

3510689
BK 8150 PG 672

E 3510689 B 8150 P 672-696
RICHARD T. MAUGHAN
DAVIS COUNTY, UTAH RECORDER
12/9/2022 2:23:00 PM
FEE \$40.00 Pgs: 25
DEP eCASH REC'D FOR COTTONWOOD TITLE IN

WHEN RECORDED MAIL TO:

Clearfield City, c/o Brad McIlrath
55 South State Street
Clearfield, UT 84015

**THIRD ADDENDUM TO THE DEVELOPMENT AGREEMENT BETWEEN
101 NORTH MAIN (CLEARFIELD), LLC, CLEARFIELD CITY, AND
CLEARFIELD COMMUNITY DEVELOPMENT AND RENEWAL AGENCY**

In Reference to Tax ID Number(s):

12-930-0001 and 12-930-0002

COURTESY RECORDING ONLY

Cottonwood Title disclaims any
liability as to the condition of title
and as to the content, validity,
or effects of this document.

**THIRD ADDENDUM TO THE DEVELOPMENT AGREEMENT
BETWEEN 101 NORTH MAIN (CLEARFIELD), LLC,
CLEARFIELD CITY, AND CLEARFIELD COMMUNITY
DEVELOPMENT AND RENEWAL AGENCY**

This Third Addendum to the Development Agreement ("Third Addendum") for the Clearfield Junction Development is entered into as of this 8th day of November, 2022, by and between 101 NORTH MAIN (CLEARFIELD), LLC a Delaware limited liability company ("Phase 1 Owner"), as owner/developer of certain real property located in Clearfield City, Davis County, Utah to complete the development of a project known as Clearfield Junction, Phase 1 (the "Phase 1 Project"), and CLEARFIELD CITY, a political subdivision of the State of Utah ("City"), and CLEARFIELD COMMUNITY DEVELOPMENT AND RENEWAL AGENCY ("CDRA"), herein after referred to collectively as, the "Parties."

RECITALS

WHEREAS, Clearfield Junction, LLC ("Developer"), City, and CDRA previously entered into a Development Agreement dated May 22, 2018 (Original Agreement), that outlines the development of the Project.

WHEREAS, the Original Agreement includes a phased plan for the development of the Project.

WHEREAS, Section fourteen (14) of the Original Agreement allows for the assignment of all or part of the legal obligations of the Original Agreement.

WHEREAS, on or about February 17, 2022, Developer sold the Phase 1 Project to Phase 1 Owner resulting in the assignment of all legal obligations to complete the Phase 1 Project set forth within the Original Agreement.

WHEREAS, Phase 1 Owner requires the following amendments to the Original Agreement to finalize the Phase 1 Project.


NOW, THEREFORE, in consideration of the mutual covenants, terms and conditions set forth herein, Phase 1 Owner and the City and CDRA hereby agree as follows:


AGREEMENT


- (1) Recitals. The foregoing recitals are incorporated and made an integral part of this Agreement by this reference.
- (2) Development Pursuant to the Original Agreement and First, Second, and Third Addendum. The Phase 1 Project shall be developed in accordance with the terms of the Original Agreement, as modified by the First Addendum entered in December 2018, the Second Addendum as entered in January 2022, and this Third Addendum of the Original Agreement, as follows:
 - A. The gym will be moved to the bottom of building 2 and consist of 1,350 SF. (Exhibit B)
 - B. The clubhouse will be built in building 1 and consist of 1,385 SF. (Exhibit B)


- C. The minimum required pool and hot tub sizes will be no less than 1,000 SF for the pool and no less than 100 SF for the spa. (Exhibit C)
 - D. The interior courtyard will be reconfigured to allow for an additional 12 parking spaces by moving the BBQ area to the southern end of the courtyard. (Exhibit A)
 - E. The combined BBQ and Fire Pit area requirement will be reduced from 1,800 SF to no less than 1,786 SF. (Exhibit A)
 - F. The alley between buildings 1 and 2 will be improved with additional landscaping and lighting. (Exhibit D)
 - G. The grass at the north end of the pool area will be converted into a pet friendly area with turf and pet stations. (Exhibit D)
 - H. 12 spaces to the south of building 2 will be dedicated as commercial spaces during business hours. (Exhibit D)
- (3) Original Agreement. Except for the changes reflected in paragraph 2 above, all other terms and conditions within the Original Agreement, First Addendum, and the Second Addendum shall remain in place and applicable to the Parties.
- (4) Binding Effect. The provisions of this Third Addendum shall inure to the benefit of and be binding upon the successors and assigns of the parties hereto.
- (5) Severability. If any part or provision of this Third Addendum shall be determined to be unconstitutional, invalid, or unenforceable by a court of competent jurisdiction, then such a decision shall not affect any other part or provision of this Third Addendum except that condition, covenant, or other provision of this Third Addendum shall be deemed invalid due to its scope or breadth, such provision shall be deemed valid to the extent of the scope or breadth permitted by law.
- (6) Miscellaneous.
- a. Legal Fees. Should any party default in any of the covenants or agreements herein contained, that defaulting party shall pay all costs and expenses, including a reasonable attorney's fee, which may arise or accrue from enforcing this Second Addendum or in pursuing any remedy provided hereunder or any applicable law, whether such remedy is pursued by filing suit or otherwise. This obligation of the defaulting party to pay costs and expenses includes, without limitation, all costs and expenses, including a reasonable attorney's fee, incurred on appeal and in bankruptcy proceedings.
 - b. Survival. It is expressly agreed that the terms, covenants and conditions of this Third Addendum shall survive any legal act or conveyance required under this Third Addendum.
- (7) Headings. The section and other headings contained in this Third Addendum are for reference purposes only and shall not in any way affect the meaning or interpretation of this Third Addendum.


IN WITNESS WHEREOF, the parties have executed this Third Addendum to the Original Agreement for the Clearfield Junction Development the day and years first above written.


CITY: 
Mark Shepherd, Mayor



CDRA: 
Karece Thompson, Chair

ATTEST:

Nancy Dean, City Recorder

APPROVED AS TO LEGAL FORM

Stuart E. Williams, City Attorney



PHASE 1 OWNER:

101 North Main (Clearfield), LLC
a Delaware limited liability company

By: Four Peaks Fund 1, LP
A Delaware limited partnership
Its Sole Member

By: Four Peaks Fund GP 1, LLC,
A Delaware limited liability company
Its General Partner

By: 
Daniel Ross, Authorized Signatory

ACKNOWLEDGMENT OF PHASEPHASE 1 OWNER

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 16 November 2022 before me, Alexandra Kelsey, Notary Public
(insert name and title of the officer)

personally appeared Daniel Ross

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/their authorized capacity(~~ies~~), and that by his/~~her~~/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.


I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Alexandra Kelsey (Seal)




Exhibit A

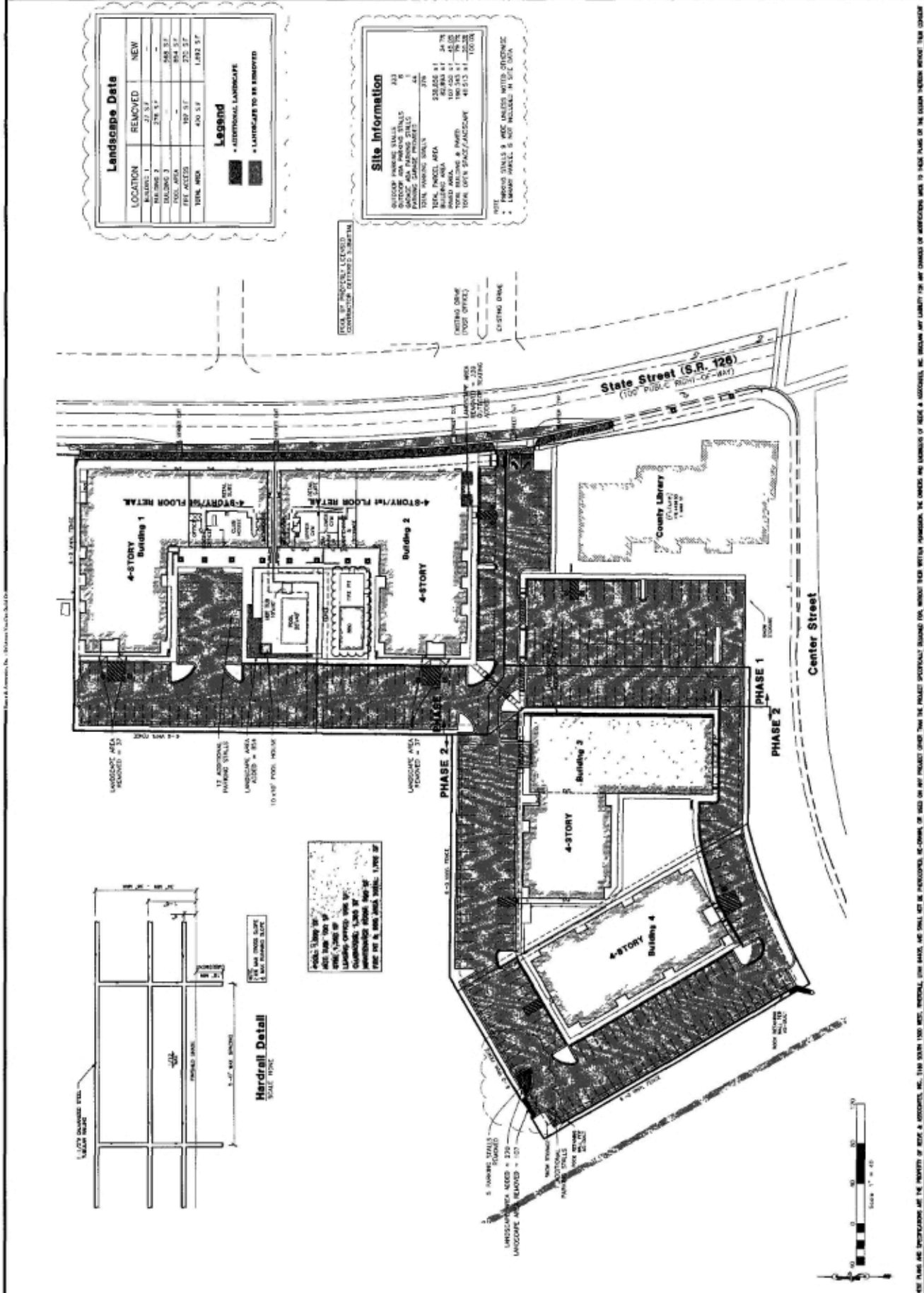


Reeve & Associates, Inc.

Site Plan
Clearfield Junction
Subdivision
CLEARFIELD CITY, DAWS COUNTY, PA



Project No. _____
Engineer: J. W. BUCK
Date: _____
Scale: _____
Sheet: _____ of _____



Landscape Data

LOCATION	REMOVED	NEW
Building 1	27 S.F.	-
Building 2	27 S.F.	-
Building 3	27 S.F.	-
Building 4	27 S.F.	-
1st Floor Retail	27 S.F.	-
Fire Access	107 S.F.	270 S.F.
Total Area	100 S.F.	270 S.F.

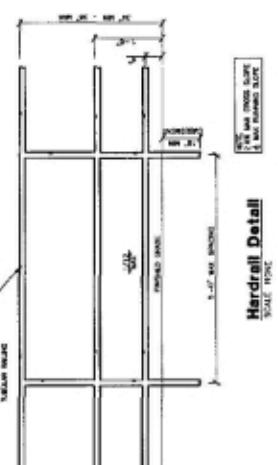
Legend

- REMOVED LANDSCAPE
- ADDITIONAL LANDSCAPE

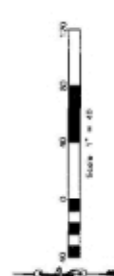
Site Information

OUTDOOR PARKING STALLS	232
INDOOR PARKING STALLS	8
TOTAL PARKING STALLS	240
TOTAL PARKING AREA	238,000 S.F.
BUILDING AREA	82,800 S.F.
TOTAL BUILDING & PARKING AREA	320,800 S.F.
TOTAL OPEN SPACE/LANDSCAPE	45,513 S.F.

NOTE: PREVIOUS STALLS & WIDE UNLESS NOTED OTHERWISE
LANDSCAPE SHALL BE NOT INCLUDED IN SITE DATA



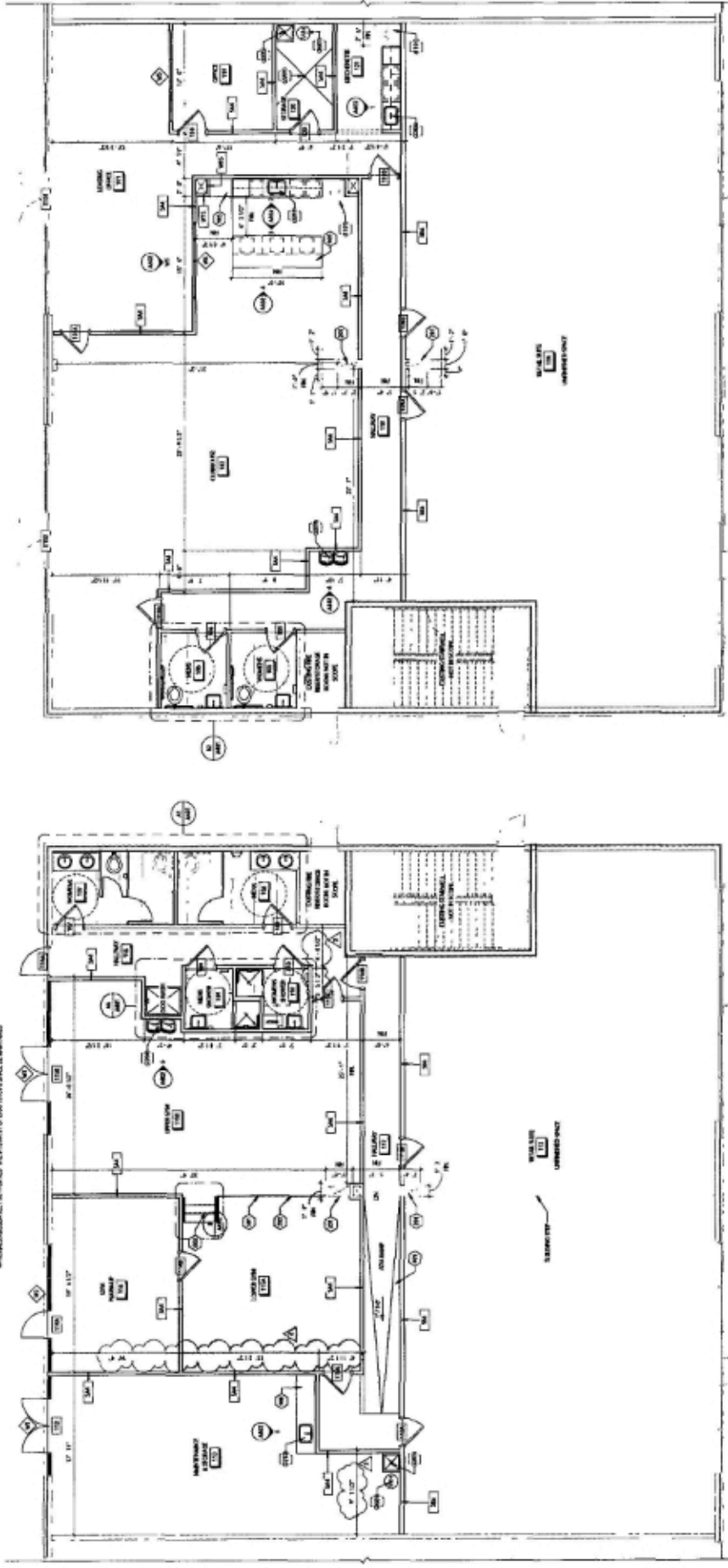
NOTE: 1. ALL NEW CONCRETE SHALL BE 3000 PSI WITH 4% FINE AGGREGATE.
2. ALL NEW CONCRETE SHALL BE FINISHED WITH BROOM.
3. ALL NEW CONCRETE SHALL BE CURVED TO MATCH ADJACENT SURFACES.
4. ALL NEW CONCRETE SHALL BE FINISHED WITH 1/2" RADIUS CORNERS.
5. ALL NEW CONCRETE SHALL BE FINISHED WITH 1/2" RADIUS CORNERS.



THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. NO PART OF THIS PLAN OR SPECIFICATIONS SHALL BE REPRODUCED, COPIED, OR USED IN ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY IDENTIFIED HEREON WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. REEVE & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THIS PLAN OR SPECIFICATIONS MADE BY ANY OTHER PERSON WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC. REEVE & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THIS PLAN OR SPECIFICATIONS MADE BY ANY OTHER PERSON WITHOUT THE WRITTEN PERMISSION OF REEVE & ASSOCIATES, INC.

Exhibit B

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/15/2011
2	ISSUED FOR PERMITS	11/15/2011
3	ISSUED FOR PERMITS	11/15/2011
4	ISSUED FOR PERMITS	11/15/2011
5	ISSUED FOR PERMITS	11/15/2011
6	ISSUED FOR PERMITS	11/15/2011



- KEYNOTE LEGEND**
- 101 MECHANICAL ROOM
 - 102 MECHANICAL ROOM
 - 103 MECHANICAL ROOM
 - 104 MECHANICAL ROOM
 - 105 MECHANICAL ROOM
 - 106 MECHANICAL ROOM
 - 107 MECHANICAL ROOM
 - 108 MECHANICAL ROOM
 - 109 MECHANICAL ROOM
 - 110 MECHANICAL ROOM
 - 111 MECHANICAL ROOM
 - 112 MECHANICAL ROOM
 - 113 MECHANICAL ROOM
 - 114 MECHANICAL ROOM
 - 115 MECHANICAL ROOM
 - 116 MECHANICAL ROOM
 - 117 MECHANICAL ROOM
 - 118 MECHANICAL ROOM
 - 119 MECHANICAL ROOM
 - 120 MECHANICAL ROOM

FINISH PLAN GENERAL NOTES

1. FLOOR FINISH SHALL BE AS SHOWN ON THIS PLAN.
2. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
3. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
4. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
5. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
6. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
7. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
8. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
9. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
10. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

DEVELOPMENT AGREEMENT NOTES:

1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

2. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

3. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

4. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

5. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

6. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

7. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

8. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

9. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

10. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

- FLOOR PLAN GENERAL NOTES**
1. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 2. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 3. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 4. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 5. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 6. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 7. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 8. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 9. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 10. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 11. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 12. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 13. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 14. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 15. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 16. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 17. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 18. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 19. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.
 20. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULE.

0000 SHEET

CODE COMPLIANCE AND GENERAL INFORMATION

SECTION

101 N Main St, Clearfield, UT 84015

OCCUPANT LOAD CALCULATIONS (OC)

AREA	AREA (SQ FT)	NO. OF OCCUPANTS	TOTAL OCCUPANT LOAD
OFFICE	100	10	10
RECEPTION	50	5	5
CONFERENCE	150	15	15
STORAGE	200	0	0
MECHANICAL	100	0	0
STAIRS	100	0	0
RESTROOMS	50	5	5
LOBBY	100	10	10
TOTAL	750	45	45

PLUMBING FIXTURE CALCULATIONS (FC)

FIXTURE	TYPE	UNIT VALUE	NO. OF FIXTURES	TOTAL UNIT VALUE
TOILET	1	1.0	10	10.0
W.C.	1	1.0	10	10.0
URINAL	1	0.5	10	5.0
SINK	1	0.5	10	5.0
STOVE	1	1.5	1	1.5
CUPBOARD	1	1.5	1	1.5
REF.	1	1.5	1	1.5
DISH WASH	1	1.5	1	1.5
WATER CLOSET	1	1.0	1	1.0
WATER CLOSET	1	1.0	1	1.0
WATER CLOSET	1	1.0	1	1.0
TOTAL				56.0

SECTION	DESCRIPTION	REMARKS
1	FOUNDATION	CONCRETE ON GRAVEL
2	FLOORING	CONCRETE ON GRAVEL
3	WALLS	CONCRETE ON GRAVEL
4	CEILING	CONCRETE ON GRAVEL
5	ROOFING	CONCRETE ON GRAVEL
6	MECHANICAL	CONCRETE ON GRAVEL
7	ELECTRICAL	CONCRETE ON GRAVEL
8	PLUMBING	CONCRETE ON GRAVEL
9	PAINTING	CONCRETE ON GRAVEL
10	FINISHING	CONCRETE ON GRAVEL

GENERAL INFORMATION

SECTION	DESCRIPTION	REMARKS
1	FOUNDATION	CONCRETE ON GRAVEL
2	FLOORING	CONCRETE ON GRAVEL
3	WALLS	CONCRETE ON GRAVEL
4	CEILING	CONCRETE ON GRAVEL
5	ROOFING	CONCRETE ON GRAVEL
6	MECHANICAL	CONCRETE ON GRAVEL
7	ELECTRICAL	CONCRETE ON GRAVEL
8	PLUMBING	CONCRETE ON GRAVEL
9	PAINTING	CONCRETE ON GRAVEL
10	FINISHING	CONCRETE ON GRAVEL

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

MATERIALS LEGEND

SYMBOL	DESCRIPTION
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL
[Symbol]	CONCRETE ON GRAVEL

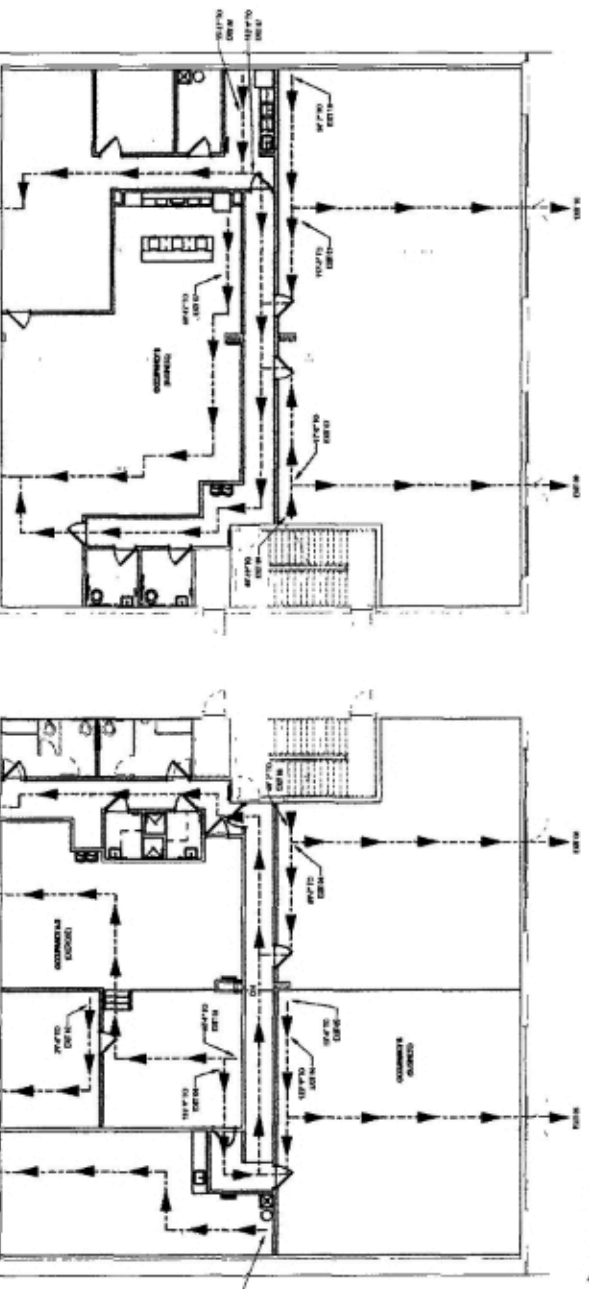
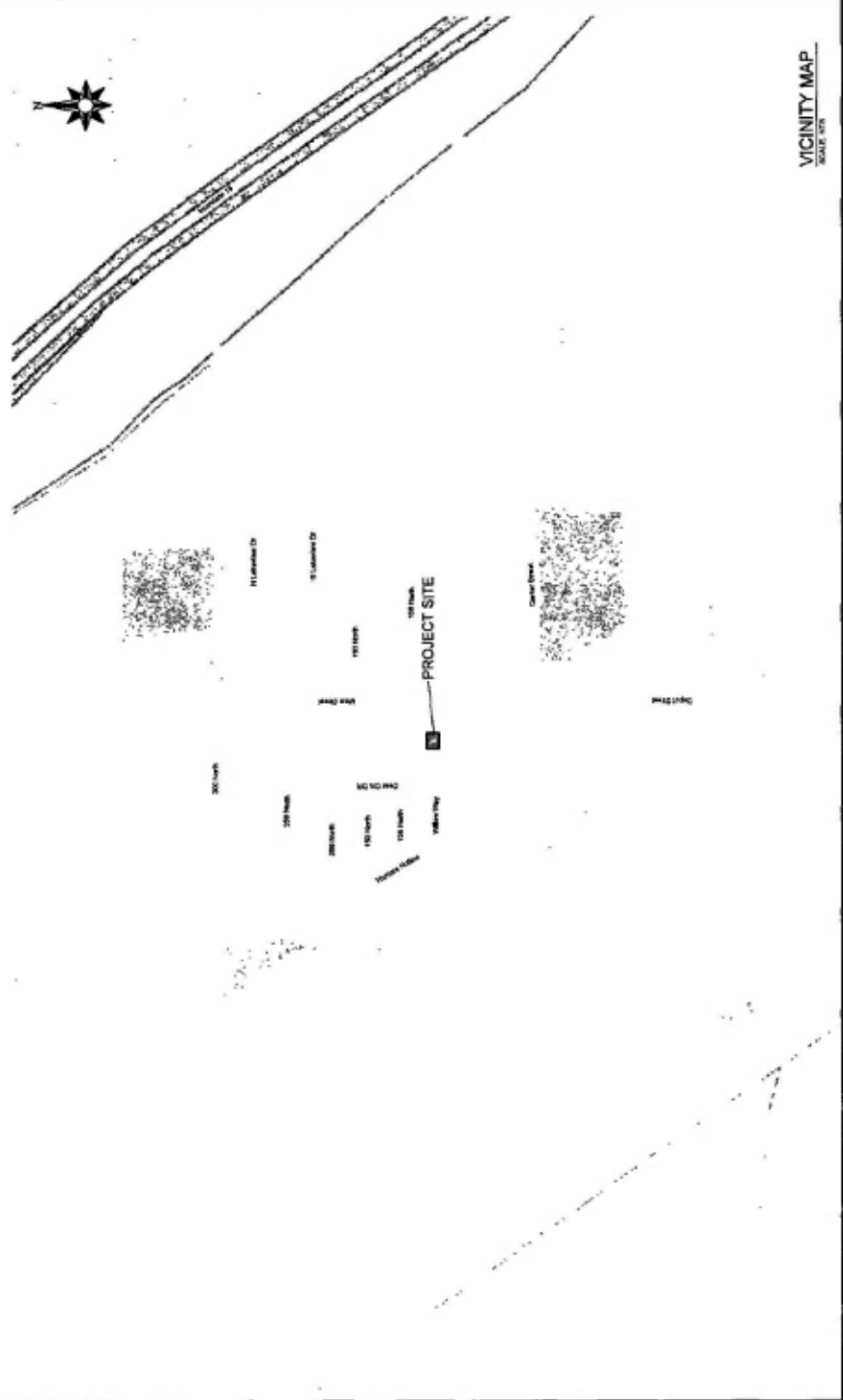


Exhibit C

CLEARFIELD JUNCTION POOL & SPA

Clearfield, Utah

Permit Set
October 25, 2022



VICINITY MAP
SCALE 1/8"

PROJECT NOTES

- All work shall be performed in accordance with the City of Clearfield (City) Standards and Specifications and the (County) County Public Health Department's Swimming Pool Codes.
- These drawings are for the engineering and design of the Swimming Pools and Spa only. The facilities, equipment and surrounding the site are shown for informational purposes only and are provided by others. Refer to the architect, civil, structural, mechanical and electrical drawings for additional information and lobby services.
- Pool Contractor shall investigate the scope of work, including but not limited to, the site conditions, and provide a detailed site plan to the City of Clearfield. The City of Clearfield shall be responsible for the final approval of the work. Work not indicated in the set of documents are prohibited, not included and shall remain.

Sheet Index

Sheet #	Description
0.0	COVER SHEET
1.0	GENERAL NOTES
2.0	OVERALL SITE PLAN
3.0	POOL LAYOUT
4.0	SPA LAYOUT
5.0	SPA FINISH PLAN
6.0	SPA FINISH PLAN
7.0	POOL DETAILS
8.0	SPA DETAILS
9.0	GENERAL DETAILS

 <p>DKE DESIGN & CONSTRUCTION</p>	<p>CLEARFIELD JUNCTION</p>	<p>COVER SHEET</p>	<p>DATE: 10/25/2022</p>	<p>SCALE: 1/8"</p>	<p>0.0</p>
---	-----------------------------------	---------------------------	-------------------------	--------------------	------------

SCALE
2.0

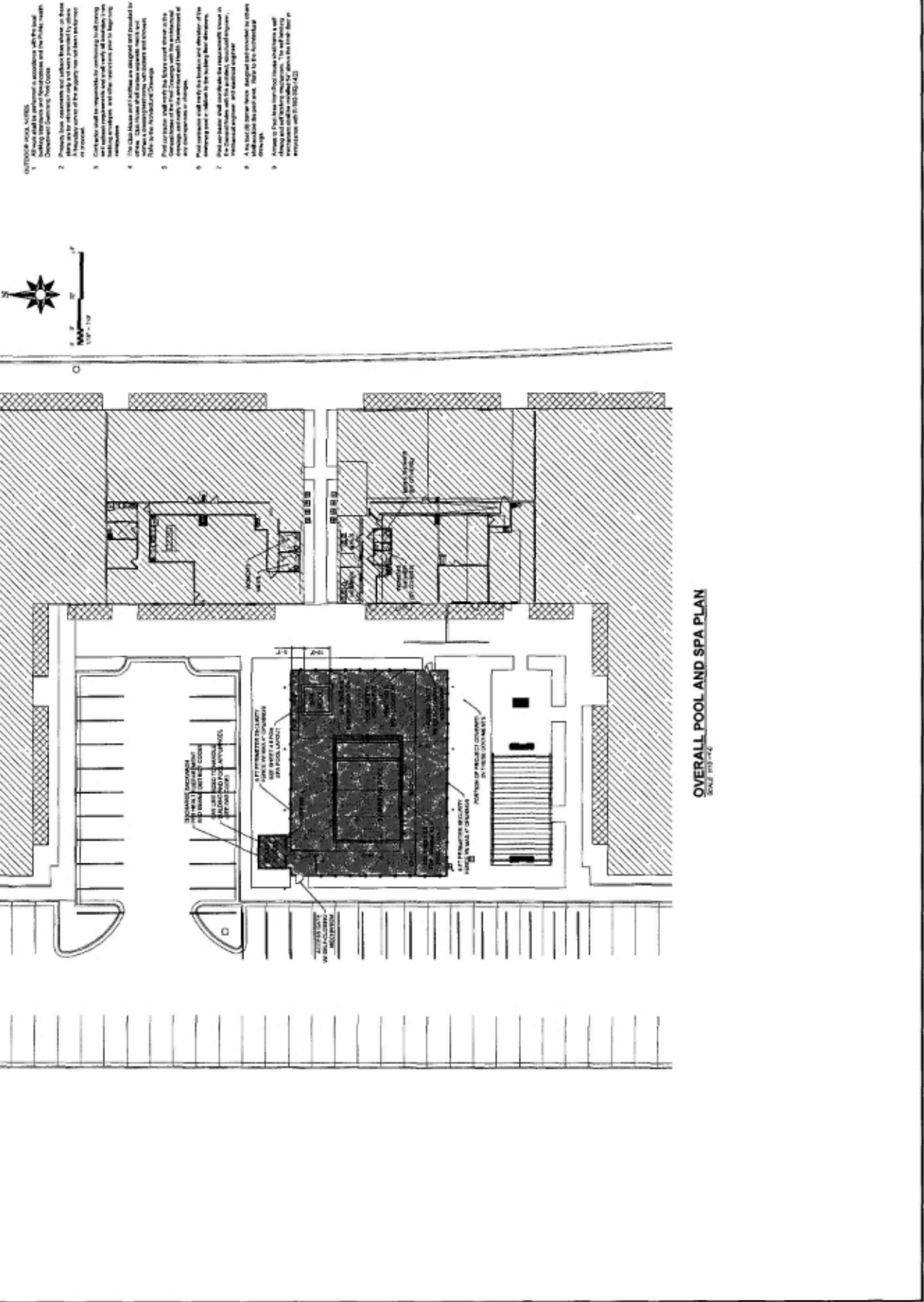


NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMIT
2	11/15/11	ISSUED FOR PERMIT

DATE: 11/15/11	BY: [Signature]
DATE: 11/15/11	BY: [Signature]
DATE: 11/15/11	BY: [Signature]
DATE: 11/15/11	BY: [Signature]

OVERALL SITE PLAN

CLEARFIELD JUNCTION
 12155 N. W. 15th St.
 Fort Lauderdale, FL 33311



OVERALL POOL AND SPA PLAN
SCALE 2.0

3.0



NO.	DATE	DESCRIPTION
1	11/21/2017	ISSUED FOR PERMIT
2	08/24/2017	ISSUED FOR PERMIT
3	08/24/2017	ISSUED FOR PERMIT
4	08/24/2017	ISSUED FOR PERMIT
5	08/24/2017	ISSUED FOR PERMIT
6	08/24/2017	ISSUED FOR PERMIT
7	08/24/2017	ISSUED FOR PERMIT
8	08/24/2017	ISSUED FOR PERMIT
9	08/24/2017	ISSUED FOR PERMIT
10	08/24/2017	ISSUED FOR PERMIT

POOL LAYOUT

DATE: 11/21/2017	PROJECT: CLEARFIELD JUNCTION
DRAWN BY: [Redacted]	CHECKED BY: [Redacted]
SCALE: AS SHOWN	



SWIMMING POOL DATA

PROJECT NAME	CLEARFIELD JUNCTION
CLIENT	[Redacted]
DATE	11/21/2017
DESIGNED BY	[Redacted]
CHECKED BY	[Redacted]
DATE	11/21/2017
PROJECT LOCATION	11111 CLEARFIELD JUNCTION
OWNER	[Redacted]
DESIGNER	[Redacted]
SCALE	AS SHOWN

POOL FIXTURE SCHEDULE

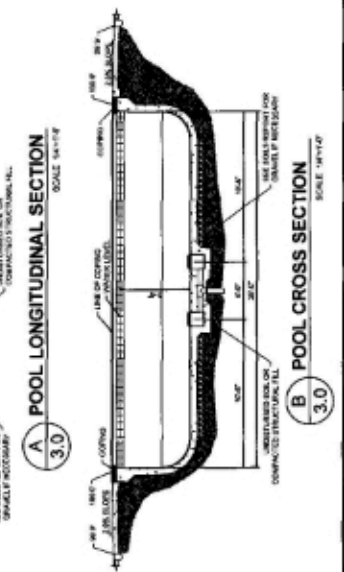
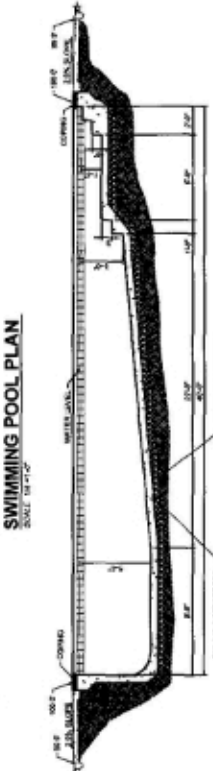
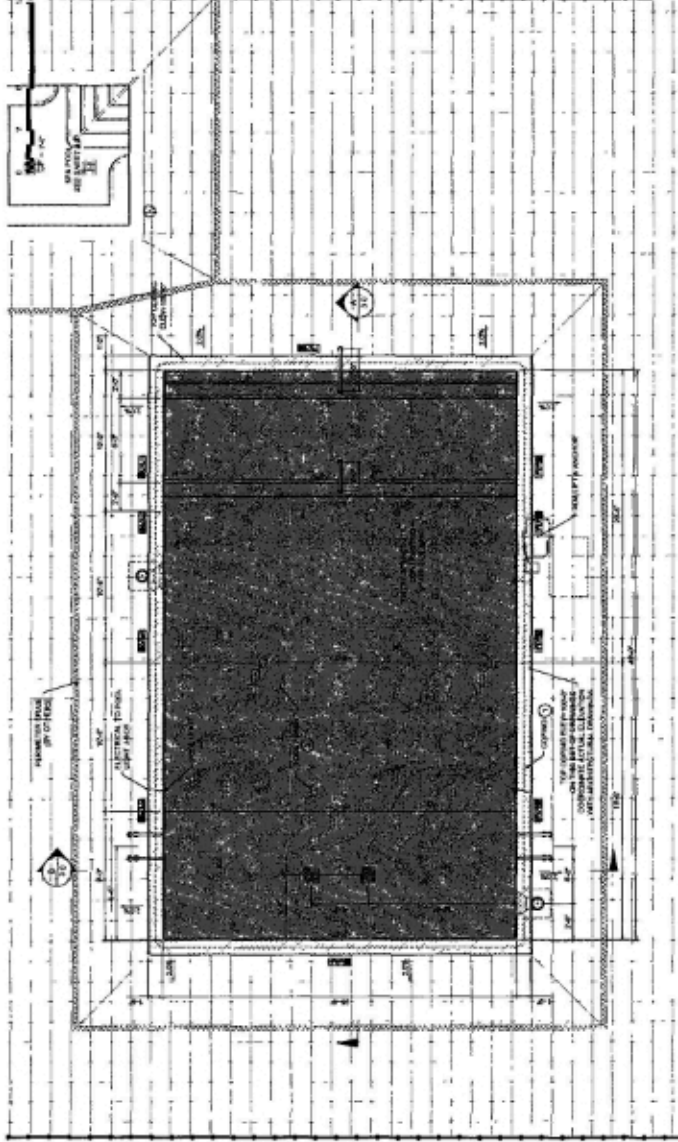
NO.	DESCRIPTION	QTY	REMARKS
1	POOL FIXTURE	1	POOL FIXTURE
2	POOL FIXTURE	1	POOL FIXTURE
3	POOL FIXTURE	1	POOL FIXTURE
4	POOL FIXTURE	1	POOL FIXTURE
5	POOL FIXTURE	1	POOL FIXTURE
6	POOL FIXTURE	1	POOL FIXTURE
7	POOL FIXTURE	1	POOL FIXTURE
8	POOL FIXTURE	1	POOL FIXTURE
9	POOL FIXTURE	1	POOL FIXTURE
10	POOL FIXTURE	1	POOL FIXTURE

NOTES

- REFER TO GENERAL PROJECT NOTES SHEET 1 FOR DETAILS.
- ALL POOL FIXTURES INCLUDING POOL PLASTER, COILING, WATER LINE SHALL BE INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

GEOTECHNICAL NOTES

- REFER TO GEOTECHNICAL REPORT FOR SOIL DATA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.



6.2

SECTION

GENERAL DETAILS

CLASSIFICATION

DATE

BY

FOR

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

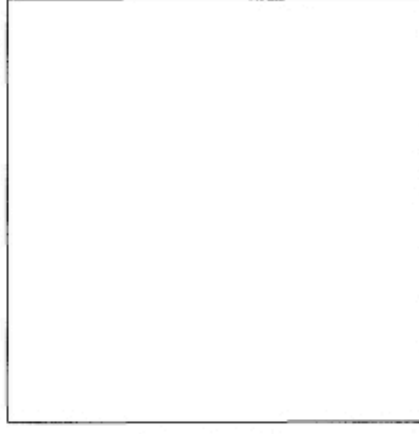
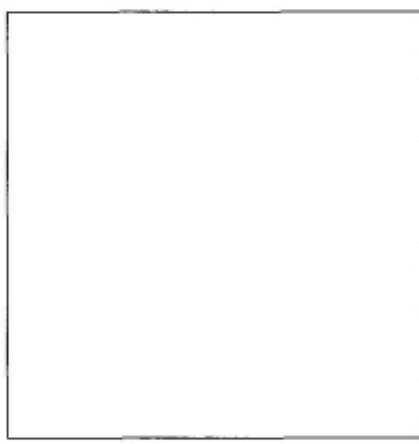
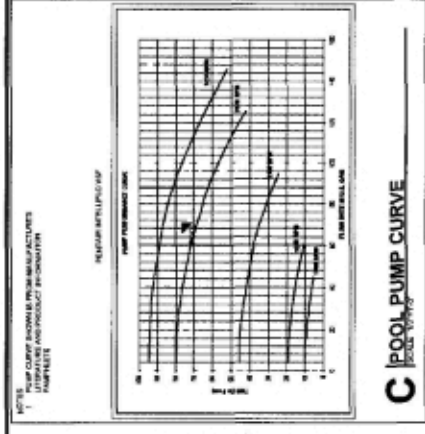
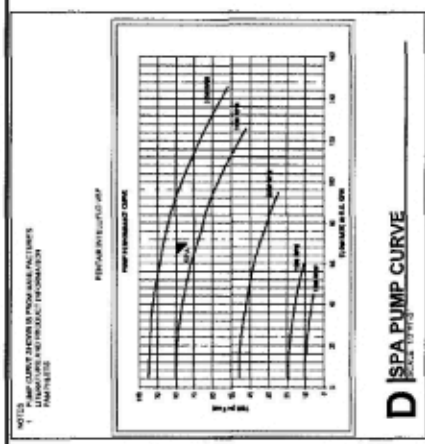
3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.

3. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.



A RECOMMENDED POOL SIGNS

WARNING NO DIVING

NO DIVING

IN CASE OF EMERGENCY CALL 911

EMERGENCY SHUT-OFF SWITCH

POOL CHALETY

POOL RULES

HOT TUB RULES

POOL RULES

Notes:
1. ALL SIGNS TO BE LOCATED IN AREAS WHERE VISITORS ARE TO BE ADVISED.
2. SIGNS TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL ORDINANCES.
3. SIGNS TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL ORDINANCES.
4. SIGNS TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL ORDINANCES.

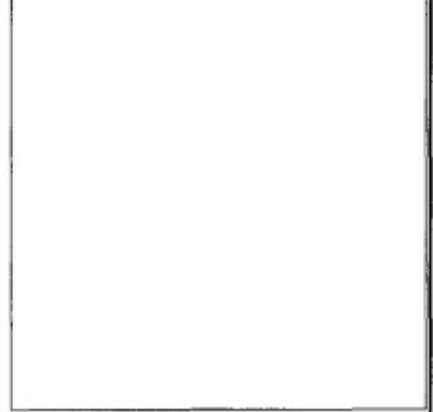
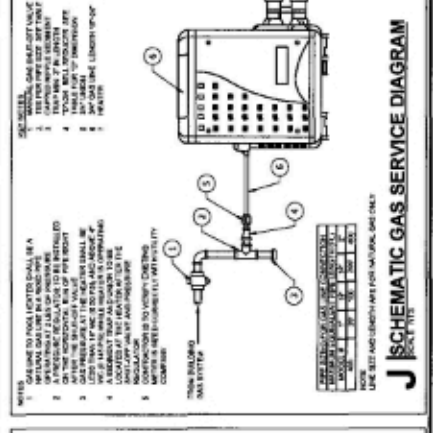
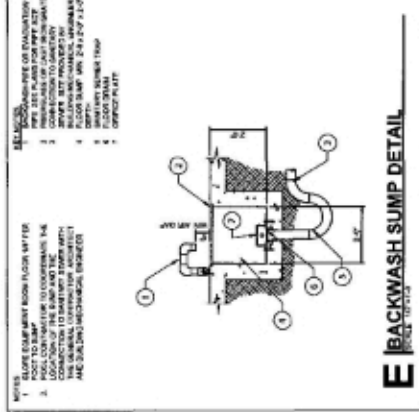
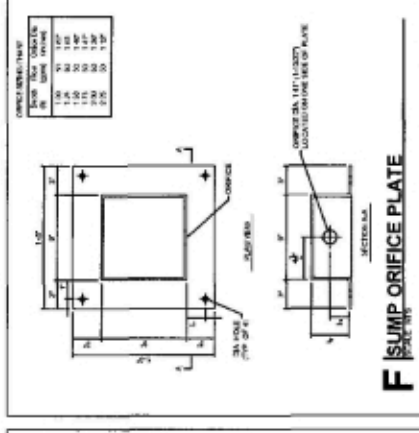
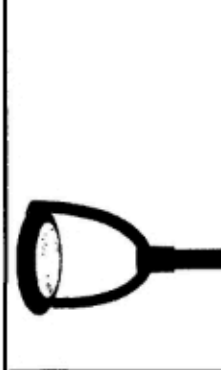
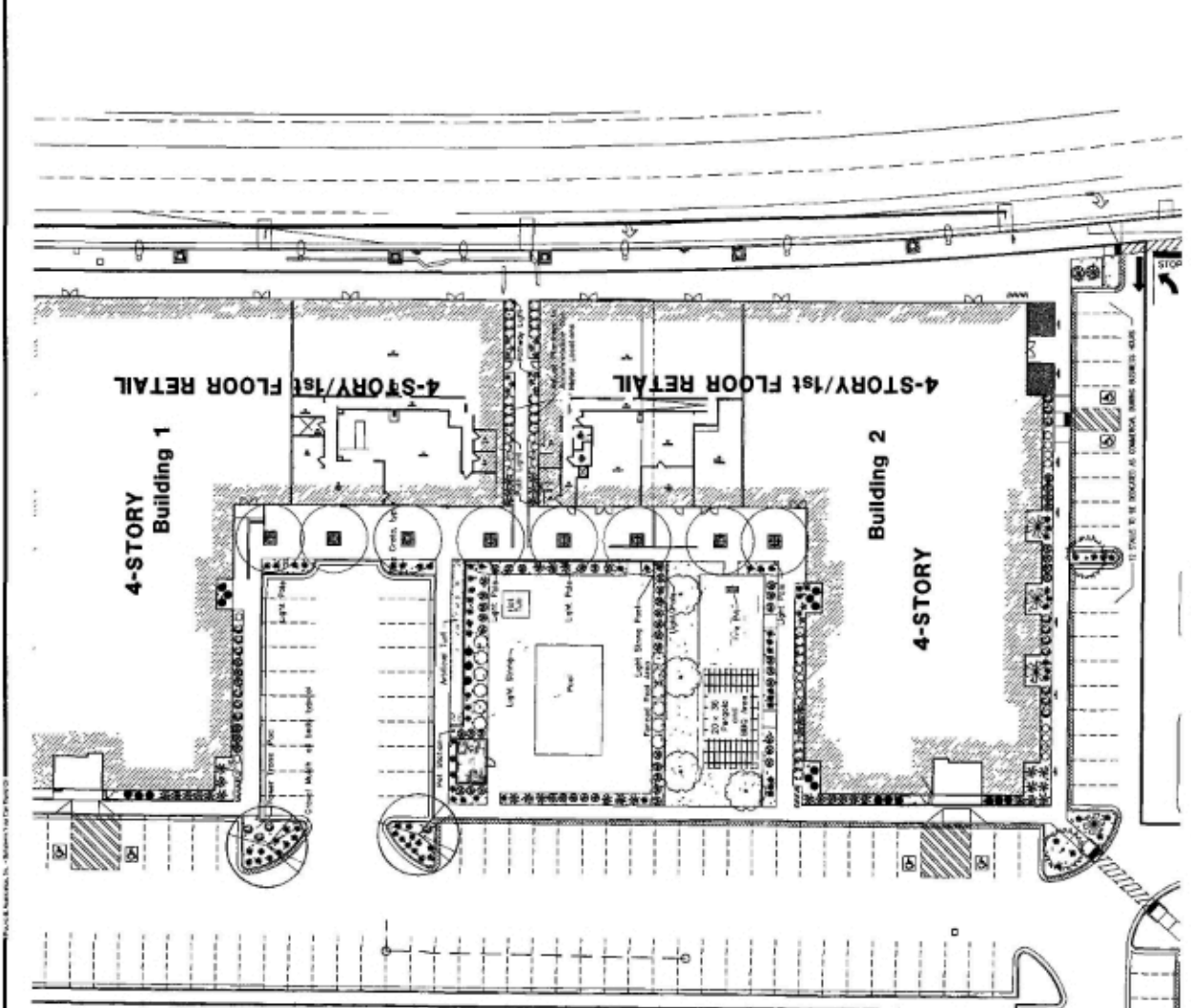


Exhibit D



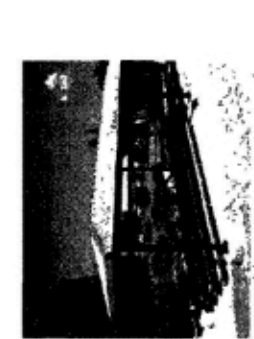
<https://www.lightmart.com/>
LIGHT POLE



<https://www.petwasteeliminator.com/>
PET STATION



<https://modscopes.com/fits/>
STEEL PERGOLA



<https://www.bigrecreation.com/>
PAVILLION



<https://americandiscoverstructures.com/>
VINYL PERGOLA



<https://starfiredirect.com>
RAISED GAS FIRE PIT



Plant Table

NO.	SYMBOL	COMMON NAME	PLANT	SIZE
1	○	Common Name	Common Name	Size
2	○	Common Name	Common Name	Size
3	○	Common Name	Common Name	Size
4	○	Common Name	Common Name	Size
5	○	Common Name	Common Name	Size
6	○	Common Name	Common Name	Size
7	○	Common Name	Common Name	Size
8	○	Common Name	Common Name	Size
9	○	Common Name	Common Name	Size
10	○	Common Name	Common Name	Size
11	○	Common Name	Common Name	Size
12	○	Common Name	Common Name	Size
13	○	Common Name	Common Name	Size
14	○	Common Name	Common Name	Size
15	○	Common Name	Common Name	Size
16	○	Common Name	Common Name	Size
17	○	Common Name	Common Name	Size
18	○	Common Name	Common Name	Size
19	○	Common Name	Common Name	Size
20	○	Common Name	Common Name	Size
21	○	Common Name	Common Name	Size
22	○	Common Name	Common Name	Size
23	○	Common Name	Common Name	Size
24	○	Common Name	Common Name	Size
25	○	Common Name	Common Name	Size
26	○	Common Name	Common Name	Size
27	○	Common Name	Common Name	Size
28	○	Common Name	Common Name	Size
29	○	Common Name	Common Name	Size
30	○	Common Name	Common Name	Size
31	○	Common Name	Common Name	Size
32	○	Common Name	Common Name	Size
33	○	Common Name	Common Name	Size
34	○	Common Name	Common Name	Size
35	○	Common Name	Common Name	Size
36	○	Common Name	Common Name	Size
37	○	Common Name	Common Name	Size
38	○	Common Name	Common Name	Size
39	○	Common Name	Common Name	Size
40	○	Common Name	Common Name	Size
41	○	Common Name	Common Name	Size
42	○	Common Name	Common Name	Size
43	○	Common Name	Common Name	Size
44	○	Common Name	Common Name	Size
45	○	Common Name	Common Name	Size
46	○	Common Name	Common Name	Size
47	○	Common Name	Common Name	Size
48	○	Common Name	Common Name	Size
49	○	Common Name	Common Name	Size
50	○	Common Name	Common Name	Size
51	○	Common Name	Common Name	Size
52	○	Common Name	Common Name	Size
53	○	Common Name	Common Name	Size
54	○	Common Name	Common Name	Size
55	○	Common Name	Common Name	Size
56	○	Common Name	Common Name	Size
57	○	Common Name	Common Name	Size
58	○	Common Name	Common Name	Size
59	○	Common Name	Common Name	Size
60	○	Common Name	Common Name	Size

NOTE: PLANT AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF REEVE & ASSOCIATES, INC. UNLESS OTHERWISE SPECIFIED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

EXHIBIT D
PROPERTY DESCRIPTION

PARCEL 1:

All of Lots 1 and 2, CLEARFIELD JUNCTION SUBDIVISION, Clearfield City, Davis County, Utah, according to the official plat thereof, recorded November 28, 2018 as Entry No. 3130707 in Book 7148 at Page 400.

Tax Id No.: 12-930-0001 and 12-930-0002