC  
Residing in \_\_\_\_\_ County, \_\_\_\_\_.

\*\*\*\*\*

(Complete if Owner is a Corporation)

STATE OF UTAH )  
 )  
 ) :ss.  
 )  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared before me, \_\_\_\_\_, who being by me duly sworn did say that he/she is the \_\_\_\_\_ of \_\_\_\_\_ a \_\_\_\_\_ corporation, and that the foregoing instrument was signed on behalf of said corporation by authority of its Board of Directors, and he/she acknowledged to me that said corporation executed the same.

\_\_\_\_\_  
NOTARY PUBLIC  
Residing in \_\_\_\_\_ County, \_\_\_\_\_.

\*\*\*\*\*

(Complete if Owner is a Partnership)

STATE OF UTAH )  
 :ss.  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared before me, \_\_\_\_\_, who being by me duly sworn did say that he/she/they is/are the \_\_\_\_\_ of \_\_\_\_\_, a partnership, and that the foregoing instrument was duly authorized by the partnership at a lawful meeting held by authority of its by-laws and signed in behalf of said partnership.


NOTARY PUBLIC  
Residing in \_\_\_\_\_ County, \_\_\_\_\_.

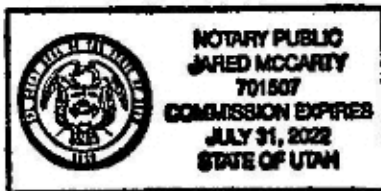
\*\*\*\*\*

(Complete if Owner is a Limited Liability Company)

STATE OF UTAH )  
 : ss.  
COUNTY OF DAVIS )

On this 24 day of MARCH, 2021, personally appeared before me NATHAN PUGSLEY who being by me duly sworn did say that ~~he~~ or she is the MANAGER of STATION PARK TECHNOLOGIES a limited liability company, and that the foregoing instrument was duly authorized by the Members/Managers of said limited liability company.

  
NOTARY PUBLIC  
Residing in LAYTON, UT County, DAVIS.



FARMINGTON CITY

By: Chad W. Bushell

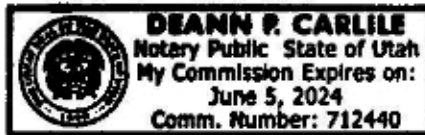
Date: 2-23-23

Title: Assist. City Manager

CITY ACKNOWLEDGEMENT

STATE OF UTAH     )  
  : ss.  
COUNTY OF DAVIS )

On this 19th day of February, 2023, personally appeared before me  
Chad Bushell, who being duly sworn did say, that he, is the  
City Engineer of FARMINGTON CITY, a Municipal Corporation of the State  
of Utah, and that the foregoing instrument was signed in behalf of the City by authority of its  
governing body and said Chad Bushell acknowledged to me that the City  
executed the same.



Deann P. Carlile  
Notary Public  
Residing at:

My Commission Expires:  
6-5-24

Davis County  
LTSWMP

Attachments:

- Exhibit A: Legal Description
- Exhibit B: Long-Term Stormwater Management Plan; Filed with Farmington City Planning Department



## EXHIBIT A

### LEGAL DESCRIPTION:

ALL OF LOT 1 OF FARMINGTON STATION PARKWAY AS RECORDED IN THE DAVIS  
COUNTY RECORDER'S OFFICE.

## EXHIBIT B

### Long-Term Stormwater Management Plan

for:

Farmington Station Parkway  
Farmington, Utah

## **PURPOSE AND RESPONSIBILITY**

As required by the Clean Water Act and resultant local regulations, including Municipal Separate Storm Sewer Systems (MS4) Permit, those who develop land are required to build and maintain systems to minimize litter and contaminants in stormwater runoff that pollute waters of the State.

This Long-Term Stormwater Management Plan (LTSWMP) describes the systems, operations and the minimum standard operating procedures (SOPs) necessary to manage pollutants originating from or generated on this property. Any activities or site operations at this property that contaminate water entering the City's stormwater system and generate loose litter must be prohibited, unless SOPs are written to manage those activities or operations, and amended into this LTSWMP.

The LTSWMP is aimed at addressing water impairments in addition to all other pollutants that can be generated by this property.

## **CONTENTS**

- SECTION 1: SITE DESCRIPTION, USE AND IMPACT
- SECTION 2: TRAINING
- SECTION 3: RECORDKEEPING
- SECTION 4 APPENDICES

## **SECTION 1: SITE DESCRIPTION, USE AND IMPACT**

The site infrastructure and operations described in this Section are limited at controlling and containing pollutants and if managed improperly can contaminate the environment. The LTSWMP includes standard operations procedures (SOP)s that are intended to compensate for the limitations of the site infrastructure. The property manager must use good judgment and conduct operations appropriately, doing as much as possible indoors and responsibly managing operations that must be performed outdoors.

### **Parking, Sidewalk and flatwork**

Any sediment, leaves, debris, spilt fluids or other waste that collects on our parking lots and sidewalks will be carried by runoff to our storm drain inlets. This waste material will settle in our storm drain system increasing maintenance cost and any waste dissolving in the runoff will pass through our system ultimately polluting Utah waters. Maintenance involves regular sweeping, but it can also involve pavement washing to remove stains, slick spots and improve appearance when necessary. The Pavement Maintenance and the Pavement Washing SOPs are used to manage the pollutants associated with our pavements.

### **Landscaping**

Our landscape operations including mowing, pruning, hand digging etc., can result in grass clippings, sticks, branches, dirt, mulch, including fertilizers, pesticides and other pollutants to fall or be left on our paved areas. The primary pollutant impairing Utah Waters is organic material so it is vital that the paved areas with direct connection to the City storm drain systems remain clean of landscape debris. The Landscape Maintenance SOP is written to control and manage this potential pollution source affecting Utah Waters.

### **Storm Drain System**

The storm drain inlets direct all runoff to a detention pond and though a stormwater treatment unit that is designed to capture floating material and heavier sediment particles, but does not trap suspended or dissolved pollutants. This device is susceptible to bypass and scour during large storm events and the dissolved pollutants can harm Utah waters. Also the stormwater treatment system holds water that can breed mosquitoes. It is important to regularly maintain this system to protect Utah waters and prevent mosquito breeding. The Storm Drain Maintenance SOP is written to control and manage this system.

### **Waste Management**

The 6-yard dumpster and trash receptacles with lids are intended to prevent precipitation exposure minimizing liquids that can leak to pavements and from haul trucks. Lids will also prevent the light weight trash carried off by wind. Good waste management systems, if managed improperly, can become the source of the very pollution that they were intended to control. The Waste Management SOP is written to control and manage the waste we generate.

### **Utility System**

The roof top utility system exposed to our roof drains which drain to our pavements. This heating and air conditioner unit contains oils and other chemicals that can harm Utah waters if allowed to drain off our property. Liquids and other waste generated by maintenance of this system can be appropriately managed by the Spill Containment and Cleanup SOP.

### **Snow and Ice Removal Management**

Salt is a necessary pollutant and is vital to ensuring a safe parking and pedestrian path system. However, the snow removal operations improperly managed will increase our salt impact to local water resources and to our own vegetation.

## **SECTION 2: TRAINING**

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage and maintain the property. Maintenance contractors must use the stronger of their Company and the LTSWMP SOPs. File all training records in Appendix C.

## **SECTION 3: RECORDKEEPING**

Maintain records of operation and maintenance activities in accordance with SOPs.

## **SECTION 4: APPENDICES**

- Appendix A- Site Drawings and Details
- Appendix B- SOPs
- Appendix C- Recordkeeping Documents

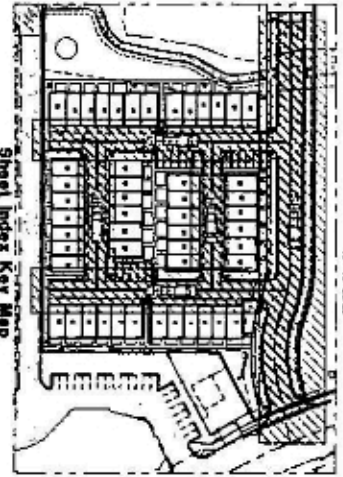
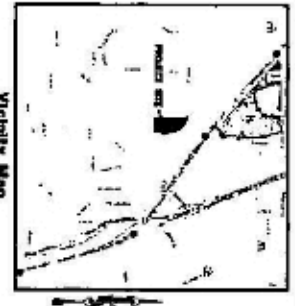
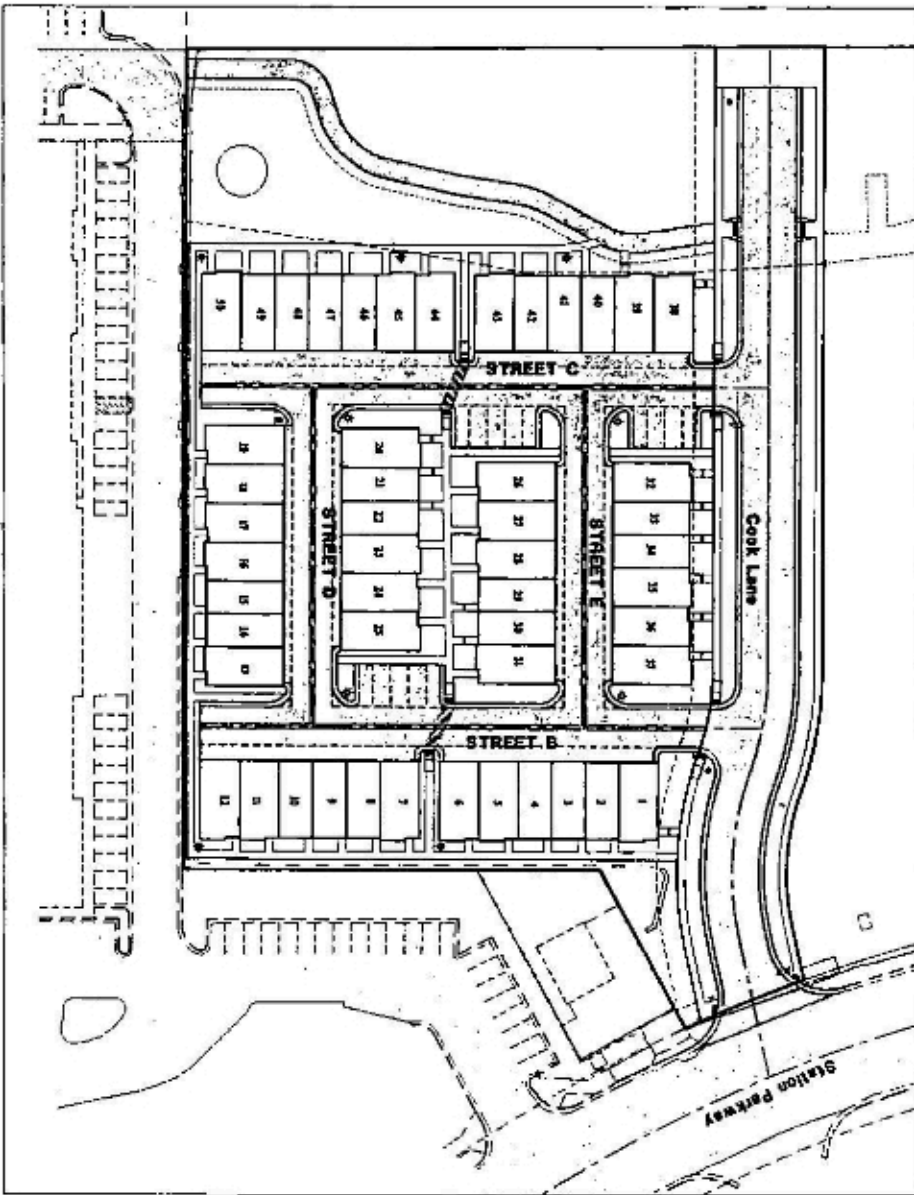
## APPENDIX A – SITE DRAWINGS AND DETAILS

*[Insert Site Drawings and Details following the blue text]*



# Farmington Station Parkway Improvement Plans

FARMINGTON CITY, DAVIS COUNTY, UTAH  
 JUNE 2020



- Sheet Index:**
- Sheet 1 - Cover/Index Sheet
  - Sheet 2 - Notes/Legend/Street Cross-Section
  - Sheet 2.1 - Details
  - Sheet 2.2 - Details
  - Sheet 3 - Site Plan
  - Sheet 4 - Cook Lane Plan & Profile
  - Sheet 5 - Street B Plan & Profile
  - Sheet 6 - Street C Plan & Profile
  - Sheet 7 - Street D Plan & Profile
  - Sheet 8 - Street E Plan & Profile
  - Sheet 9 - Grading & Drainage Plan
  - Sheet 9.1 - Basin Details
  - Sheet 9.2 - Land Drain Outfall
  - Sheet 10 - Utility Plan
  - Sheet 11 - Storm Water Pollution Prevention Plan Exhibit
  - Sheet 12 - Storm Water Pollution Prevention Plan Details
  - Sheet 13 - Landscape

**Engineer's Notice To Contractors:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND FOR THE COST OF ANY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY PERMITS.

**Developer Contact:**  
 Name: [Redacted]  
 Title: [Redacted]  
 Phone: [Redacted]  
 Email: [Redacted]

**Project Contact:**  
 Name: [Redacted]  
 Title: [Redacted]  
 Phone: [Redacted]  
 Email: [Redacted]



**Farmington Station Parkway**  
 PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, S&B 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

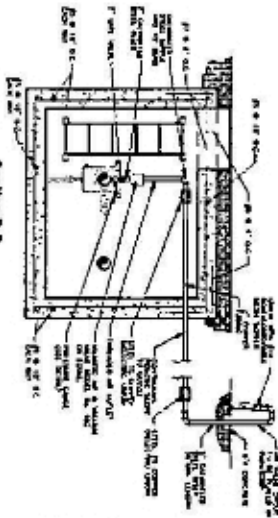
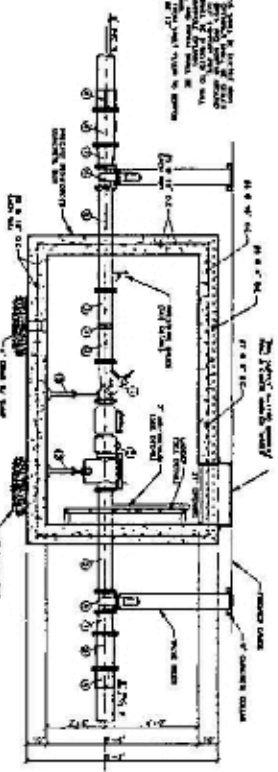
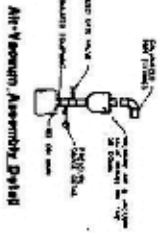
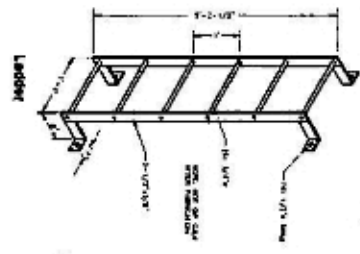
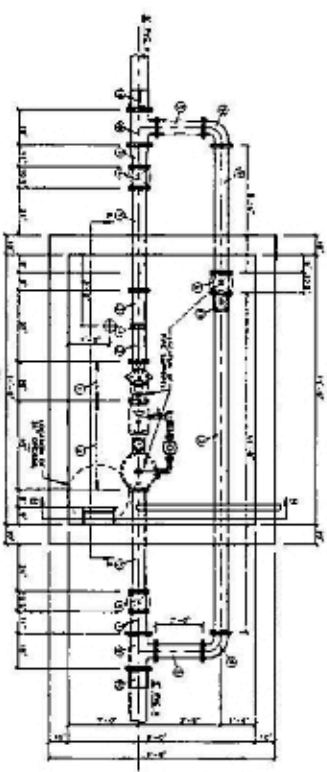
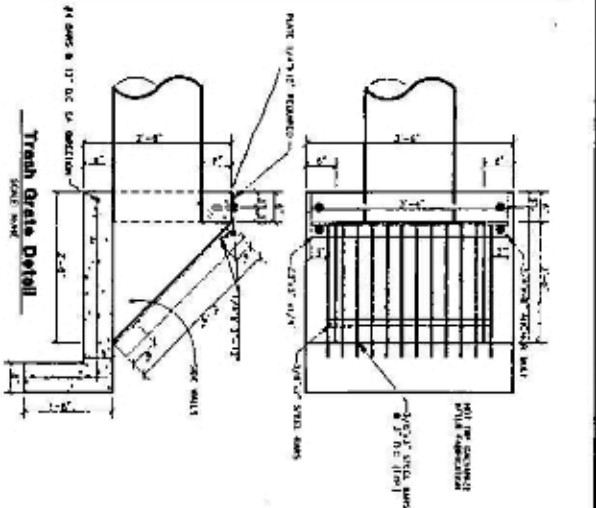
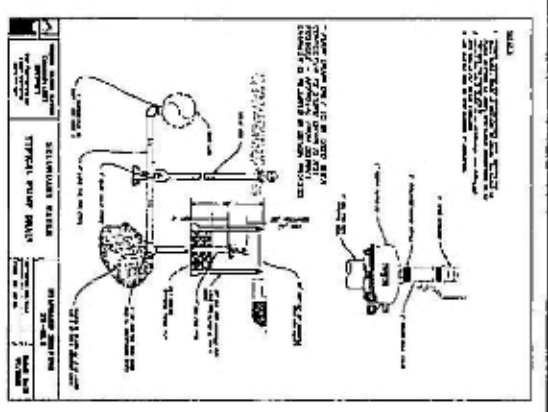
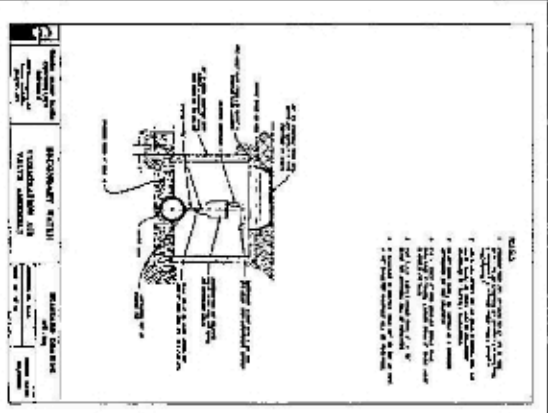
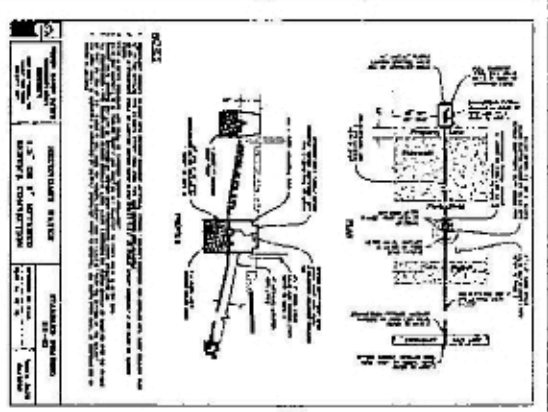
Cover/Index Sheet



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Project No.	3542210
Sheet No.	13
Revision	1
Date	6/10/20
Scale	1" = 20'
Project Name	Farmington Station Parkway
Project Location	Farmington City, Davis County, Utah
Project Engineer	Ryan J. Smith
Project Designer	Ryan J. Smith
Project Checker	Ryan J. Smith
Project Approver	Ryan J. Smith
Project Date	6/10/20
Project Status	Final





NO.	DESCRIPTION	DATE
1	DESIGNED BY RA	APR 1964
2	CHECKED BY RA	APR 1964
3	APPROVED BY RA	APR 1964
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

Farmington City Engineer

REVISIONS

**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, AND RANGE 4 WEST, SEC. 5-140, FARMINGTON CITY, CANNON COUNTY, GA.

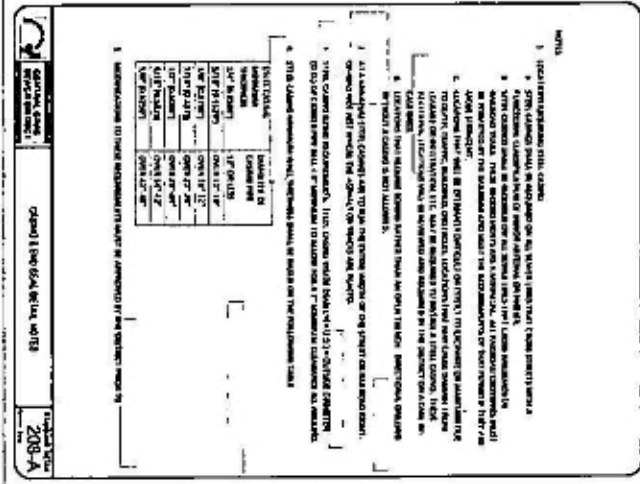
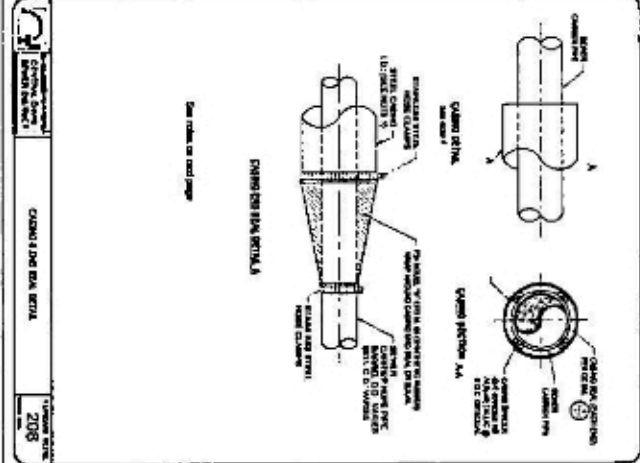
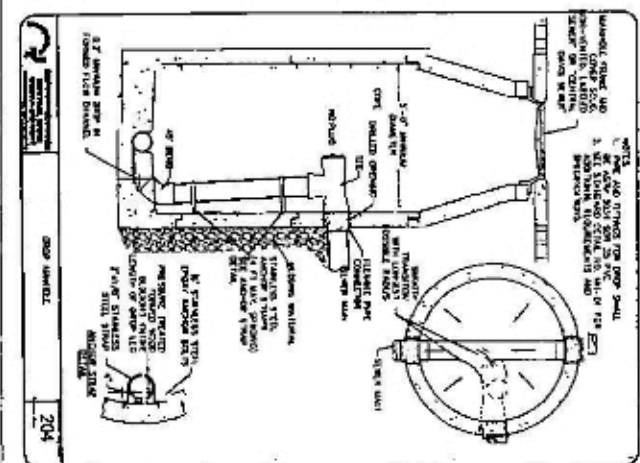
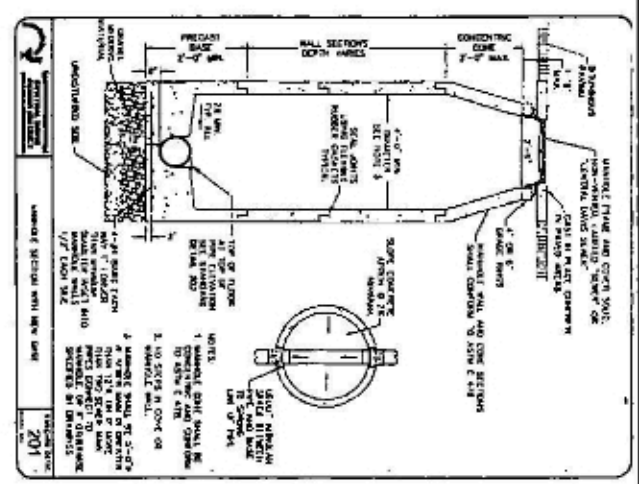
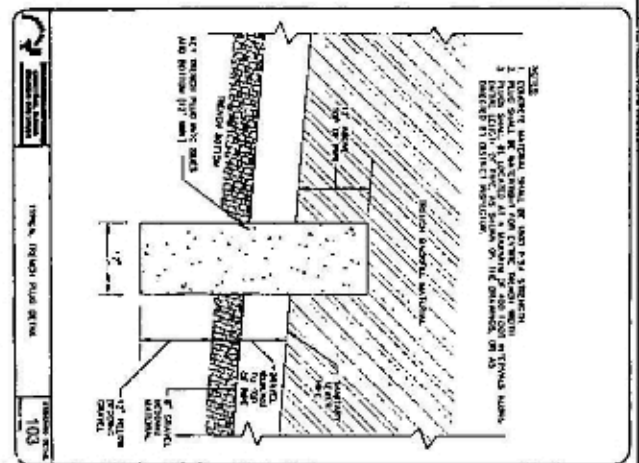
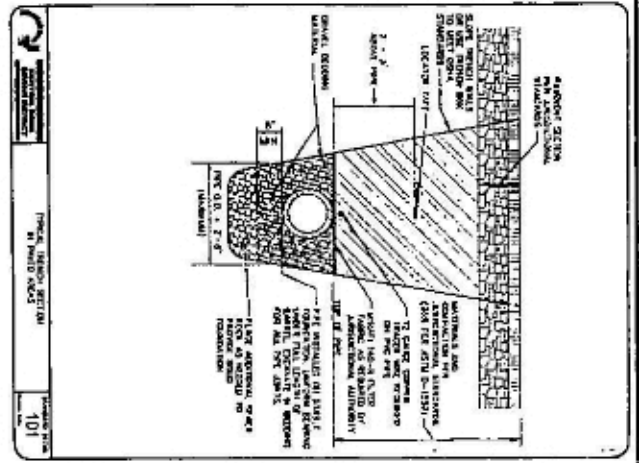
**Details**

REVISIONS  
DATE DESCRIPTION

**RA** Reeve & Associates, Inc.

13  
2.1

Farmington City Engineer  
FOUNDATION DIV. ENGINEER  
DATE



**Reeve & Associates, Inc.**  
1400 WEST 10TH STREET, SUITE 100  
DENVER, COLORADO 80202  
TEL: 333-3333 FAX: 333-3333

**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 3 NORTH,  
RANGE 1 WEST, 54TH MERIDIAN U.S. SURVEY  
FARMINGTON CITY, DAVIS COUNTY, UTAH

**Details**

**REVEE & ASSOCIATES, INC.**  
REGISTERED PROFESSIONAL ENGINEER  
No. 12345  
STATE OF UTAH

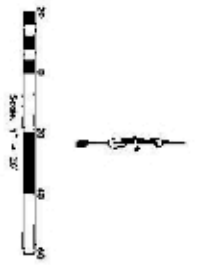
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Scale: 1/4" = 1'-0"

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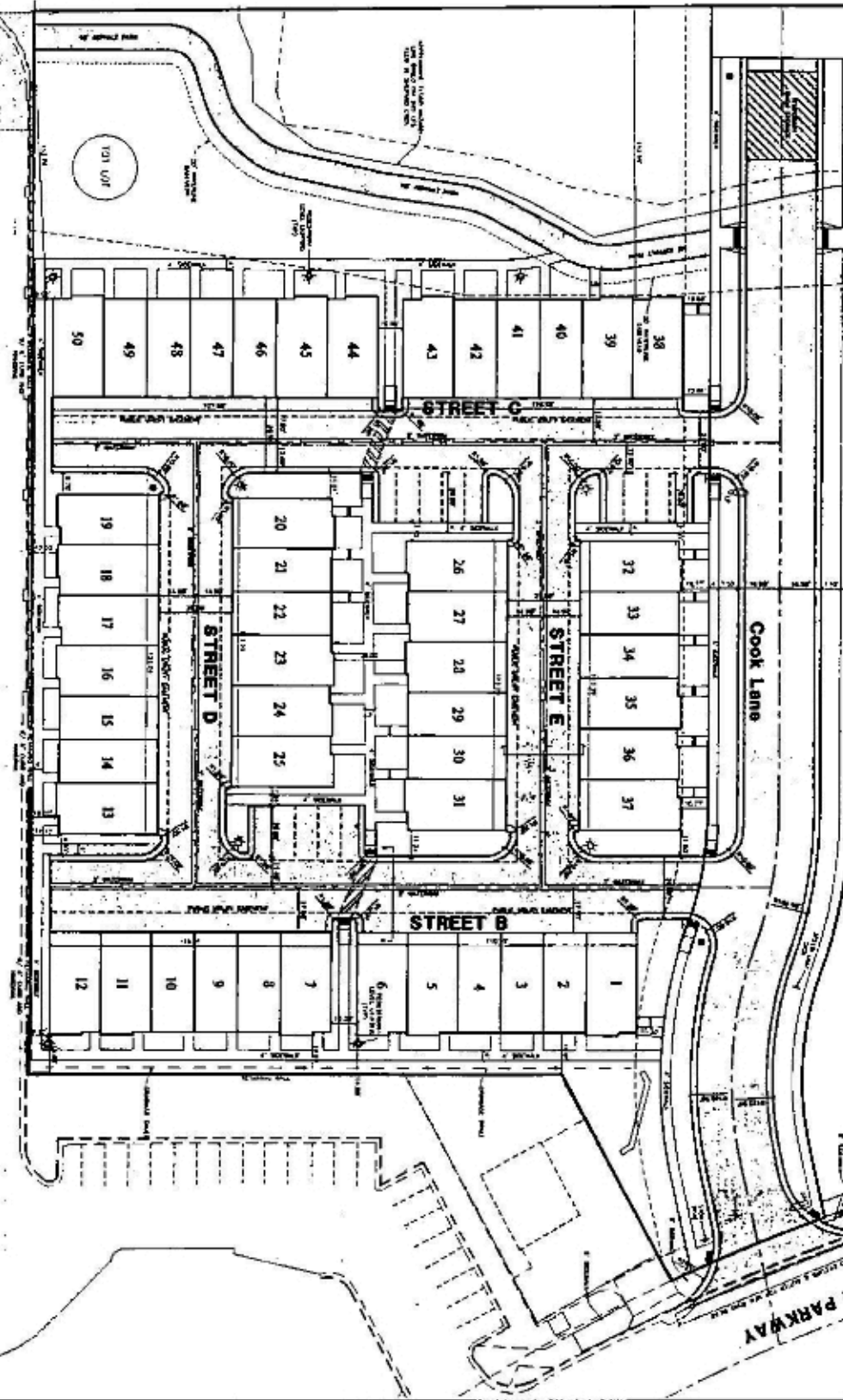
SITE DATA	
PROJECT NO.	11-207-14 (18-2020)
PROJECT AREA	28.62 AC
APPROX. AREA	33,441 SQ. FT. (0.76 AC)
DATE	11/20/20

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**Asphalt Trail**  
SCALE: 1"=10'

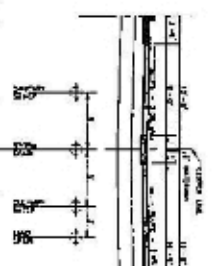
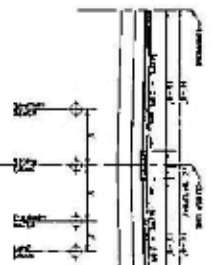


3542210  
BK 8327 PG 816



**Private Street Section A-A**  
SCALE: 1"=10'

**Private Street Section B-B**  
SCALE: 1"=10'



**Farmington City Engineer**  
DATE: \_\_\_\_\_

Sheet No.	13
Project No.	3
Project Name	Farmington Station Parkway
Client	REVE & ASSOCIATES, INC.
Design Date	11/20/20
Scale	AS SHOWN
Drawn By	J. [Name]
Checked By	[Name]
Approved By	[Signature]



**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH,  
RANGE 1 WEST, S41E W2E & W3E, U.S. SURVEY,  
FARMINGTON CITY, DAVIS COUNTY, IOWA

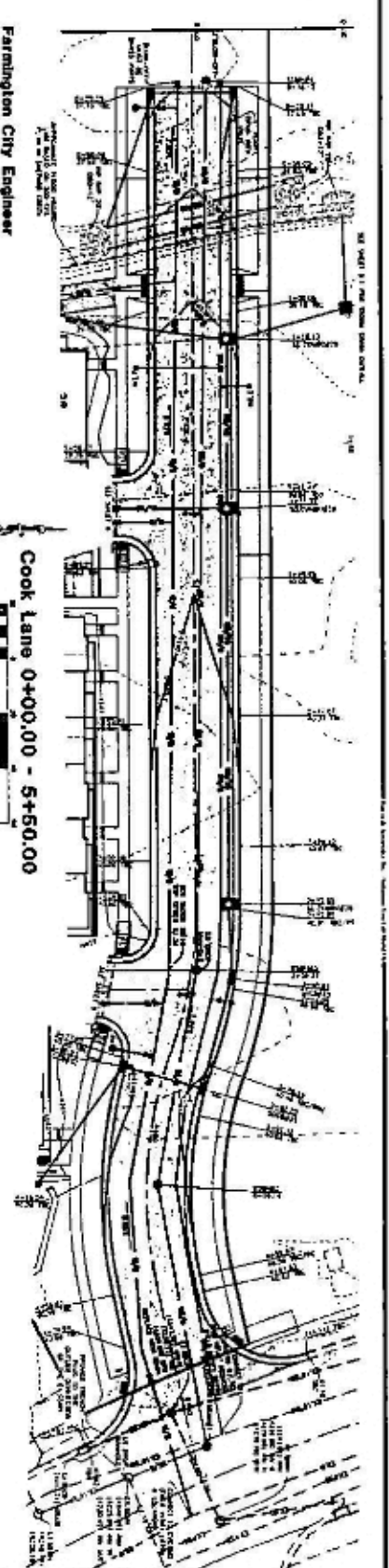
**Site Plan**

REVISIONS	DATE	DESCRIPTION

**Reeve & Associates, Inc.**  
1100 EAST 10TH AVENUE, SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1100  
WWW.REEVE-ASSOCIATES.COM

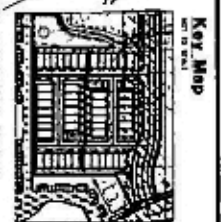
**Farmington City Engineer**  
 FARMINGTON CITY ENGINEER  
 DATE

**Cook Lane 0+00.00 - 5+50.00**

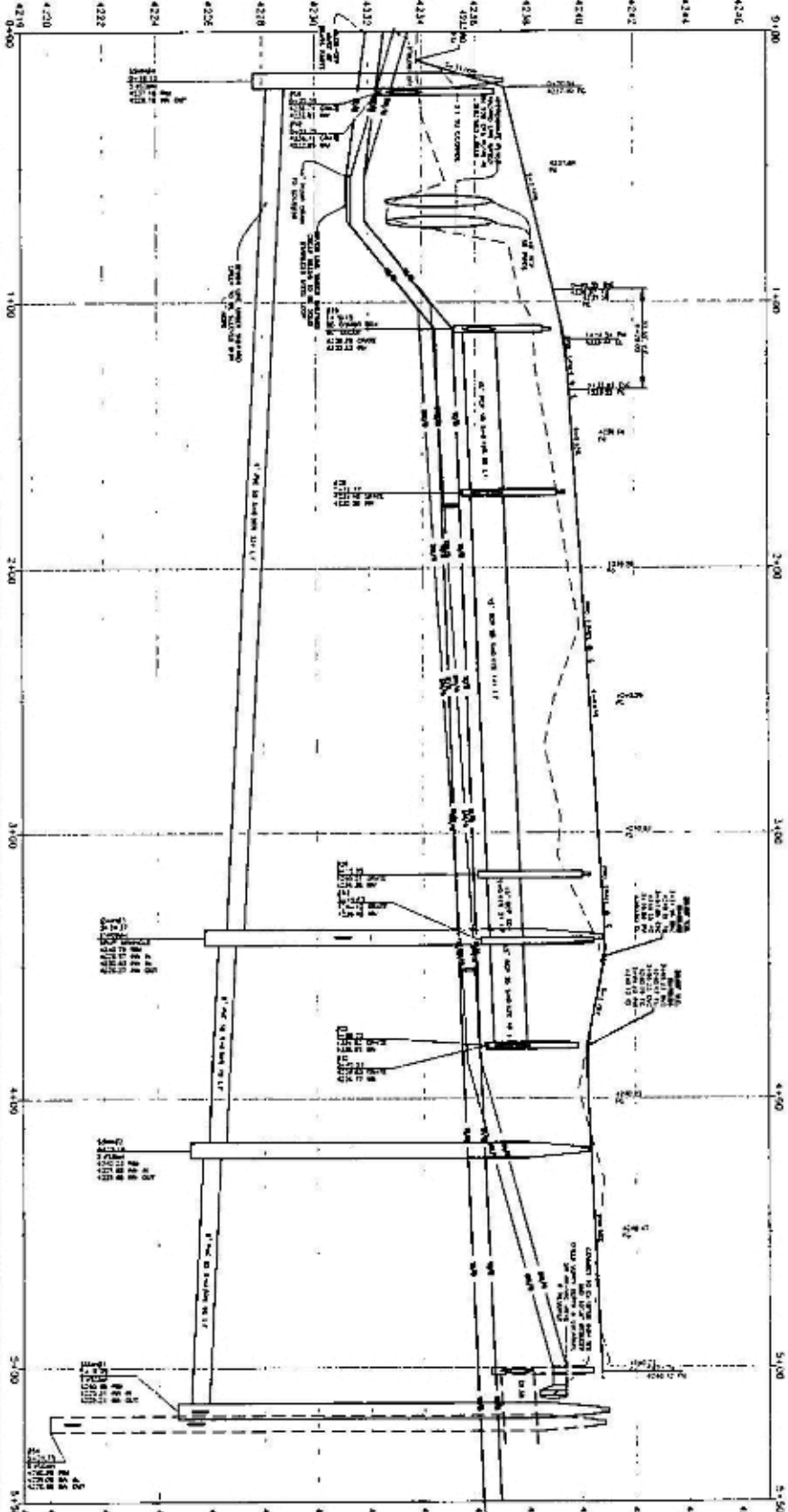


**Construction Notes**

1. THE LANE WIDTH, SURFACE, GRADES, AND UTILITIES SHALL BE AS SHOWN ON THESE PLANS AND SHALL BE CONFORMED TO BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEER AND THE STATE ENGINEER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEER AND THE STATE ENGINEER.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY ENGINEER AND THE STATE ENGINEER.



**Key Map**



**CHANGING GRADES**  
 4240.00 - 4240.00 - 4240.00  
 4238.00 - 4238.00 - 4238.00  
 4236.00 - 4236.00 - 4236.00  
 4234.00 - 4234.00 - 4234.00  
 4232.00 - 4232.00 - 4232.00  
 4230.00 - 4230.00 - 4230.00  
 4228.00 - 4228.00 - 4228.00  
 4226.00 - 4226.00 - 4226.00  
 4224.00 - 4224.00 - 4224.00  
 4222.00 - 4222.00 - 4222.00  
 4220.00 - 4220.00 - 4220.00  
 4218.00 - 4218.00 - 4218.00  
 4216.00 - 4216.00 - 4216.00  
 4214.00 - 4214.00 - 4214.00  
 4212.00 - 4212.00 - 4212.00  
 4210.00 - 4210.00 - 4210.00

**811**  
Engineering & Surveying

**Farmington Station Parkway**  
 PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH,  
 RANGE 1 WEST, SALT LAKE BASIN & MERRILL, U.S. SURVEY  
 FARMINGTON CITY, DADE COUNTY, ILL.

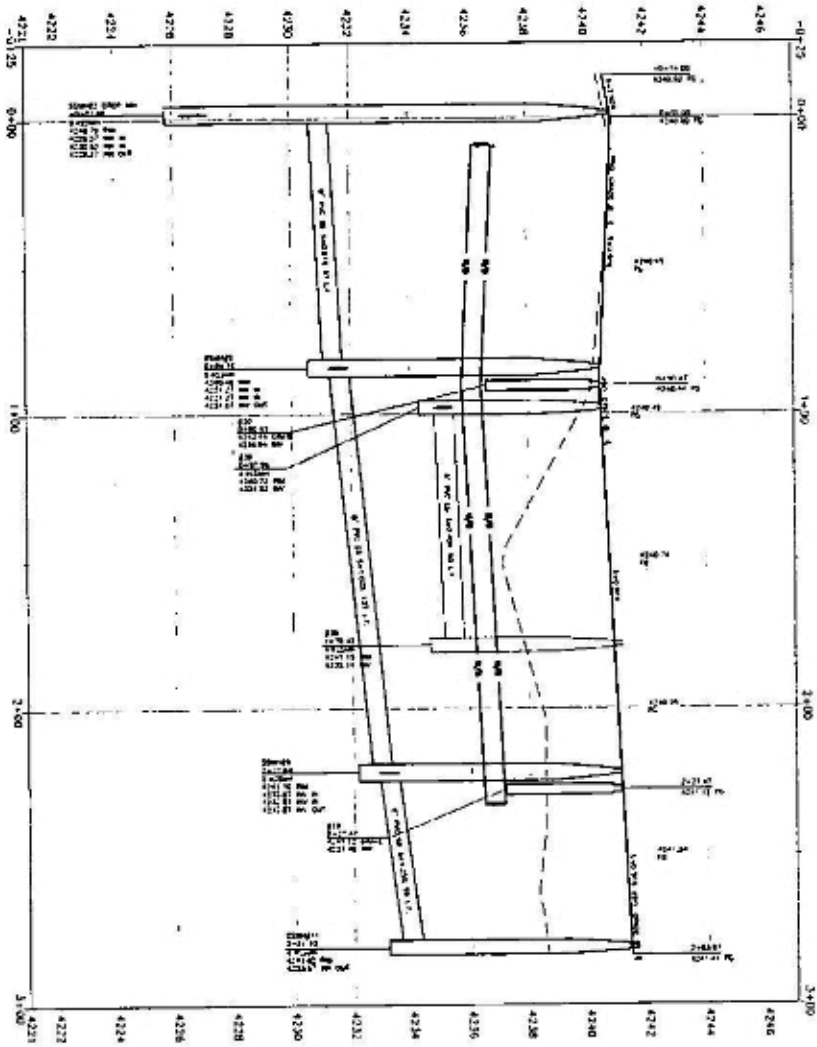
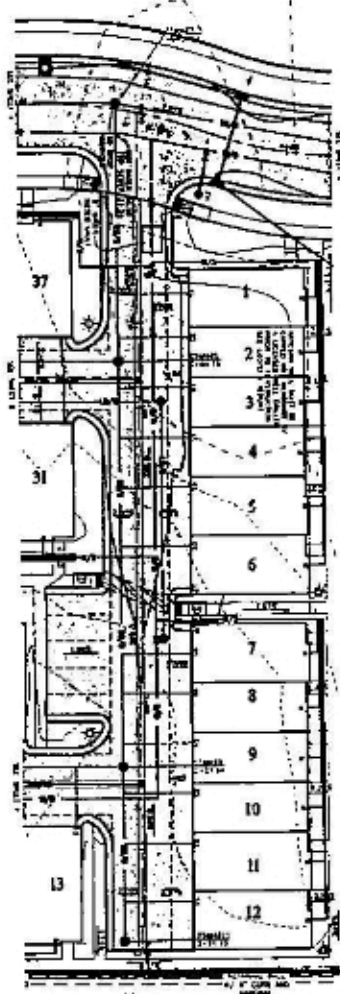
**Cook Lane Plan & Profile**

**Reeve & Associates, Inc.**  
 1000 N. 10TH ST. SUITE 100  
 FARMINGTON, ILL. 62501  
 TEL: 618-261-1111 FAX: 618-261-1112

Project No. 13  
 Date: 1/17/2013  
 Scale: 1"=40'

Revised: 1/17/13  
 4 SHEETS

PERMITS  
 DATE: \_\_\_\_\_  
 COLLECTION: \_\_\_\_\_



B STREET 0+00.00 - 3+00.00



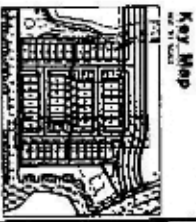
Farmington City Engineer

Professional City Engineer



**Construction Notes**

- 1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 2) CONSULT INSURANCE AGENT FOR ALL AND OTHER REQUIREMENTS.
- 3) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 4) ALL STREET LIGHT FIXTURES SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 5) STRENGTHEN WATER LINES SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 6) ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES.
- 7) ALL STREET LIGHTS SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 8) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 9) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 10) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 11) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 12) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.
- 13) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION.



**Farmington Station Parkway**  
PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH  
RANGE 7 WEST, SALT LAKE BASIN & SIOUX COUNTY SURVEY  
FARMINGTON CITY, SIOUX COUNTY, IOWA

**B Street Plan & Profile**

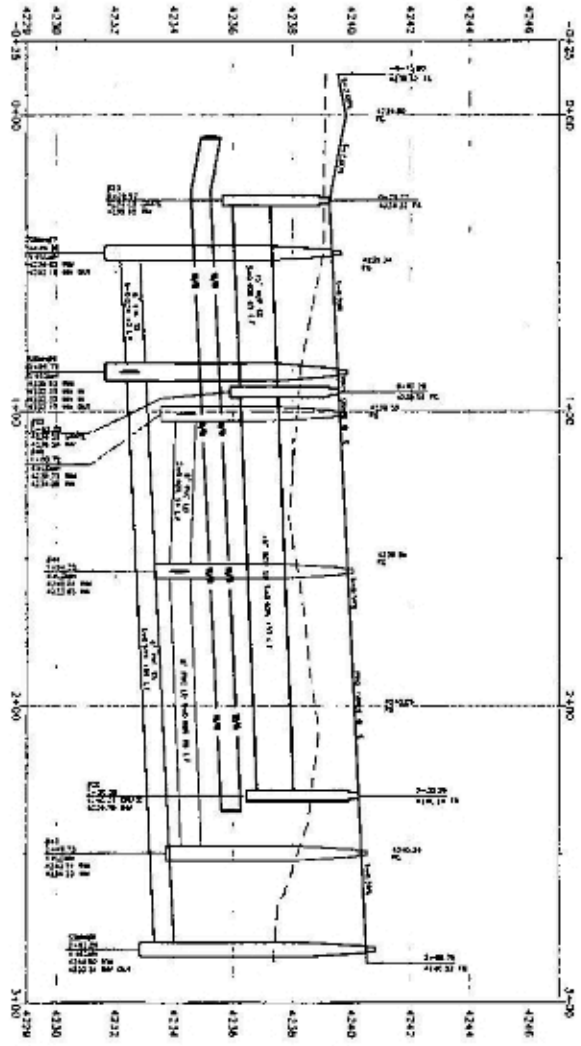
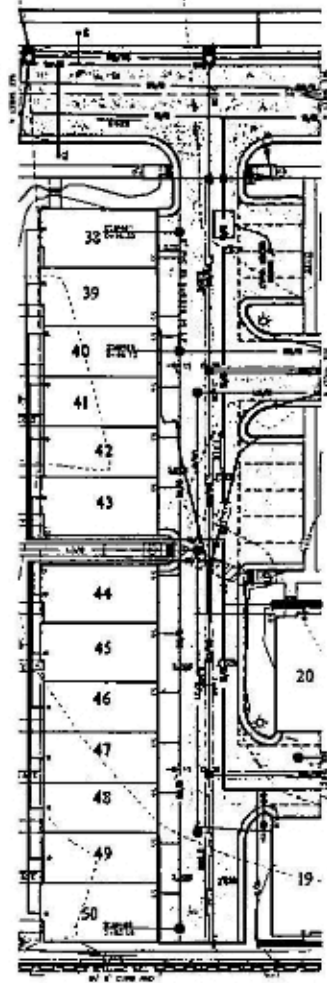
**Reeve & Associates, Inc.**  
100 SOUTH 100 WEST, SUITE 100  
FARMINGTON, IOWA 52521  
PHONE: 562-1111 FAX: 562-1112  
WWW.REEVE-ASSOCIATES.COM

DATE	DESCRIPTION

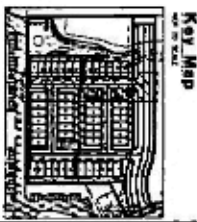


Project No.	13
Client	City of Farmington
Scale	1" = 20'
Sheet No.	5
Sheet Count	13
Drawn By	J. J. [Name]
Checked By	J. J. [Name]
Date	11/1/2011

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C STREET 0+00.00 - 3+00.00



**Construction Notes:**

- 1) ALL CONSTRUCTION IS TO BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
- 2) (CONTRACT) MEASURE FROM THE END OF THE ROAD.
- 3) ALL WORK SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
- 4) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
- 5) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
- 6) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
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- 18) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
- 19) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
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- 33) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
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- 40) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
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- 44) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
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- 46) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
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- 48) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
- 49) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.
- 50) ALL CONSTRUCTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS OF THE STATE OF MISSISSIPPI.

Farmington City Engineer

PLANNING CITY ENGINEER



**Farmington Station Parkway**  
PART OF THE SOUTH-EAST QUARTER IN SECTION 26, TOWNSHIP 12 NORTH, RANGE 1 WEST, LEBLANC MERIDIAN, MISSISSIPPI, U.S. SURVEY  
FARMINGTON CITY, DAVIS COUNTY, MISSISSIPPI

**C Street Plan & Profile**

**Reeve & Associates, Inc.**  
1000 10th St. N.W., P.O. Box 1000  
Farmington, MS 38625  
Tel: 662-726-1111  
Fax: 662-726-1112  
www.reeveandassociates.com

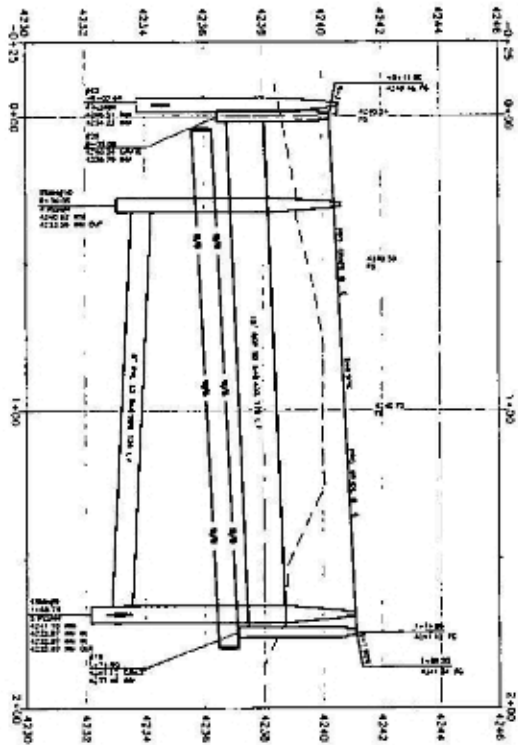
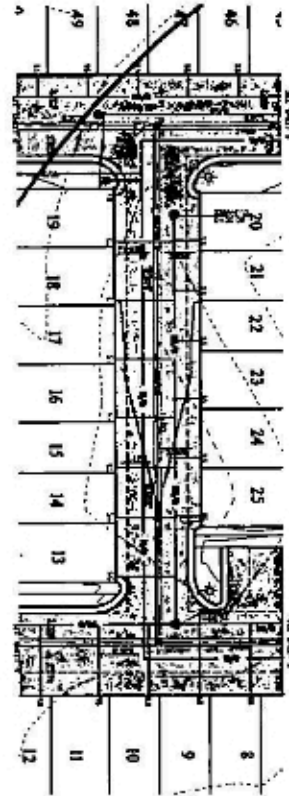
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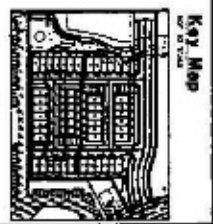
PROJECT NO. 13  
DATE 10/20/00  
DRAWN BY J. L. LAMAR  
CHECKED BY J. L. LAMAR  
SCALE AS SHOWN  
SHEET NO. 6 OF 6

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D STREET 0+00.00 - 2+00.00



**Construction Notes**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION OF THE STATE OF IOWA.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION OF THE STATE OF IOWA.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION OF THE STATE OF IOWA.
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Farmington City Engineer



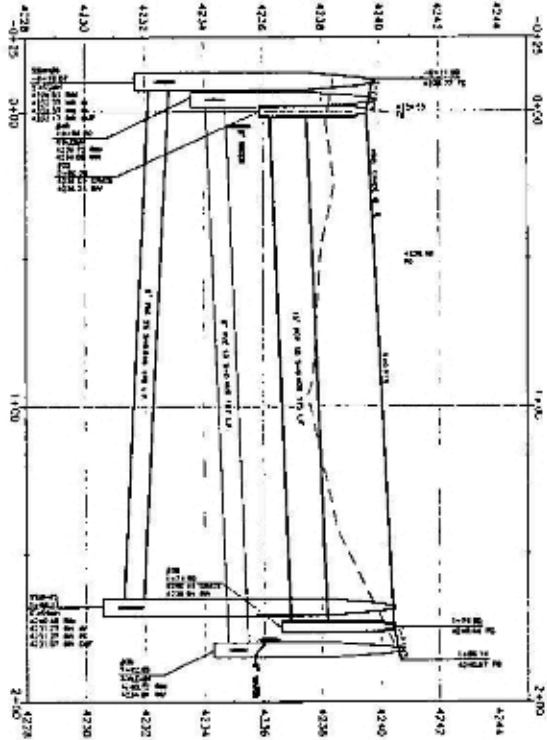
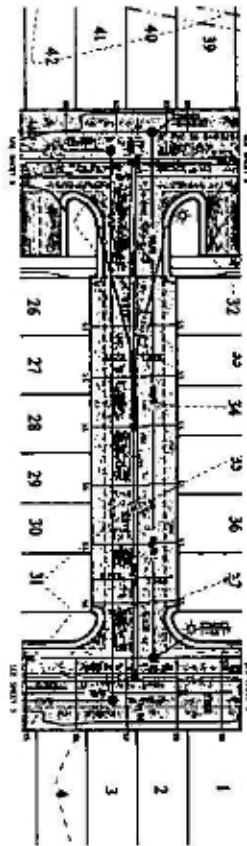
**Farmington Station Parkway**  
PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 14 NORTH,  
RANGE 1 WEST, GALE LAKE TWP & MORGAN US. NAVY  
FARMINGTON CITY, DAVIS COUNTY, IOWA

**D Street Plan & Profile**

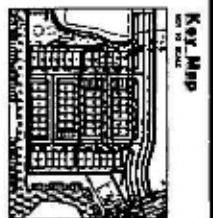


PROJECT NO. 13  
DATE 11/11/13  
DRAWN BY [Name]  
CHECKED BY [Name]  
APPROVED BY [Name]

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. THE BORROWER SHALL HOLD, MAINTAIN, USE AND CARE FOR THIS PLAN AND SPECIFICATIONS AS A GUIDE TO THE PROPOSED PROJECT. REEVE & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR LOSS OF THE PROPOSED PROJECT. THE BORROWER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE BORROWER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE BORROWER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



E STREET 0+00.00 - 2+00.00



**Construction Notes**

- 1) ALL CONSTRUCTION IS TO BE ACCORDING TO THE SPECIFICATIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, 1988 EDITION, AS AMENDED.
- 2) ALL UTILITIES TO BE DELETED OR RELOCATED AS SHOWN ON THIS PLAN.
- 3) ALL WATER & SEWER LINES TO BE 12" DIA. UNLESS OTHERWISE NOTED.
- 4) ALL CURB TOP SHALL BE 4" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
- 5) SIDEWALKS SHALL BE 4' WIDE UNLESS OTHERWISE NOTED.
- 6) ALL UTILITIES TO BE DELETED OR RELOCATED AS SHOWN ON THIS PLAN.
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Farmington City Engineer

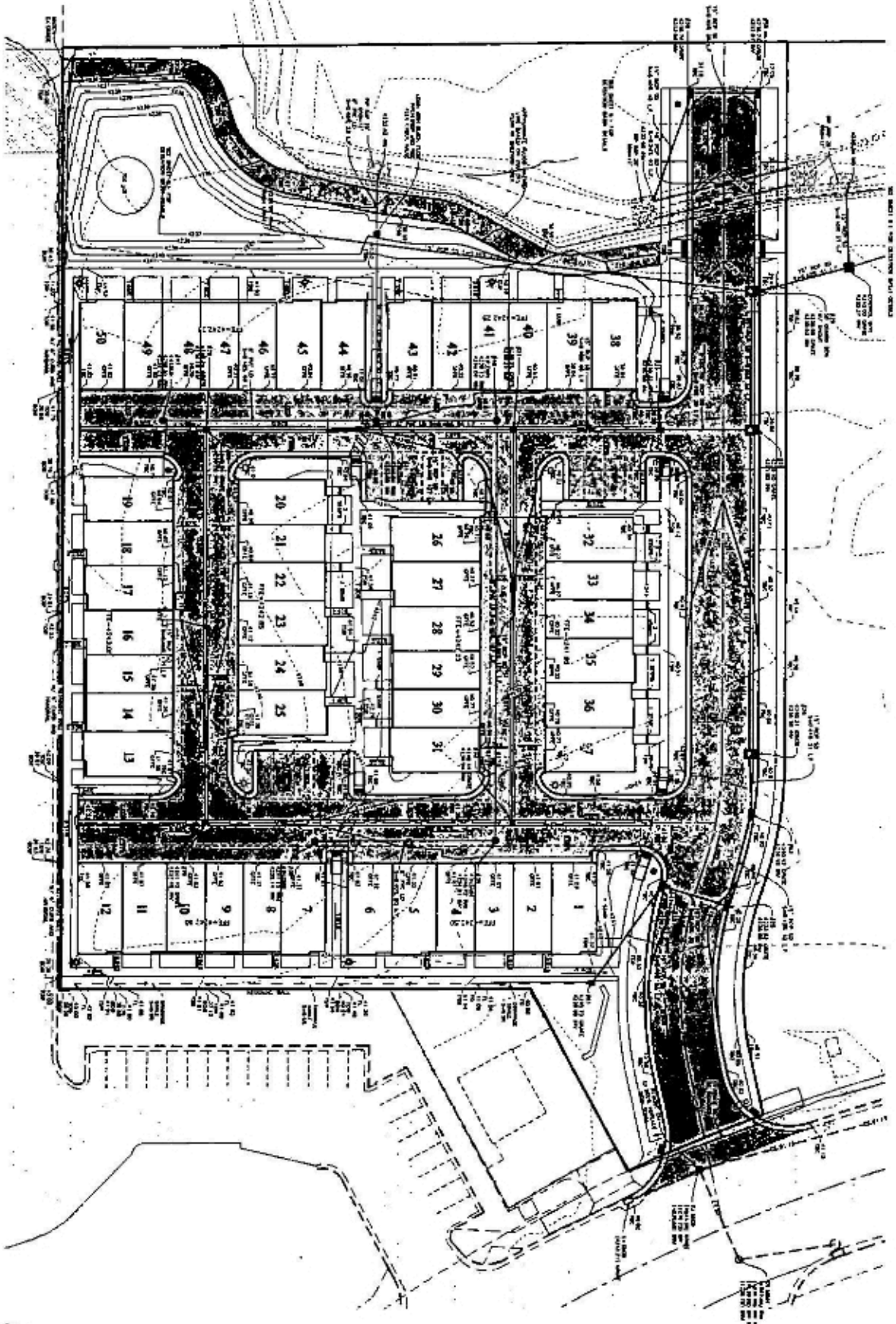


**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH,  
RANGE 1 WEST, 54TH RANGE WEST & MERRIMAN, U.S. SURVEY  
FARMINGTON CITY, OHIO, COUNTY, UTAH

**E Street Plan & Profile**

**Reeve & Associates, Inc.**  
Professional Engineers  
1000 N. 10TH ST., SUITE 200  
DENVER, CO 80202  
TEL: 303-733-1111  
FAX: 303-733-1112

**8**  
SHEET 13  
DATE: 11/11/11  
PROJECT: FARMINGTON STATION PARKWAY  
DRAWN BY: J. ALLEN  
CHECKED BY: J. ALLEN  
APPROVED BY: J. ALLEN  
SCALE: AS SHOWN



Farmington City Engineer

Professional Engineer  
Farmington City Engineer



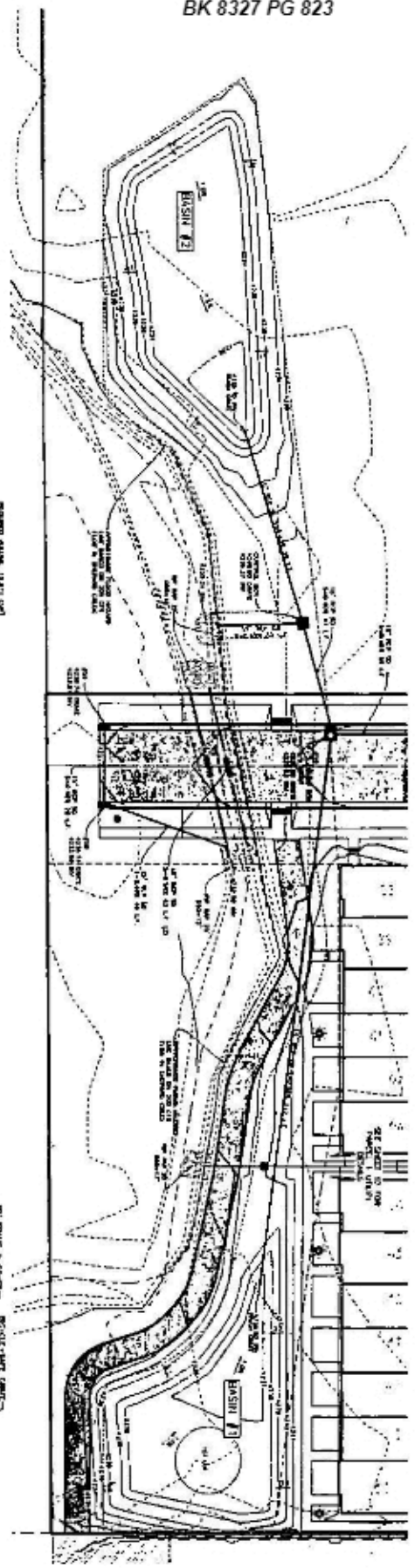
**8** / **13**  
 PROJECT NO. 13  
 DATE 11/13/13  
 SHEET NO. 8 OF 13  
 PROJECT: Farmington Station Parkway  
 LOCATION: Farmington, Utah  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 11/13/13



**Farmington Station Parkway**  
 PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH,  
 RANGE 1 WEST, SALT LAKE BASIN & MERRIAM, U.S. SURVEY  
 FARMINGTON, CITY, WASATCH COUNTY, UTAH

**Grading & Drainage Plan**

**RA** **Reeve & Associates, Inc.**  
 REGISTERED PROFESSIONAL ENGINEERS  
 100 SOUTH 100 WEST  
 SALT LAKE CITY, UTAH 84115  
 TEL: 801-487-1111 FAX: 801-487-1112  
 WWW.REEVE-ASSOCIATES.COM

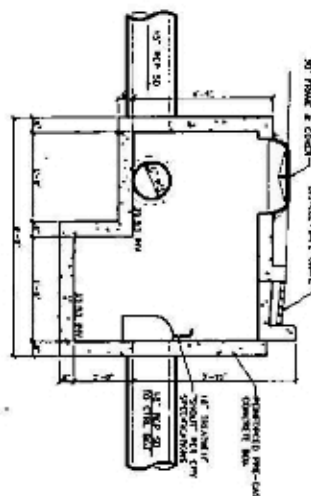
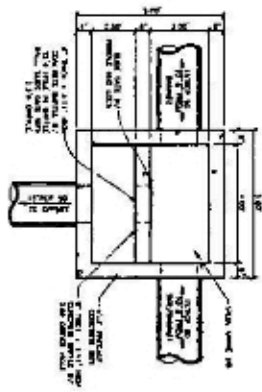
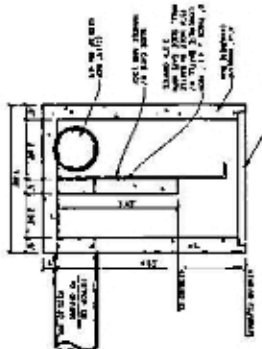


STAGE STORAGE TABLE (CONT.)

STAGE (ft)	AREA (sq ft)	VOLUME (cu ft)	AVG. DEPTH (ft)	AVG. LENGTH (ft)	AVG. WIDTH (ft)	AVG. VELOCITY (ft/sec)	AVG. FLOW (cfs)	AVG. FORCE (lb/ft²)
1.0	1000	1000	1.0	100	10	0.1	100	100
2.0	2000	4000	2.0	200	20	0.2	400	400
3.0	3000	9000	3.0	300	30	0.3	900	900
4.0	4000	16000	4.0	400	40	0.4	1600	1600
5.0	5000	25000	5.0	500	50	0.5	2500	2500

STAGE STORAGE TABLE (CONT.)

STAGE (ft)	AREA (sq ft)	VOLUME (cu ft)	AVG. DEPTH (ft)	AVG. LENGTH (ft)	AVG. WIDTH (ft)	AVG. VELOCITY (ft/sec)	AVG. FLOW (cfs)	AVG. FORCE (lb/ft²)
6.0	6000	36000	6.0	600	60	0.6	3600	3600
7.0	7000	49000	7.0	700	70	0.7	4900	4900
8.0	8000	64000	8.0	800	80	0.8	6400	6400
9.0	9000	81000	9.0	900	90	0.9	8100	8100
10.0	10000	100000	10.0	1000	100	1.0	10000	10000



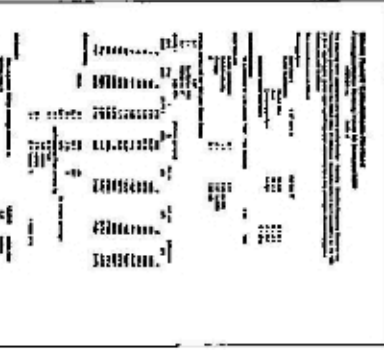
Farmington City Engineer



THE CITY ENGINEER HEREBY CERTIFIES THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF, AND THAT HE IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, IN CONNECTION WITH THE DESIGN OR CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN IS SUBJECT TO THE APPROVAL AND SUPERVISION OF THE CITY ENGINEER. THE CITY ENGINEER IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THE PROJECT DESCRIBED HEREIN.

DATE: 10/15/11

28" Combo Box w/ Sluice



REVISIONS

NO.	DATE	DESCRIPTION
1	10/15/11	ISSUED FOR PERMIT
2	10/15/11	REVISED PER CITY ENGINEER COMMENTS

**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 NORTH,  
RANGE 1 WEST, SALT LAKE BASIN IN WASHINGTON, UTAH, SURVEY  
FARMINGTON CITY, DAVIS COUNTY, UTAH

**Basin Details**

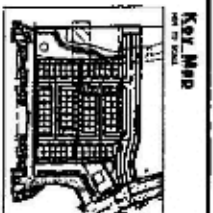
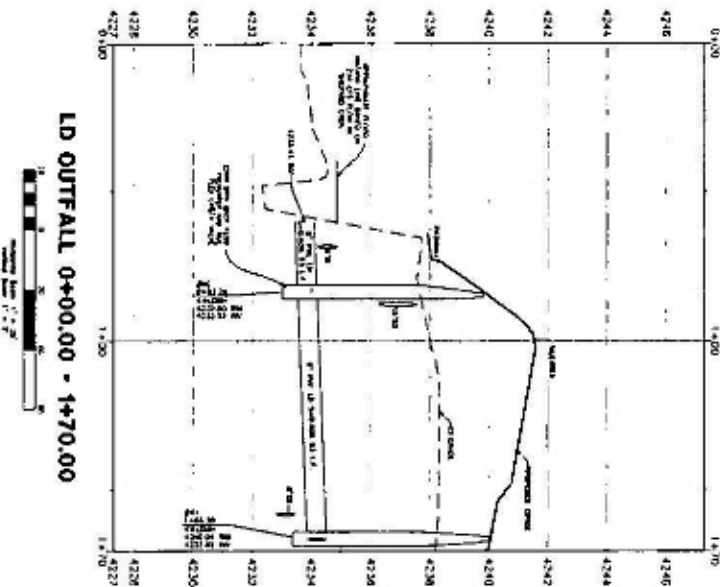
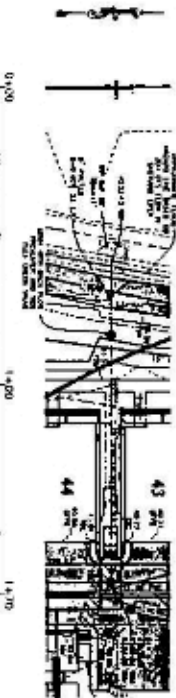
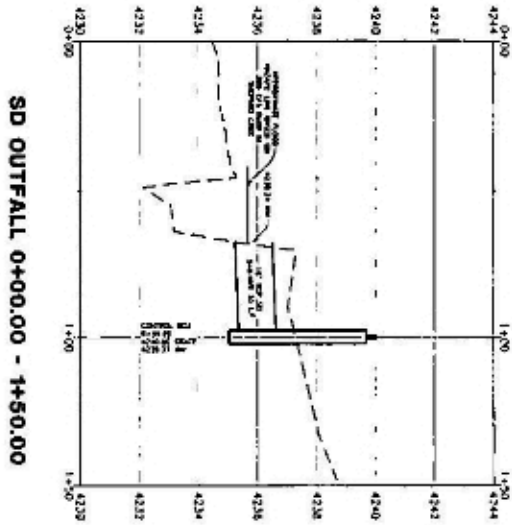
REVISIONS

NO.	DATE	DESCRIPTION

**Reeve & Associates, Inc.**

13

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**Construction Notes:**

- 1) ALL CONSTRUCTION IS TO BE ACCORDING TO THE SPECIFICATIONS OF THE UTAH DEPARTMENT OF TRANSPORTATION AND THE CITY OF FARMINGTON.
- 2) CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS.
- 3) ALL WATER & SEWER LINES TO BE 12" DIA. UNLESS OTHERWISE NOTED.
- 4) ALL WATER LINES TO BE 12" DIA. UNLESS OTHERWISE NOTED.
- 5) ALL SEWER LINES TO BE 12" DIA. UNLESS OTHERWISE NOTED.
- 6) ALL CONCRETE TO BE 3000 PSI.
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Farmington City Engineer  
FARMINGTON CITY ENGINEER



**Reeve & Associates, Inc.**  
1000 N. 1300 W. SUITE 100  
FARMINGTON, UTAH 84201  
PHONE: 435-253-1100  
FAX: 435-253-1101  
WWW.REEVE-ASSOCIATES.COM

**Farmington Station Parkway**  
PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 1 WEST, 341 EAST, BRIDGE & HIGHWAY 17.5 SURVEY, FARMINGTON CITY, SALT LAKE COUNTY, UTAH

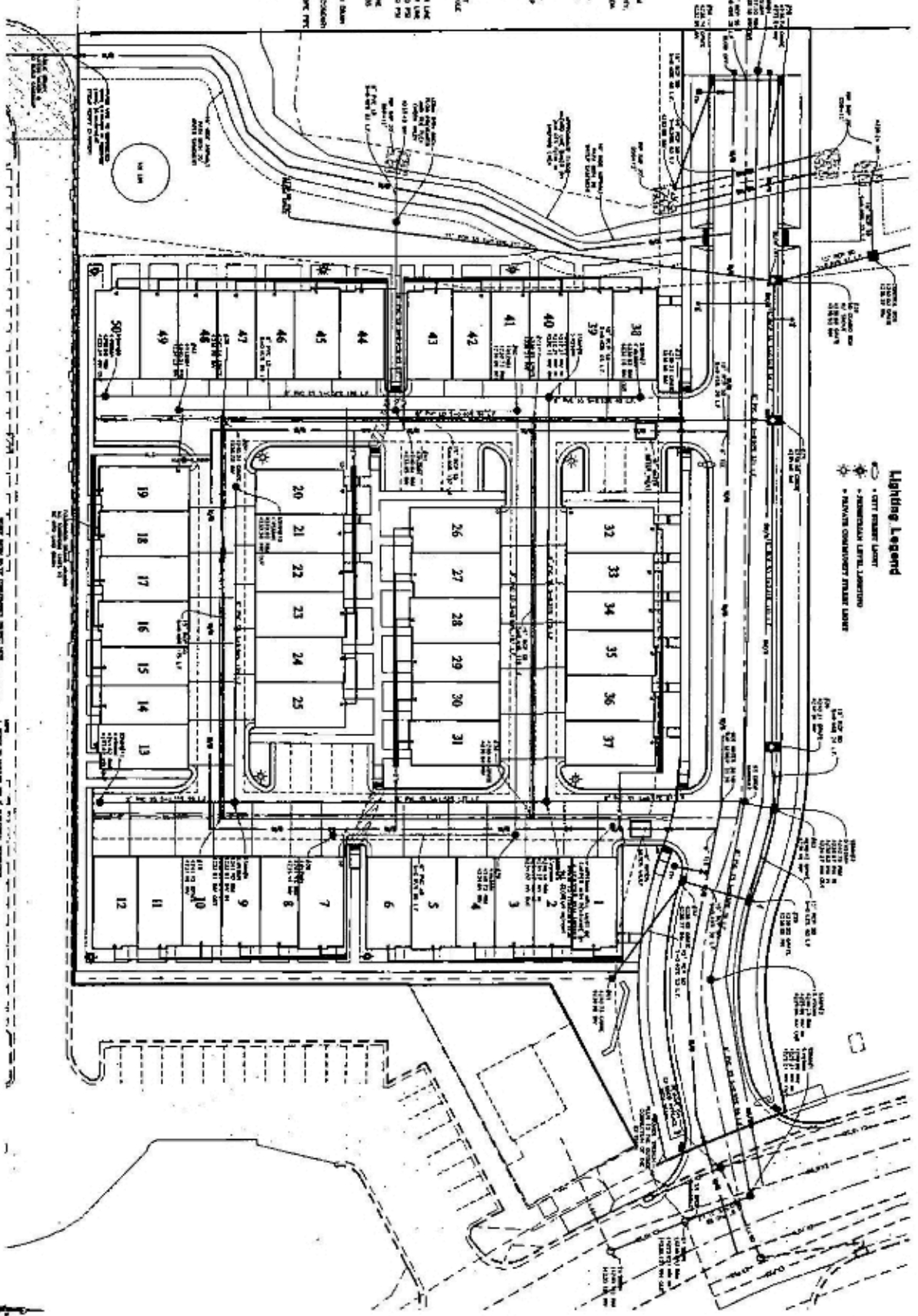
**SD Outfall 0+00.00 - 1+50.00**  
**LD Outfall 0+00.00 - 1+70.00**

**9.2**  
**13**  
DATE: 10/13/10  
PROJECT: FARMINGTON STATION PARKWAY  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

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**Construction Notes:**

- 1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE ALARM AND SIGNAL CODE, AND THE NATIONAL MECHANICAL CODE.
- 2) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE ALARM AND SIGNAL CODE, AND THE NATIONAL MECHANICAL CODE.
- 3) ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE CITY ENGINEER.
- 4) ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.
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- 50) ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.



**Lighting Legend**

- CITY STREET LIGHT
- RESIDENTIAL LIGHT
- ◆ FLUORESCENT STREET LIGHT
- ◆ VARIOUS STREET LIGHT

**Farmington City Engineer**



**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 3 NORTH,  
RANGE 1 WEST, 34TH TOWNSHIP IN WINDSOR, U.S. SURVEY  
FARMINGTON CITY, WINDSOR COUNTY, ILLINOIS

**Utility Plan**

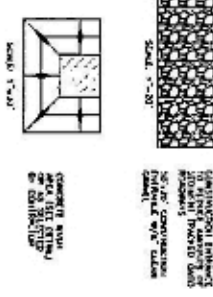
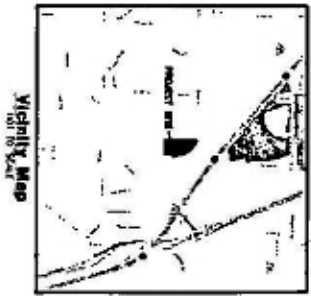
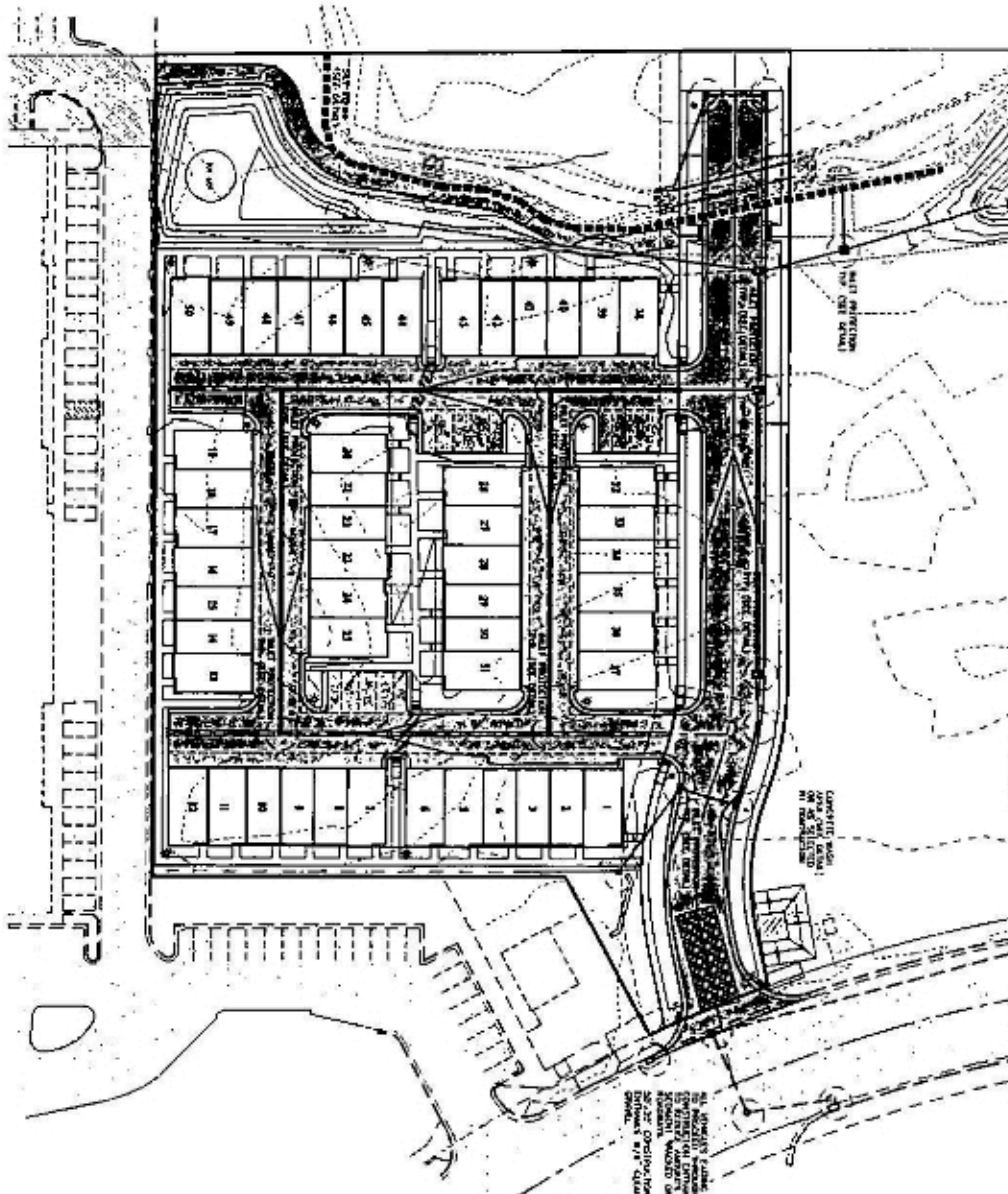
**Reeve & Associates, Inc.**  
Professional Engineers  
1000 N. W. 10th St., Suite 100  
Fort Lauderdale, FL 33304  
Phone: (305) 441-1111  
Fax: (305) 441-1112



**PROJECT DATA**  
OWNER: FARMINGTON CITY  
DESIGNER: REEVE & ASSOCIATES, INC.  
DATE: 10/13/00  
SCALE: AS SHOWN  
SHEET NO. 13 OF 13

# Farmington Station Parkway Storm Water Pollution Prevention Plan Exhibit

FARMINGTON CITY, DAVIS COUNTY, UTAH  
APRIL 2020



- ASPHALT DRIVE
- WATER POLLUTION CONTROL BASIN
- CONCRETE CURB AND GUTTER
- CONCRETE CURB AND GUTTER WITH CURB
- CONCRETE CURB AND GUTTER WITH CURB AND GUTTER

Farmington City Engineer

**Construction Activity Schedule**

ACTIVITY	DATE	LOCATION
PROJECT START	APRIL 2020	FARMINGTON CITY, UTAH
CONSTRUCTION	APRIL 2020	FARMINGTON CITY, UTAH
COMPLETION	APRIL 2020	FARMINGTON CITY, UTAH



**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH,  
RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY  
FARMINGTON CITY, DAVIS COUNTY, UTAH

**Storm Water Pollution  
Prevention Plan Exhibit**

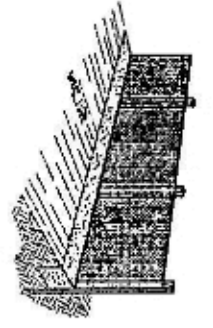
NO.	DESCRIPTION

**RA** **Reeve & Associates, Inc.**  
1000 WEST 1000 SOUTH, SUITE 100  
SALT LAKE CITY, UTAH 84119  
PHONE: 801-488-1111 FAX: 801-488-1112  
WWW.REEVE-ASSOCIATES.COM

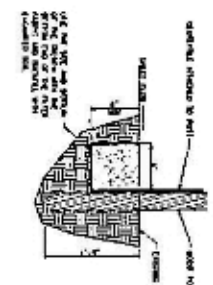
THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. ANY REUSE, REPRODUCTION, COPIING, ALTERATION, OR TRANSMISSION OF ANY KIND WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. IS STRICTLY PROHIBITED. REEVE & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY ANY USE OF THIS PLAN OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**Notes:**

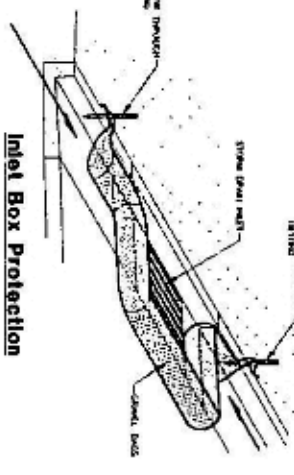
1. Materials to be used shall meet or exceed the following:
  - a. All concrete shall be 28 day strength of 4000 psi or greater.
  - b. Concrete shall be placed in 24 hour continuous pour.
  - c. Concrete shall be placed in 24 hour continuous pour.
  - d. Concrete shall be placed in 24 hour continuous pour.
  - e. Concrete shall be placed in 24 hour continuous pour.
  - f. Concrete shall be placed in 24 hour continuous pour.
  - g. Concrete shall be placed in 24 hour continuous pour.
  - h. Concrete shall be placed in 24 hour continuous pour.
  - i. Concrete shall be placed in 24 hour continuous pour.
  - j. Concrete shall be placed in 24 hour continuous pour.
  - k. Concrete shall be placed in 24 hour continuous pour.
  - l. Concrete shall be placed in 24 hour continuous pour.
  - m. Concrete shall be placed in 24 hour continuous pour.
  - n. Concrete shall be placed in 24 hour continuous pour.
  - o. Concrete shall be placed in 24 hour continuous pour.
  - p. Concrete shall be placed in 24 hour continuous pour.
  - q. Concrete shall be placed in 24 hour continuous pour.
  - r. Concrete shall be placed in 24 hour continuous pour.
  - s. Concrete shall be placed in 24 hour continuous pour.
  - t. Concrete shall be placed in 24 hour continuous pour.
  - u. Concrete shall be placed in 24 hour continuous pour.
  - v. Concrete shall be placed in 24 hour continuous pour.
  - w. Concrete shall be placed in 24 hour continuous pour.
  - x. Concrete shall be placed in 24 hour continuous pour.
  - y. Concrete shall be placed in 24 hour continuous pour.
  - z. Concrete shall be placed in 24 hour continuous pour.
2. The contractor shall be responsible for obtaining all necessary permits and approvals for the construction of the project.
3. The contractor shall be responsible for obtaining all necessary permits and approvals for the construction of the project.
4. The contractor shall be responsible for obtaining all necessary permits and approvals for the construction of the project.
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20. The contractor shall be responsible for obtaining all necessary permits and approvals for the construction of the project.



**Perspective View**



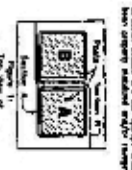
**Section**



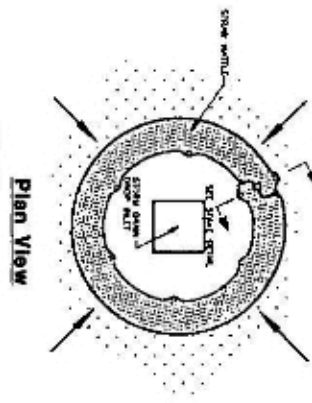
**Inlet Box Protection**

**PERFORMANCE SPECIFICATIONS**

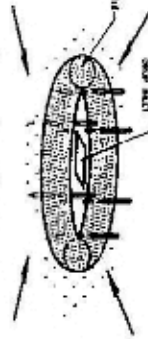
Item	Quantity	Unit	Notes
Concrete	1000	cu yd	4000 psi
Rebar	100	lb	#4
Formwork	100	sq ft	1/2" thick
Gravel	100	cu yd	3/4" max aggregate
Plastic	100	sq ft	6 mil
Stake	100	pieces	2" x 4" x 8'
Steel Mesh	100	sq ft	1/2" x 1/2"
Drop Inlet Protection	100	pieces	18" dia
Silt Fence	100	ft	6' high
Concrete Washout Area	100	sq ft	4' x 4'



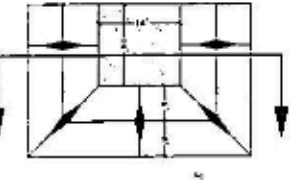
**Silt Fence Detail**



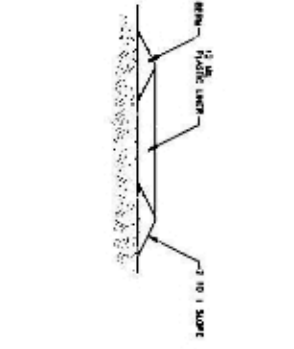
**Plan View**



**Drop Inlet Protection**



**Concrete Washout Area  
w/ 10 mil Plastic Liner**



**Stake Detail**

Farmington City Engineer  
ADMINISTRATIVE SHEET

**REVEE & ASSOCIATES, INC.**  
1000 N. 10TH ST. SUITE 100  
MIDLAND, TX 79701  
TEL: 817-434-1111  
WWW.REVEE.COM

**PROJECT DATA:**  
PROJECT NO: 13  
DATE: 12/20/12

**Farmington Station Parkway**  
PART OF THE SOUTHWEST QUARTER OF SECTION 34, TOWNSHIP 1 NORTH,  
RANGE 1 WEST, RANGE 10E, COUNTY OF SHERMAN, TEXAS  
FARMINGTON CITY, DAVIS COUNTY, TEXAS

**Storm Water Pollution  
Prevention Plan Details**

NO.	REVISION

**REVEE & ASSOCIATES, INC.**  
1000 N. 10TH ST. SUITE 100  
MIDLAND, TX 79701  
TEL: 817-434-1111  
WWW.REVEE.COM



## APPENDIX B – SOPs

## **Pavement Maintenance Operations**

### **General:**

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

### **1. Purpose and Selection:**

- a) Reduce stormwater pollution by sweeping and removing pollutants that will be carried to City stormwater systems during stormwater runoff or by non stormwater runoff.
- b) The sweeper is intended for removing material that collect on pavements by use and the natural degradation of pavements, ie. material that collect, drop from vehicles and the natural erosion and breaking up of pavements.

### **2. Regular Procedure:**

- a) Remain aware of debris and sweep minor debris is needed by hand.
- b) Generally sweeping should occur during autumn when leaf fall is heavy and early spring after winter thaw. Sometimes sweeping machinery will be necessary with accumulations are spread over pavements.
- c) Manage outside activities that leave waste or drain pollutants to our pavements. This involves outside functions including but not limited to: Yard sales, yard storage, fund raisers like car washes, etc.

### **4. Disposal Procedure:**

- a) Service contractor dispose at licensed facilities
- b) Dispose of hand collected material in dumpster

### **5. Training:**

- a) Annually and at hire

## Landscape Maintenance Operations

### General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

**Rule: Prevent any solids, liquids or any light weight material from being carried away from the construction or maintenance envelop by wind or water.**

### 1. Application:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., fertilizer and pesticide applications, mowing, weeding, tree trimming, digging, sprinkler repairs, mulch management, etc.

### 2. Maintenance Procedure:

- a) Grooming
  - Lawn Mowing – Immediately following operation sweep or blow clippings onto vegetated ground.
  - Fertilizer Operation – Prevent overspray. Sweep or blow fertilizer onto vegetated ground immediately following operation.
  - Pesticide Operations – Prevent overspray, use spot treatment immediately following operation sweep or blow dry pesticide onto vegetated ground.
- b) Remove or contain all erodible or loose material prior forecast wind and precipitation events or before non-stormwater will pass through the project site. For light weight debris maintenance can require immediately attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- c) Landscape project materials and waste can usually be contained or controlled by operational best management practices.
  - Operational; including but not limited to:
    - Strategic staging of materials eliminating exposure, such as not staging on pavement
    - Avoiding multiple day staging of landscaping backfill and spoil on pavements
    - Haul off spoil as generated or daily
- d) Detention Basin
  - a. Remove sediment and debris from the bottom
  - b. Inspect sides for signs of erosion. Replace vegetation as needed.
  - c. Inspect riprap and inlets for any signs of damage.
- e) Cleanup:

- Use dry cleanup methods, e.g. square nose shovel and broom and it is usually sufficient when no more material can be swept onto the square nosed shovel.
- Power blowing tools

**3. Waste Disposal:**

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.

**4. Equipment:**

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

**5. Training:**

- a) Annually and at hire
- b) Landscape Service Contractors must have equal or better SOPs.

## Waste Management Operations

### General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

### 1. Application:

- a) This SOP is intended for all Staff, for the proper disposal of common everyday waste.

### 2. Waste Collection Devices (Exposed units):

- a) The site contains 2 types of waste management containers.
  - 6yd dumpster with lid
  - Receptacles with lids

### 3. Waste Disposal Restrictions for all waste Scheduled for the Landfill:

- a) Generally most waste generated at this property, and waste from spill and clean up operations can be disposed in our dumpsters under the conditions listed in this SOP. Unless other disposal requirements are specifically identified by the product SDS or otherwise specified in other SOPs.
- b) Know the facility disposal requirements and restrictions. It should not be assumed that all waste disposed in collection devices will be disposed at the landfill.
- c) Review the landfill regulations for additional restrictions and understand what waste is prohibited in the landfill. Ensure the SDS and landfill regulations are not contradictory.

Generally the prohibited waste is:

➤ Liquid:

- paint
- pesticides/fertilizers
- oil (all types)
- antifreeze
- batteries
- liquid chemicals
- etc.

*(Generally, all the above hazardous waste when involved in minor spill cleanup operations can be disposed in covered dumpsters and our waste bays, if the liquid is contained in absorbent material, e.g. sand, dirt, loose*

*absorbent, pads, booms etc., and transformed or dried such that it will not drip. This is not intended for whole sale disposal of out dated or spent liquid hazardous waste. When disposal of out dated or spent liquid is needed or for questions of how to dispose of other waste, contact the landfill for instructions and locations.*

**4. General Staff Maintenance Practices:**

- a) Prevent dumpsters and receptacles from becoming a pollution source by:
  - 1. Closing lids
  - 2. Reposition tipped receptacles upright.
  - 3. Report full or leaking and unsecured dumpsters and receptacles to the company provider or repair it in house. Determine source liquids and prevent it.
  - 4. Report any eminent pollutant hazard related to dumpsters and receptacles to the owner.

**5. Training:**

- a) Annually and at hire

## **Storm Drain Maintenance Operations**

### **General:**

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

### **1. Procedure:**

- a) Inspect for need:
  - 1. Schedule cleaning for boxes and pipe that contain 2” or more of sediment and debris.
  - 2. Remove debris by vacuum operated machinery.
  - 3. When accumulations are mostly floating debris this material can be removed with a net.
  - 4. Inspect standing water for mosquito larvae and contact the health department when necessary.

### **2. Disposal Procedure:**

- a) Dispose of waste at regulated facilities.
- b) Floating materials and floating absorbent materials may be disposed in dumpster when dried out. Dry dirt and slurry may also be disposed in the dumpster.
- c) Disposal of hazardous waste
  - 1. Dispose of hazardous waste at regulated disposal facilities, see Waste Management and Spill Control SOP
- d) Disposal of waste collected from sanitary sewer device at regulated facilities.

### **3. Training:**

- a) Annually and at hire

## **Pavement Washing Operations**

### **General:**

These SOPs are not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in these SOPs.

### **1. Procedure:**

- a) Prevent waste fluids and any detergents if used from entering storm drain system. The following methods are acceptable for this operation.
  - Dam the inlet using a boom material that seals itself to the pavement and pick up the wastewater with shop-vacuum or absorbent materials.
  - Collect wastewater with shop-vacuum simultaneous with the washing operation.
  - Collect wastewater with vacuum truck or trailer simultaneous with the washing operation.
- b) This procedure must not used to clean the initial spills. First apply the Spill Containment and cleanup SOP.

### **2. Disposal Procedure:**

- a) Small volumes can usually be drained to the local sanitary sewer. Contact the county sewer district.
- b) Large volumes must be disposed at regulated facilities.

### **2. Pavement Cleaning Frequency:**

- a) There is no regular pavement washing regimen. Pavement washing is determined by conditions that warrant it, including but not limited to: prevention of slick or other hazardous conditions or restore acceptable appearance of pavements.

### **3. Training:**

- a) Annually and at hire



## **Snow and Ice Removal Management**

### **General:**

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

### **1. Application:**

- a) Parking and sidewalk winter management operations.

### **2. De-Icing Procedure:**

- a) Do not store or allow salt or equivalent to be stored on outside paved surfaces.
- b) Minimize salt use varying salt amounts relative to hazard potential.
- c) Sweep excessive piles left by the spreader.
- d) Watch forecast and adjust when warm ups are expected the same day.

### **3. Training:**

- a) Annually and at hire.
- b) Require snow and ice service contractors to follow the stronger this SOP and their company SOPs.

## General Construction Maintenance

### General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

**Rule: Prevent any solids, \*liquids or any light weight material from being carried away from the construction or maintenance envelop by wind or water.**

**\*liquids - including culinary water and irrigation water that are polluted with material that will damage the environment.**

### 1. Application:

- a) This SOP should provide sufficient direction for many of the general operations, e.g., building maintenance, curb/sidewalk/flatwork, overlay/patching, landscape renovations, misc. maintenance/repairs, etc.

### 2. Construction Procedure:

- a) Remove or contain all erodible or loose material prior forecast wind and precipitation events or before non-stormwater will pass through the project site. For light weight debris maintenance can require immediately attention for wind events and many times daily maintenance or as needed for precipitation or non-stormwater events.
- b) Project materials and waste can be contained or controlled by operational or structural best management practices.
  - Operational; including but not limited to:
    - Strategic staging of materials eliminating exposure, such as not staging on pavement
    - Avoiding multiple day staging of backfill and spoil
    - Haul off spoil as generated or daily
  - Structural; including but not limited to:
    - Inlet protection, e.g. wattles, filter fabric, drop inlet bags, boards, planks
    - Gutter dams, e.g. wattles, sandbags, dirt dams
    - Boundary containment, e.g. wattles, silt fence
    - Dust control, e.g. water hose,
    - Waste control, e.g. construction solid or liquid waste containment, dumpster, receptacles
- c) Inspection often to insure the structural best management practices are in good operating condition and at least prior to the workday end. Promptly repair damaged best management practices achieving effective containment.

- d) Cleanup:
  - Use dry cleanup methods, e.g. square nose shove and broom.
  - Wet methods are allowed if wastewater is prevented from entering the stormwater system, e.g. wet/dry vacuum, disposal to our landscaped areas.
- e) Cleanup Standard:
  - When a broom and a square nosed shovel cannot pick any appreciable amount of material.

**3. Waste Disposal:**

- a) Dispose of waste according to General Waste Management SOP, unless superseded by specific SOPs for the operation.
- b) Never discharge waste material to storm drains

**4. Equipment:**

- a) Tools sufficient for proper containment of pollutants and cleanup.
- b) Push broom and square blade shovel should be a minimum.

**5. Training:**

- b) Annually and at hire.

## Spill Control

### General:

This SOP is not expected to cover all necessary procedure actions. Operators are allowed to adapt SOPs to unique site conditions in good judgment when it is necessary for safety, and the proper, and effective containment of pollutants. However, any changes of routine operations must be amended in this SOP.

### 1. Rational:

- a) All properties are susceptible to spills whether it is a result of operations or by customers. Insufficient response, inadequate containment materials and improper spill cleanup methods will result in pollutants in our waterways. Once the pollutants reach our storm drain system, or even the detention pond, they are difficult and expensive to remove.

### 2. Containment Procedure:

- a) Priority is to dam and contain flowing spills.
- b) Use spill kits booms if available or use any material available; including but not limited to, nearby sand, dirt, landscaping materials, etc.
- c) Hazardous or unknown waste emergencies
  1. Emergency HAZMAT, DWQ, SLVHD, City: Emergency constitutes large quantities of flowing uncontained liquid. Generally burst or tipped tanks.
  2. Emergency SLVHD, City: Emergency constitutes potential for waste to be carried by water.
  3. Contacts:  
HAZMAT - 911  
DWQ – 801-231-1769, 801-536-4123

### 3. Cleanup Procedure:

- a) NEVER WASH SPILLS TO THE STORM DRAIN SYSTEMS.
- b) Clean per SDS requirements but generally most spills can be cleaned up according to the following:
  - Absorb liquid spills with spill kit absorbent material, sand or dirt until liquid is sufficiently converted to solid material.
  - Remove immediately using dry cleanup methods, e.g. broom and shovel, or vacuum operations.
  - Cleanup with water and detergents may also be necessary depending on the spilled material. However, the waste from this operation must be vacuumed or effectively picked up by dry methods. See Pavement Washing SOP.
  - Repeat process when residue material remains.

**4. DISPOSAL:**

- a) Follow SDS requirements but usually most spills can be disposed per the following b. & c.
- b) Generally most spills absorbed into solid forms can be disposed to the dumpster and receptacles. Follow Waste Management SOP.
- c) Generally Liquid waste from surface cleansing processes may be disposed to the sanitary sewer system after the following conditions have been met:
  - Dry cleanup methods have been used to remove the bulk of the spill and disposed per the Waste Management SOP.
  - The liquid waste amounts are small and diluted with water. This is intended for spill cleanup waste only and never for the disposal of unused or spent liquids.

**5. Documentation:**

- a) Document all spills in Appendix C.

**6. SDS sheets:**

- a) SDS Manual is filed in break room.

**7. Materials:**

- a) Generally sand or dirt will work for most clean up operations. However, it is the responsibility of the owner to select the absorbent materials and cleanup methods that are required by the SDS Manuals for chemicals used by the company.

**8. Training:**

- a) Annually and at hire.

## APPENDIX C – PLAN RECORDKEEPING DOCUMENTS

*[Insert PLAN Recordkeeping forms following this page]*

**MAINTENANCE/INSPECTION SCHEDULE**

Frequency	Site Infrastructure
A	Catch basins and control box
A	Detention Basin

Inspection Frequency Key: A=annual, Q=Quarterly, M=monthly, W=weekly, S=following appreciable storm event, U=Unique infrastructure specific (specify)

**RECORD INSPECTIONS IN THE MAINTENANCE LOG**

Inspection Means: Either; Traditional walk through, Awareness/Observation, and during regular maintenance operations while noting efficiencies/inefficiencies/concerns found, etc.

**MAINTENANCE LOG**

Date	Maintenance Performed/Spill Events. Perform Maintenance per SOPs	Observation Notes, including but not limited to; Inspection results, Observations, System Performance (effectiveness/inefficiencies), SOP Usefulness, Concerns, Necessary Changes...	Initials

Contact the Stormwater Division for an example of a maintenance/inspection log xxx-xxx-xxxx

Annual Summary of LTSWMP effectiveness, inefficiencies, problems, necessary changes etc.

\*You may create your own form that provides this same information or request a word copy of this document.





## Storm Water Basin ♦ Annual Inspection Form

Basin Address and Location: \_\_\_\_\_

Owner Name: \_\_\_\_\_ Owner Contact Numbers: \_\_\_\_\_

Owner Address: \_\_\_\_\_ Owner Email: \_\_\_\_\_

Maintainer (typically owner) Name: \_\_\_\_\_ Maintainer Contact Numbers: \_\_\_\_\_

Maintainer Address: \_\_\_\_\_ Maintainer Email: \_\_\_\_\_

Basin Type (circle): Dry Detention, Wet Detention, Storm Water Wetland, Rain Garden/Bioretenion, other: \_\_\_\_\_

Inspection Date: \_\_\_\_\_ Submittal Date: \_\_\_\_\_

### **ANNUAL INSPECTION ITEMS**

**CIRCLE "YES" OR "NO" FOR ALL ITEMS BELOW**

- A. HAS DEBRIS OR TRASH ACCUMULATED?.....YES NO
- B. HAS SEDIMENT ACCUMULATED?.....YES NO
- C. ARE NOXIOUS WEEDS PRESENT THAT PREVENT THE DESIRED VEGETATION  
GROWING PROPERLY?.....YES NO
- D. IS THERE EXPOSED SOIL NOT COVERED WITH VEGETATION, MULCH, OR OTHER  
NONERODABLE MATERIAL? (MULCH ONLY USED IN BIORETENTION/RAIN GARDEN).....YES NO
- E. IS SOIL EROSION PRESENT ALONG STANDING OR MOVING SURFACE WATER?.....YES NO
- F. IS SOIL EROSION PRESENT AT BASIN SIDES, INLET, OR OUTLET?.....YES NO
- G. ARE HOLES PRESENT FROM ANIMALS OR IS THERE UNDESIRABLE SOIL LOSS?.....YES NO
- H. IS ALGAE OR STAGNANT MOISTURE PRESENT?.....YES NO
- I. ARE UNPLEASANT ODORS EMERGING?.....YES NO
- J. ARE WET OR SOGGY AREAS PRESENT THAT PREVENT DESIRED VEGETATION  
FROM GROWING?.....YES NO
- K. IS RUNOFF ENTERING OR LEAVING THE BASIN IN A MANNER THAT PREVENTS  
PROPER FUNCTION OF ITS INFLOW OR OUTFLOW SYSTEMS?.....YES NO
- L. DOES FLOW OUT OF BASIN OCCUR IN A MANNER THAT CREATES EROSION OR  
DAMAGE TO ADJACENT PROPERTY?.....YES NO
- M. ARE THE BASIN FUNCTIONS IMPAIRED?.....YES NO
- N. OTHER ITEMS AND COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

O. CORRECTIVE MEASURES FOR ALL YES ANSWERS ABOVE: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

(ATTACH ADDITIONAL PAGES IF NEEDED TO PROPERLY DOCUMENT INSPECTION)

THE INFORMATION PROVIDED IS AN ACCURATE AND CURRENT DESCRIPTION OF THE BASIN AT THIS ADDRESS:

\_\_\_\_\_  
SIGNATURE OF PERSON COMPLETING THIS FORM

\_\_\_\_\_  
DATE