

LARSEN SUBDIVISION

A SUBDIVISION OF BLOCKS 3 & 6, PLAT "D", KAYSVILLE TOWNSITE SURVEY
 PART OF THE NORTHWEST QUARTER OF SECTION 35,
 TOWNSHIP 4 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN,
 KAYSVILLE CITY, DAVIS COUNTY, UTAH

AMENDING A PORTION OF OAK RIDGE HEIGHTS AND OAKRIDGE TERRACE #1

SURVEYOR'S CERTIFICATE

I, JASON T. FELT DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 9234223 IN ACCORDANCE WITH TITLE 58 CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT IN THE STATE OF UTAH, AND DO HEREBY CERTIFY THAT IN ACCORDANCE WITH SECTION 17-23-17, AND BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, BASED ON APPLICABLE DATA COMPILED FROM OFFICIAL RECORDS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HEREAFTER TO BE KNOWN AS:

LARSEN SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.



BOUNDARY DESCRIPTION

A SUBDIVISION OF BLOCKS 3 AND 6, PLAT "D", KAYSVILLE TOWNSITE SURVEY, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP 4 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, U.S. SURVEY, KAYSVILLE CITY, DAVIS COUNTY, UTAH

BEGINNING AT A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF OAK LANE, BEING 19.0 FEET SOUTH 89°25'30" EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF 200 NORTH STREET TO THE WEST RIGHT-OF-WAY LINE OF 500 EAST STREET, AND 823.24 FEET NORTH 0°34'30" EAST ALONG SAID WEST LINE TO THE CENTER LINE OF SAID OAK LANE, AND 20.00 FEET NORTH 89°25'30" WEST ALONG SAID CENTER LINE, AND 30.00 FEET NORTH 0°34'30" EAST FROM THE SOUTHEAST CORNER OF LOT 1, BLOCK 7, PLAT "D", KAYSVILLE TOWNSITE SURVEY, SAID POINT OF BEGINNING ALSO BEING 507.67 FEET DUE WEST, AND 853.93 FEET SOUTH 0°34'30" WEST FROM A BRASS CAP STREET MONUMENT IN HAPPY HOLLOW LANE; SAID POINT ALSO BEING 854.54 FEET DUE EAST, AND 1872.81 FEET SOUTH 0°34'30" WEST FROM THE NORTH WEST CORNER OF SAID SECTION 35; RUNNING THENCE THREE (3) COURSES ALONG SAID NORTHERLY LINE OF OAK LANE AS FOLLOWS: (1) NORTH 89°25'30" WEST 63.50 FEET; (2) 41.32 FEET NORTHWESTERLY ALONG THE ARC OF A 170.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A DELTA ANGLE OF 13°55'30", AND LONG CHORD OF NORTH 82°27'45" WEST 41.21 FEET; AND (3) NORTH 75°30'00" WEST 62.70 FEET TO THE SOUTHEAST CORNER OF LOT 1, CLOVER ESTATES, AS RECORDED WITH THE DAVIS COUNTY RECORDER; THENCE NORTH 14°05'00" EAST 180.65 FEET TO THE SOUTH LINE OF LOT 7, TWIN CREEK ESTATES AMENDED, AS RECORDED WITH THE DAVIS COUNTY RECORDER; THENCE SOUTH 89°53'29" EAST 156.93 FEET ALONG SAID SOUTH LINE; THENCE NORTH 82°39'00" EAST 135.05 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF 500 EAST STREET; THENCE FIVE (5) COURSES ALONG SAID WESTERLY LINE AS FOLLOWS: (1) 58.06 FEET SOUTHWESTERLY ALONG THE ARC OF A 163.50 FOOT RADIUS CURVE TO THE RIGHT THROUGH A DELTA ANGLE OF 20°20'42", CENTER BEARS NORTH 60°07'04" WEST, AND LONG CHORD BEARS SOUTH 40°03'17" WEST 57.75 FEET; (2) SOUTH 50°13'37" WEST 59.24 FEET TO A POINT OF CURVATURE; (3) 108.81 FEET SOUTHWESTERLY ALONG THE ARC OF A 186.50 FOOT RADIUS CURVE TO THE LEFT THROUGH A DELTA ANGLE OF 33°25'41", AND LONG CHORD OF SOUTH 33°30'47" WEST 107.27 FEET; (4) SOUTH 16°47'56" WEST 29.43 FEET TO A POINT OF CURVATURE; AND (5) 25.75 FEET SOUTHWESTERLY ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A DELTA ANGLE OF 73°45'41", AND LONG CHORD OF SOUTH 53°40'47" WEST 24.01 FEET TO THE POINT OF BEGINNING.

CONTAINS: 42,242 SQ. FT. Rotate 0.216° clockwise to NAD83

NARRATIVE

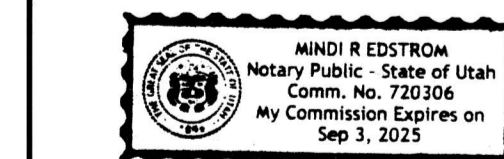
THIS SURVEY AND SUBDIVISION PLAT WERE REQUESTED BY MR. MIKE LARSEN FOR THE PURPOSE OF SUBDIVIDING THE HERON DESCRIBED PARCEL OF LAND. BRASS CAP MONUMENTS WERE FOUND ALONG THE CENTER LINE OF HAPPY HOLLOW LANE, AND SEVERAL REBARS AND CAPS WERE FOUND ALONG THE SOUTH LINE OF TWIN CREEK ESTATES AMENDED, AND NAILS WERE FOUND IN THE SIDEWALK IN TWIN CREEK ESTATES. A LINE BEARING NORTH 69°41'55" EAST BETWEEN SAID BRASS CAP MONUMENTS IN HAPPY HOLLOW LANE WERE USED AS THE BASIS OF BEARINGS FOR THIS SURVEY AND SUBDIVISION PLAT. PLATS OF RECORD FOR HAPPY HOLLOW CLUSTER SUBDIVISION; TWIN CREEKS ESTATES; TWIN CREEK STATES AMENDED; OAK RIDGE HEIGHTS; OAKRIDGE TERRACE #1; CLOVER ESTATES SUBDIVISION; AND LAKE HILLS SUBDIVISION NO. 2 WERE USED AS REFERENCE. THE NORTH LINE OF THE PROPERTY WAS SET BY TWIN CREEKS ESTATES AMENDED; THE SOUTH LINE OF THE PROPERTY WAS SET BY THE NORTHERLY LINE OF OAK LANE; THE WEST LINE OF THE PROPERTY WAS SET BY CLOVER ESTATES SUBDIVISION; AND THE EAST LINE WAS SET BY RE-ESTABLISHING THE WEST LINE OF 500 EAST STREET BY LAKE HILLS SUBDIVISION NO. 2, DEEDS OF RECORD, AND IMPROVEMENTS FOUND ON THE GROUND.

OWNER'S DEDICATION

I, THE UNDERSIGNED OWNER OF THE HERON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME TRACT INTO LOTS AS SHOWN ON THIS PLAT, AND ASSIGN THE LANDS INCLUDED IN THIS PLAT THE NAME OF LARSEN SUBDIVISION, AND DO HEREBY DEDICATE, GRANT, AND CONVEY TO CENTRAL DAVIS SEWER DISTRICT A PUBLIC SEWER EASEMENT AS DEFINED HEREON FOR THE INSTALLATION, OPERATION, AND MAINTENANCE OF SANITARY SEWER FACILITIES; AND DO HEREBY DEDICATE, GRANT, AND CONVEY TO KAYSVILLE CITY ALL THOSE PARTS OR PORTIONS OF SAID LAND DESIGNATED HEREON AS PUBLIC UTILITY AND DRAINAGE EASEMENTS (RU&DE), THE SAME TO BE USED FOR DRAINAGE AND THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AS MAY BE AUTHORIZED BY KAYSVILLE CITY WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS.

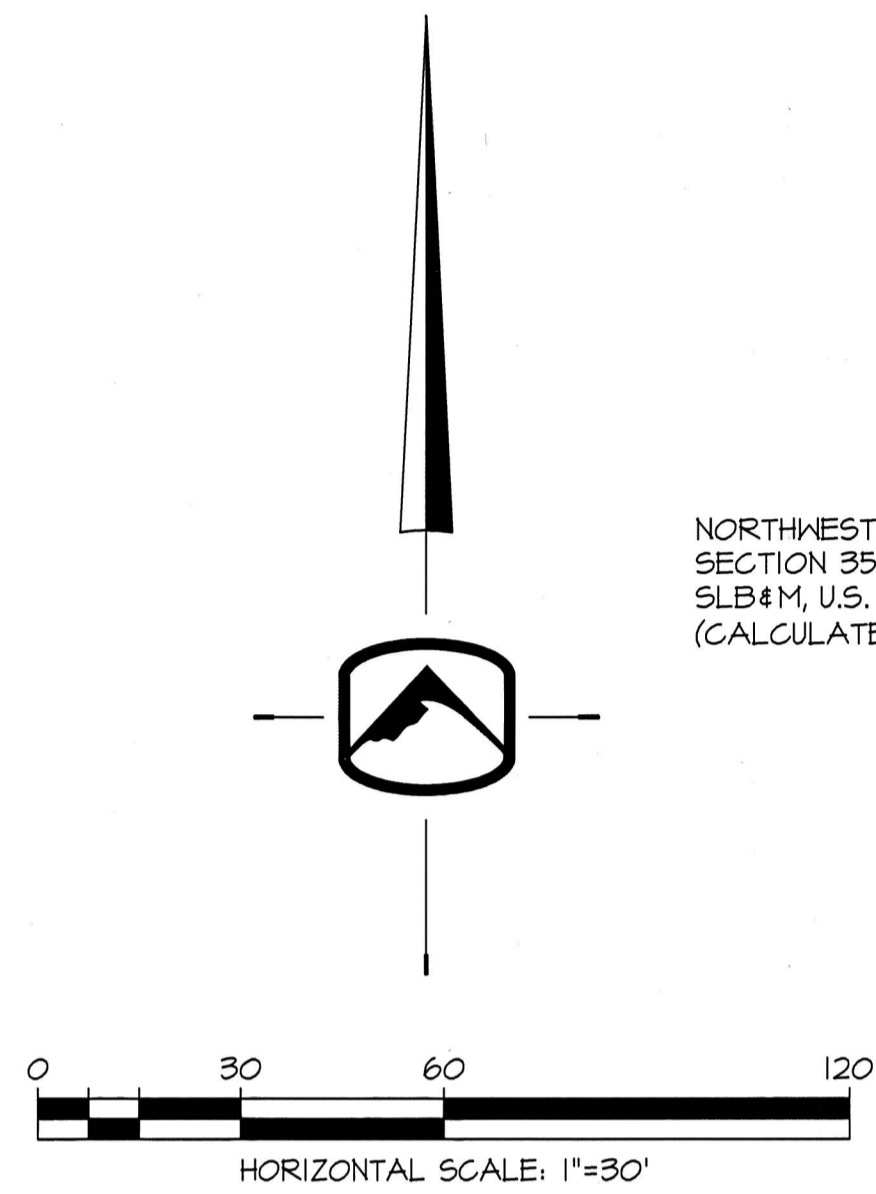
SIGNED THIS 27 DAY OF October 2022.

Michael Larsen
 Manager Lot Investment Group



DAVIS COUNTY RECORDER

ENTRY NO. 351223 FEE PAID \$9.00 FILED FOR RECORD AND RECORDED 12/15, 2022 AT 10:41 IN BOOK 8154 OF OFFICIAL RECORDS PAGE 147 RECORDED FOR Kaysville CITY, Utah
 Richard Macomber
 DAVIS COUNTY RECORDER
 BY: _____ DEPUTY



LEGEND

- BOUNDARY LINE
- LOT LINE
- SECTION LINE
- EASEMENT LINE
- ADJACENT PROPERTY CENTERLINE
- FENCE LINE
- SECTION CORNER
- STREET MONUMENT
- DEDICATED FOR PUBLIC RIGHT-OF-WAY
- PROPERTY / LOT CORNER FOUND OR TO BE SET WITH 5/8" REBAR & CAP OR NAIL & WASHER STAMPED "SILVERPEAK ENG"

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	CHORD	BEARING
C1	0°13'13"	211.50'	0.81'	0.81'	S 25°04'53" W
C2	9°11'24"	211.50'	33.42'	33.89'	S 20°21'35" W
C3	7°0'15"	211.50'	27.08'	27.07'	S 12°11'45" W

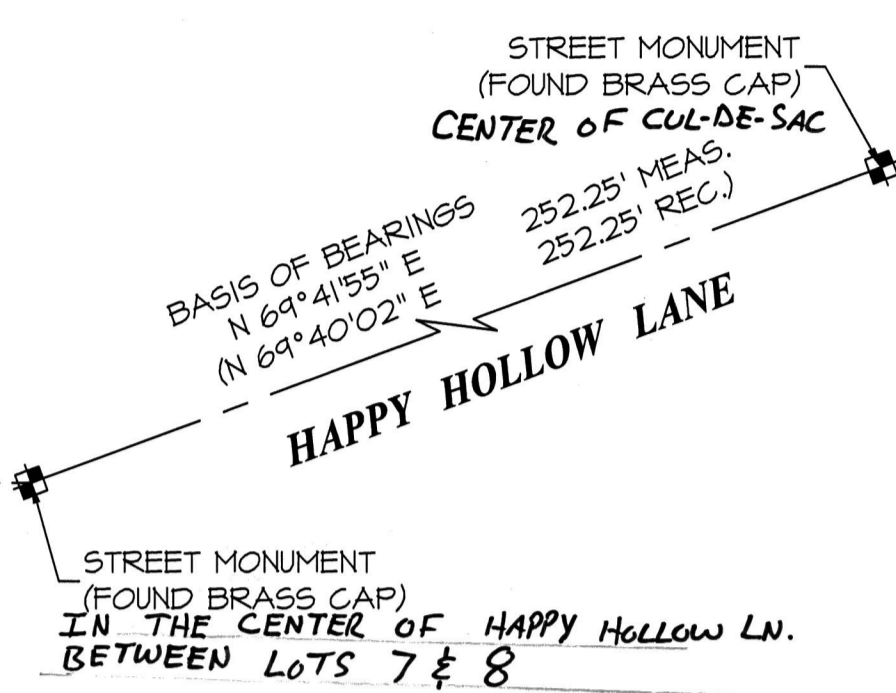
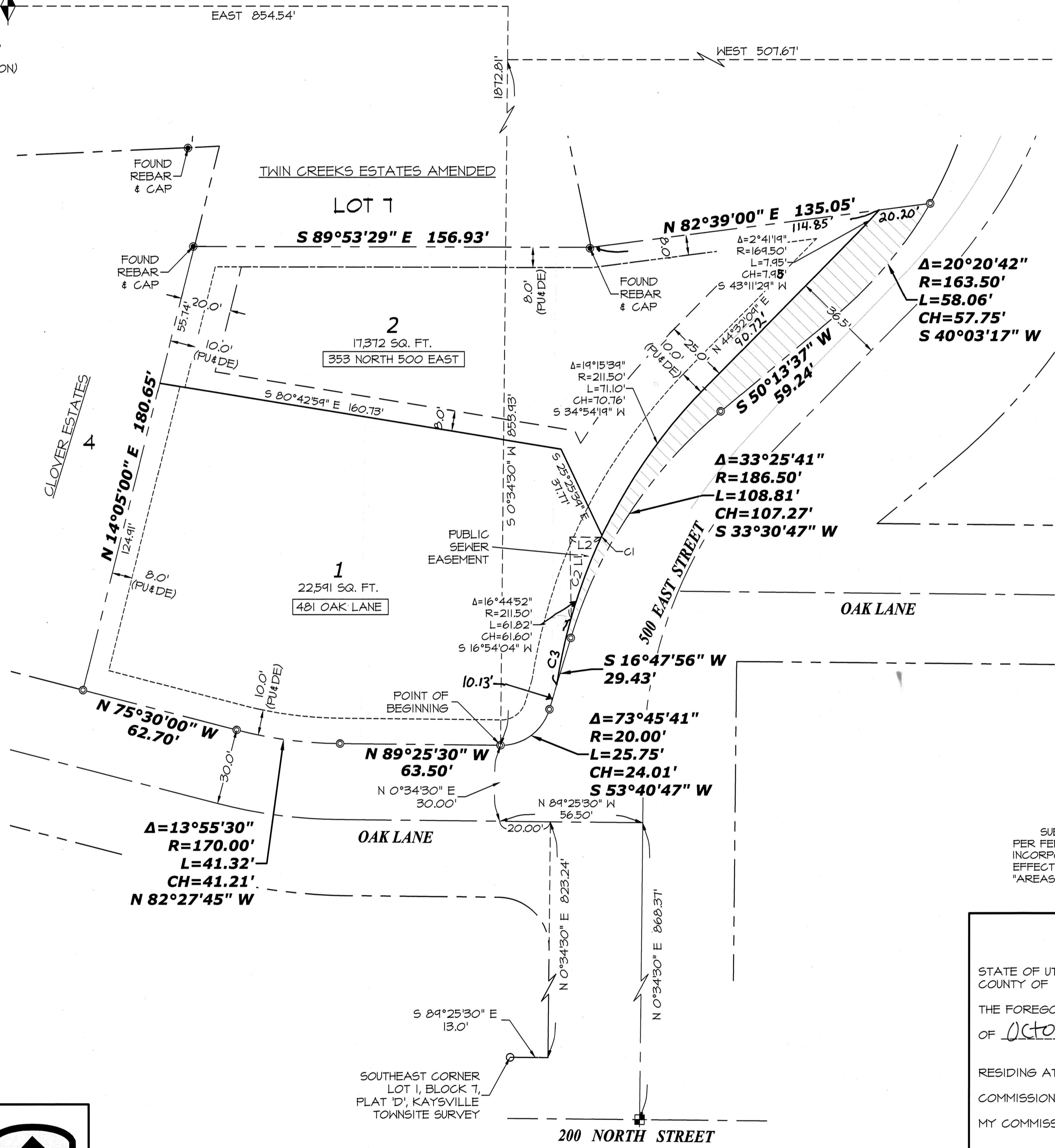
LINE DATA

LINE	BEARING	LENGTH
L1	N 0°56'45" W	31.86'
L2	S 89°30'12" E	12.37'

DEVELOPER:
 MIKE LARSEN
 (801) 928-1624
 MICHAELLARSEN@GMAIL.COM



177 E. ANTELOPE DR. STE. B
 KAYSVILLE, UT 84041
 PHONE: (801) 499-5054
 FAX: (801) 499-5065



FLOOD ZONE CLASSIFICATION

SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN ZONE X (UNSHADED) PER FEMA FLOOD INSURANCE RATE MAP FOR DAVIS COUNTY, UTAH AND INCORPORATED AREAS MAP NO. 4901C0241E, PANEL NO. 490046 0241 E, EFFECTIVE DATE JUNE 18, 2007. ZONE X (UNSHADED) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN".

ACKNOWLEDGMENT

STATE OF UTAH } ss
 COUNTY OF _____ }
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 27th DAY OF October 2022 BY Michael Larsen Manager Lot Investment Group
 RESIDING AT: 481 Oak Lane, Kayville
 COMMISSION NUMBER: 720306
 MY COMMISSION EXPIRES: 9/3/25
 Mindi R. Edstrom
 NOTARY PUBLIC (PRINT NAME)
 Mindi R. Edstrom
 NOTARY PUBLIC SIGNATURE

<h3>HAIGHT CREEK IRRIGATION COMPANY</h3> <p>APPROVED THIS 18 DAY OF October 2022 BY HAIGHT CREEK IRRIGATION COMPANY.</p> <p><i>David V. Adams</i> HAIGHT CREEK IRRIGATION COMPANY</p>	<h3>PLANNING COMMISSION APPROVAL</h3> <p>APPROVED THIS 19 DAY OF October 2022 BY THE KAYSVILLE CITY PLANNING COMMISSION.</p> <p><i>[Signature]</i> PLANNING COMMISSION CHAIR</p>	<h3>CITY ENGINEER'S APPROVAL</h3> <p>APPROVED THIS 18 DAY OF October 2022 BY THE KAYSVILLE CITY ENGINEER.</p> <p><i>[Signature]</i> KAYSVILLE CITY ENGINEER</p>	<h3>CITY ATTORNEY'S APPROVAL</h3> <p>APPROVED THIS 31 DAY OF October 2022 BY THE KAYSVILLE CITY ATTORNEY.</p> <p><i>[Signature]</i> KAYSVILLE CITY ATTORNEY</p>	<h3>CITY COUNCIL APPROVAL</h3> <p>APPROVED THIS 18 DAY OF October 2022 BY THE KAYSVILLE CITY COUNCIL.</p> <p><i>[Signature]</i> MAYOR <i>[Signature]</i> CITY RECORDER</p>
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