

2019-68
PERM

E 3209465 B 7403 P 2128-2177
RICHARD T. MAUGHAN
DAVIS COUNTY, UTAH RECORDER
12/06/2019 03:50 PM
FEE \$0.00 Pgs: 50
DEP RT REC'D FOR SYRACUSE CITY COR
PORATION

After recording, please send to:

Syracuse City
Attn: City Recorder
1979 W. 1900 S.
Syracuse, Utah 84075

12-105 - 0050, 0051, 0068

**DEVELOPMENT AGREEMENT FOR EDGEWATER PARK
(SYRACUSE CITY, DAVIS COUNTY, UTAH)**

This Development Agreement (this "Agreement") is made and entered into as of this 8TH day of NOVEMBER 2019, by and between **Monterey Properties, LLC**, a Utah limited liability company (the "Developer"), and **Syracuse City**, a municipality and political subdivision of the State of Utah (the "City"). City and Developer are jointly referred to as the "Parties" and each individually as a "Party."

RECITALS:

A. The Developer owns approximately 12.579 acres of property located at approximately 2950 South Bluff Road in Syracuse, Davis County, Utah, as more particularly described in **Exhibit A**, which is attached hereto and by this reference made a part hereof (the "Property"). In connection with the subdivision plat approval of the Property, certain portions of the Property will be dedicated and conveyed to the City (the trail corridor running parallel with Bluff Road and the land under Bluff Road), which will reduce the developable acreage of the Property to approximately 11.13 acres.

B. The Property is subject to the Planning and Land Use Ordinances of Syracuse City. The Property is zoned Planned Residential Development (PRD) Zone (the "PRD Zone").

C. The Developer desires to develop a planned subdivision of fifty-one (51) single-family detached residential lots with certain common amenities (the "Project"), resulting in an average density of 4.5 residential units per developable acre.

D. The purpose of the PRD Zone under the City Code is "to allow diversification in the relationship of residential uses to its sites and permit directed flexibility of site design. Further, its intent is to encourage a more efficient use of the land and the reservation of a greater proportion of common space for recreational and visual use than other residential zones may provide and to encourage a variety of dwelling units that allow imaginative concepts of neighborhood and housing options and provide variety in the physical development pattern of the City."

E. Developer and City acknowledge that development in the PRD Zone requires a development plan and a development agreement specific to each area zoned as a PRD Zone.

F. The City Council of Syracuse City (the "City Council"), acting pursuant to its authority under Utah Code § 10-9a-102(2) *et seq.*, as amended, and the Syracuse City Code (the "City Code"), and in furtherance of its land use policies, goals, objectives, ordinances, resolutions, and regulations,

has elected to enter into this Agreement for the purpose of approving and regulating the development of the Project pursuant to the PRD Zone.

G. The Developer and City acknowledge that the development and improvement of the Property pursuant to this Agreement comply with the requirements of the PRD Zone and provide certainty useful to the Developer and to the City in ongoing and future dealings and relations among the Parties pertaining to the development of the Project.

H. The City and Developer intend for this Agreement to provide Developer with vested entitlements for development of the Project. The City has determined that entering into this Agreement furthers the purposes of the Utah Municipal Land Use, Development, and Management Act, the City's General Plan, and the City's land use ordinances (collectively, the "Public Purposes"). As a result of such determination, the City has elected to move forward with the approvals necessary to approve the development of the Project in accordance with the terms and provisions of this Agreement and the Development Plan. This Agreement is a "development agreement" within the meaning of and entered into pursuant to the terms of Utah Code Ann. §10-9a-102(2).

NOW THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Developer and the City hereby agree to the following:

1. **Recitals; Definitions.** The Recitals set forth above are incorporated herein by this reference. Any capitalized term used but not otherwise defined in this Agreement shall have the meaning ascribed to such term in the City Code.

2. **Effective Date.** This Agreement is effective on the date the last party executes this Agreement as indicated by the date stated under that party's signature line (the "Effective Date").

3. **Compliance with Current City Ordinances.** Unless specifically addressed in this Agreement, the Developer agrees that the Project shall be developed in a manner that complies with applicable provisions of the City Code as they exist on the date of execution of this Agreement.

4. **Zoning and Permitted Uses.** Developer shall develop and use the Property in accordance with the requirements of the Development Plan attached hereto as **Exhibit B**, the Preliminary Plat attached hereto as **Exhibit C** and applicable provisions of the City Code that are not inconsistent with this Agreement or the Exhibits hereto. The Project is a 51-lot single family planned residential development. The Project may be developed and improved in two phases.

5. **Minimum Lot Standard.** All lots designed for this Project meet or exceed the standards set forth in the City Code.

5.1. **Density.** The lots in the Project represent a net density of approximately 4.5 units per developable acre which is less than the maximum permitted 6 units/acre standards set forth in the City Code and PRD Zone.

5.2. **Common Space.** The Project contains in excess of 23% of common spaces which are generally contiguous and meet all other applicable standards of the City Code and PRD Zone. The common spaces are shown on the Preliminary Plat attached hereto as **Exhibit C** and consist of Common Space Type A ("Common Space A") which is an area of undisturbed marginal wetlands and an upland area designated Common Space Type B ("Common Space B"). Common Space B will be landscaped to include trees, shrubs, turf and flowers and will be owned and maintained by an active home-owners association (the "HOA") It will also include the on-site stormwater detention basin shown on the Preliminary Plat attached hereto as **Exhibit C**. Common Space B will include a walking/biking trail connecting to the Syracuse-Emigrant Trail System and will be open to the public as shown on the Preliminary Plat. Common Space B will include a picnic pavilion and one (1) pickleball court (the "Common Amenities") and will be private to the residents and guests of the Project. Common Space A, Common Space B and the Common Amenities will be maintained by the HOA. A second (2nd) pickleball court will be constructed in Common Space B if and when said requirement arises pursuant to Section 8 below.

5.3. **Common Space Development & Escrow Funds.** The Developer and/or a subsequent Owner of the Project shall construct the Common Spaces and Common Amenities. It is anticipated that the Common Amenities will be constructed in Common Space B in Phase 2 of the development of the Project (assuming the Project is developed in two phases) and the costs of construction of the Common Amenities and landscaping will be divided into a per-lot share and the funds generated by the development of Phase 1 of the Project will be set aside into escrow to be released as the Common Amenities are constructed. These funds will be held in reserve until the Common Amenities are constructed. The preliminary budget for construction of the Common Amenities and the preliminary budget of the HOA are attached hereto as **Exhibit D**.

5.4. **Layout; Circulation and Connectivity.** The layout of the Project as shown in the Preliminary Plat attached hereto as **Exhibit C** is hereby approved by the City. All internal roads within the Project will be public roadways, which shall be constructed in accordance with applicable City Codes and regulations and such roadways will be dedicated to and maintained by the City.

5.5. **Lot Dimensions (including width, front, side and rear yards).** All lots (and lot dimensions) in the Project will be developed consistent with the Development Plan, the Preliminary Plat and the City Code.

5.6. **Building Height.** Homes built within the Project will be limited to a maximum of two stories and no more than 30 feet in height.

5.7. **Architecture.** All homes and buildings within the Project will meet the architectural standards of the City Code in the PRD Zone and shall be detached, single family structures. The architectural theme and elevations are attached to this Agreement as **Exhibit F** and are incorporated into this Agreement by reference, as the same may be reasonably modified by the home builder with the City's consent, which consent shall not be unreasonably withheld. The home elevations and drawings in Exhibit F are attached as concepts and

illustrative of themes only and may not comply with all City building requirements. The Parties acknowledge and agree that, notwithstanding the elevations' inclusion in this Agreement, before any homes are built in the Project, the home plans, elevations and designs must be approved by the City and must comply with all applicable city code requirements.

6. **Development Plan and Development Agreement.** The Development Plan and this Agreement are in conformance with section 10.75.050 of the City Code.

6.1. **Minimum Acres.** The Project is approximately 12.579 total acres and each Phase of the Project exceeds the minimum 4.5 acres requirement of the City Code. After dedicating the trail corridor along Bluff Road to the City or the United States of America Bureau of Reclamation/Layton Canal Co., as well as the Bluff Road land itself, the net developable acreage of the Project is approximately 11.13 acres.

6.2. **Landscaping.** Common Space A will remain as undisturbed wetland with natural vegetation. Common Space B and the Common Amenities will be landscaped in accordance with landscaping plans to be approved by the City, which approval will not be unreasonably withheld.

6.3. **Wetlands.** The Project shall be developed in compliance with the wetlands delineation and mitigation plans approved by the US Army Corps of Engineers. The City will not take ownership or maintenance of any wetlands, which maintenance shall become the responsibility of the Homeowner's Association upon its establishment.

7. **Homeowner Association.** Prior to the sale of any lots, Developer shall create the HOA which shall be responsible for maintenance of all Common Space and Common Amenities located within the Project. The HOA shall be formed at the time of recording of the final plat and shall be governed by enforceable and duly recorded Declaration Covenants, Conditions and Restrictions (the "CC&R's"), the form of which must be approved in advance by the City, which approval will not be unreasonably withheld. The use and restrictions of Common Spaces and the Common Amenities within the Project are private and will be governed by the CC&R's and such other rules, regulations and guidelines adopted by the HOA. All maintenance of the Common Space and Common Amenities shall be performed and managed by the HOA.

8. **Access to Project; Conditions for Second Pickleball Court.** Access to the Project will be from Bluff Road. Developer shall obtain, prior to the final plat being recorded, any and all permits and/or easements that may be required from the U.S. Bureau of Reclamation for access and connection to Bluff Road. A temporary secondary emergency access connection to Bluff Road is planned to be constructed where depicted in the Preliminary Plat attached as **Exhibit C**. Before a certificate of occupancy will be issued for the 31st home constructed in the Project, either (i) said temporary secondary emergency access road must be constructed, or (ii) an alternative secondary access road is established (such as, for example, through the adjacent project that is planned for future development). If an alternative secondary access road is constructed at or prior to the date on which a certificate of occupancy is issued for the 31st home constructed in this Project, then the temporary secondary emergency access road will not be constructed. In such event, in lieu of constructing the

temporary secondary emergency access road, a second pickleball court must be constructed and installed (with 2 additional parking stalls for the same) near the first pickleball court in Common Space B. If, however, the planned temporary secondary emergency access connection to Bluff Road is constructed in the Project, the second pickleball court will not be required. Furthermore, if the temporary emergency access connection to Bluff Road is constructed, and no alternative permanent secondary access connection for the Project is constructed within two (2) years following the issuance of a certificate of occupancy for the 31st home built in the Project, then the temporary access road shall be paved and converted to a permanent secondary access road for the Project.

9. **Onsite Improvement.**

- 9.1. At the time of the final plat recordation for the Project, the Developer (and/or any subsequent owner of the Project) shall be responsible for the installation and dedication to the City of all onsite water, sewer, and storm drainage improvements sufficient for the development of the Project in accordance with the City Code. The water, sewer, stormwater detention basin, and storm drain connections shall be made where and as approved by the City, which approval will not be unreasonably withheld.
- 9.2. The existing trail running parallel with Bluff Road shall be preserved, as shown on the Development Plan. The trail shall be dedicated to the City as a separate parcel and any damage to the trail due to construction activity shall be repaired by the Developer. At points of intersection between the trail and new right-of-way, the trail's alteration or re-alignment shall be the responsibility of the Developer, and the trail will be required to meet Americans with Disabilities Act slopes. At points of intersection, the trail shall also be marked with paint and signage as it crosses the road. During construction, the trail shall remain open for traffic and use of the public to the maximum extent possible.
- 9.3. Basements shall not be constructed without the installation of land drains servicing those homes.
- 9.4. No more than 15 lots may be serviced off a single culinary or secondary water feed. Culinary and secondary waterlines must be looped to provide two separate points of connection.
- 9.5. Bluff Road improvements. The Developer shall be responsible for the installation of one-half road-width improvements of Bluff Road where the Property fronts Bluff Road, using a sixty-six foot right of way cross-section found in Syracuse City's standard specifications and requirements. The finished pavement width shall be fifty (50) feet from top back of curb to top back of curb. Due to the trail running parallel to the road, however, the Developer shall not be required to include the sidewalk or park strip portions of the cross-section; the improvements need not extend beyond the curb. The expansion of Bluff Road on the Developer's frontage shall thereafter have sufficient width to accommodate safe turning movements to and from the Development. Developer shall dedicate to the city all Bluff Road right of way land and improvements located within the Property at the time of final plat recordation.

9.6. An on-site storm water detention basin will be constructed by Developer as shown in the Preliminary Plat attached hereto as **Exhibit C**. The offsite drainage pipe and related infrastructure will be installed as shown on **Exhibit E** attached hereto. Prior to final recordation of the plat for the Project, Developer shall obtain an acceptable arrangement with all necessary parties concerning those easements necessary for the construction and connection to the storm water drainage pipe(s) and a cost-sharing agreement regarding the subject improvements. The on-site storm water detention basin shall be owned by the Homeowner's Association, which shall have responsibility for landscaping and maintenance of the basin.

10. **Offsite Improvement – Storm and Sewer Drainage and Storm Water Detention Basin.**

- 10.1. A perpetual 20' wide utility easement shall be dedicated to the City for all utilities located outside of public right-of-way.
- 10.2. The storm drain and sewer drain improvements will be constructed in accordance with City requirements and will be dedicated to the City as public improvements in accordance with the applicable provisions of the City Code.
- 10.3. All utilities crossing the future West Davis Corridor shall be installed in a casing and shall be properly designed to prevent settling during construction of the West Davis Corridor.

11. **General Release of Claims.** In connection with the development of the Project, Developer has spent significant time, resources and expense working with the US Army Corps of Engineers to obtain an acceptable wetlands delineation and mitigation plan for the Project. The City acknowledges that the developer has asserted that the wetlands problems were caused, in part, by the City's stormwater discharge onto the Property for many years. The Developer acknowledges that the City has asserted that stormwater historically drained to the site for many years without objection from previous property owners, and that remediation of the discharge was undertaken when objection was raised in Spring of 2019. The Developer and City wish to avoid costly and lengthy litigation concerning the City's discharge of stormwater onto the Property and have agreed that upon (i) the full execution and approval of this Agreement, and (ii) recordation of the final plat(s) of the Project, Developer will execute a General Release of Claims in favor of the City full and forever releasing all claims and causes of action against the City relating to or arising out of the asserted unlawful trespass of stormwater onto the Property, which General Release of Claims will be delivered to the City after the final plat of the Project has been approved and recorded.

12. **Water Share Contribution.** In connection with the development of the Project, upon (i) the full execution and approval of this Agreement, and (ii) recordation of the final plat(s) of the Project, Developer will transfer to the City 33 ½ water shares of Class "A" stock in the Layton Canal Company in accordance with Syracuse Municipal Code § 8.10.090.

13. **Vested Rights.** To the maximum extent permissible under the laws of Utah and at equity, the City and Developer intend that this Agreement be construed to grant Developer all vested rights to develop the Project in fulfillment of the terms and provisions of this Agreement and the laws and ordinances that apply to the Property as of the effective date of this Agreement. The Parties intend that the rights granted to Developer under this Agreement are contractual and are in addition

to those rights that exist under statute, common law and at equity. If the City adopts different ordinances in the future, Developer shall have the right, but not the obligation, to elect to submit a development application under such future ordinances, in which event the development application will be governed by such future ordinance(s). By electing to submit a development application under a new future ordinance, however, Developer will not be deemed to have waived its right to submit or process other development applications under the City Code that apply as of the effective date of this Agreement.

14. **System Improvements; Unlawful Exactions.** Developer reserves the right to seek reimbursement for the reasonable costs of "system improvements" (as defined under Utah law) installed and paid for by Developer under the direction of the City that are not otherwise addressed in this Agreement. Developer also reserves the right to contest any "unlawful exactions" that the City may attempt to impose on the Project, as the term "unlawful exactions" is defined under Utah law.

15. **Assignment.** Neither this Development Agreement nor any of the provisions hereof can be assigned to any other party, individual or entity without assigning the rights as well as the responsibilities under this Development Agreement and without the prior written consent of City, which review is intended to assure the financial capability of any assignee. Such consent shall not be unreasonably withheld.

16. **Integration.** This Development Agreement contains the entire Agreement with respect to the subject matter hereof and integrates all prior conversations, discussions or understandings of whatever kind or nature and may only be modified by a subsequent writing duly executed by the parties hereto.

17. **Severability.** If any part or provision of the Agreement shall be adjudged unconstitutional, invalid or unenforceable by a court of competent jurisdiction, then such a decision shall not affect any other part or provision of this Agreement except that specific part or provision determined to be unconstitutional, invalid or unenforceable. If any condition, covenant or other provision of this Agreement shall be deemed invalid due to its scope or breadth, such provision shall be deemed valid to the extent of the scope or breadth permitted by law.

18. **Notices.**

Any notices, requests and demands required or desired to be given hereunder shall be in writing and shall be served personally upon the party for whom intended, or if mailed, be by certified mail, return receipt requested, postage prepaid, to such party at its address shown below.

To Developer:

Monterey Properties, LLC
Attn: Alan Prince
6915 South 900 East
Midvale, UT 84047

With a Copy to:

Paxton Guymon, Esq.
York Howell & Guymon
10610 South Jordan Gateway #200
South Jordan, Utah 84095
Email: Paxton@yorkhowell.com

To the City:

Syracuse City Attorney
1979 West 1900 South
Syracuse, Utah 84075

With a Copy to:

Syracuse City Manager
1979 West 1900 South
Syracuse, UT 84075

Any party may change its address or notice by giving written notice to the other party in accordance with the provisions of this section.

19. **Amendment.**

The Parties or their successors in interest may, by written agreement, choose to amend this Agreement at any time. Any amendment of this Agreement shall require the prior approval of the City Council, and must be recorded in the Davis County Recorder's Office to be effective.

20. **General Terms and Conditions.**

20.1. **Termination of Agreement.** The term of this Agreement shall commence on the Effective Date of this Agreement and shall continue in full force and effect until the earlier of the following events: (i) certificates of occupancy have been issued for all dwelling units to be constructed in the Project, or (ii) ten (10) years from the date on which this Agreement is recorded with the Davis County Recorder's Office; provided, however, that if Developer is not in breach of any material provisions of this Agreement when said 10-year period expires, and any portions of the Project have not been completely built-out, then this Agreement shall automatically be extended for an additional period of five (5) years. When public improvements have been constructed and accepted by County (after expiration of applicable warranty periods), the Developer and/or the subsequent Owner/Developer shall be released from and have no continuing obligations with respect to such improvements.

20.2. **Multiple Owners; Successors and Assigns.**

- a. **Multiple Owners.** Different portions of the Property may be owned by different persons or entities now or in the future ("Owners"). At the time

each phase is developed, the Owner(s) of each such phase shall be responsible for satisfying all requirements applicable to such phase (including, without limitation, the requirements of this Agreement and the City Code), and the owner(s) of other portions of the Project shall not be held responsible for satisfying such requirements.

- b. Successors and Assigns. This Agreement shall be binding on the successors and assigns of Developer and future owners with respect to the portion of the Project they own. If any portion of the Property is transferred ("Transfer") to a third party ("Transferee"), the transferor and the Transferee shall be jointly and severally liable for the performance of each of the obligations contained in this Agreement unless prior to such Transfer, the transferor provides to City a letter from Transferee acknowledging the existence of this Agreement and agreeing to be bound thereby. Said letter shall be signed by the Transferee, notarized, and delivered to City prior to the Transfer. Upon execution of the letter described above, the Transferee shall be substituted as Developer or Owner under this Agreement and the transferor shall be released from any further obligations under this Agreement as to the transferred property. In all events, this Agreement shall run with and benefit the Property.

20.3. Default & Remedies. If either the Developer or the City fails to perform their respective obligations under the terms of this Agreement, the party believing that a default has occurred shall provide written notice to the other party specifically identifying the claimed event of default and the applicable provisions of this Agreement that is claimed to be in default. The party shall immediately proceed to cure or remedy such default or breach within sixty (60) calendar days after receipt of such notice. The parties shall meet and confer in an attempt to resolve the default but, in the event they are not able to do so, the parties shall have the rights and remedies available at law and in equity, including injunctive relief, specific performance and monetary damages. Any delay by a Party in instituting or prosecuting any such actions or proceedings or otherwise asserting its rights under this Article shall not operate as a waiver of such rights.

20.4. Non-liability of City Officials or Employees. No officer, representative, agent, or employee of the City shall be personally liable to the Developer or any successor-in-interest or assignee of the Developer, in the event of any default or breach by the City or for any amount which may become due, the Developer, or its successors or assignee, for any obligation arising out of the terms of this Agreement.

20.5. Referendum or Challenge. Both Parties understand that any legislative action by the City Council is subject to referral or challenge by individuals or groups of citizens, including approval of development agreements. The Developer agrees that the City shall not be found to be in breach of this Agreement if such a referendum or challenge is successful. In such a case, this Agreement is void at inception.

20.6. Ethical Standards. The Developer represents that it has not: (a) provided an illegal gift or payoff to any officer or employee of the City, or former officer or employee of the City, or to any relative or business entity of an officer or employee of the City; (b) retained any person to solicit or secure this contract upon an agreement or understanding for a commission, percentage, brokerage or contingent fee, other than bona fide employees of bona fide commercial agencies established for the purpose of securing business; (c) breached any of the ethical standards set forth in Utah Code Ann. § 10-3-1301 et seq. and 67-16-3 et seq.; or (d) knowingly influenced, and hereby promises that it will not knowingly influence, any officer or employee of the City or former officer or employee of the City to breach any of the ethical standards set forth in State statute or City ordinances.

20.7. No Officer or Employee Interest. It is agreed that no officer or employee of the City has or shall have any pecuniary interest, direct or indirect, in this Agreement or the proceeds resulting from the performance of this Agreement. No officer, manager, employee or member of the Developer, or any member of any such persons' families shall serve on any City board or committee or hold any such position which either by rule, practice, or action nominates, recommends, or supervises the Developer's operations, or authorizes funding or payments to the Developer. This section does not apply to elected offices.

20.8. Governing Law & Venue. This Agreement and the performance hereunder shall be governed by the laws of the State of Utah. Any action taken to enforce the provisions of this Agreement shall have exclusive venue in the Second District Court of the State of Utah, Farmington Division.

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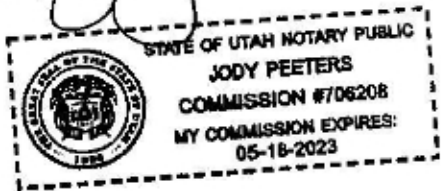
IN WITNESS WHEREOF, the parties hereto have executed this Agreement by and through their respective duly authorized representatives as of the day and year first written above.

MONTEREY PROPERTIES LLC
By: [Signature]
Its: Boj Wang
Date: 10-18-2019


STATE OF UTAH)
 : ss.
COUNTY OF DAVIS)

On this 18th day of October, October, 2019, personally appeared before me Alan Prince, the authorized Project Manager, whose identity is personally known to me, or proven on the basis of satisfactory evidence, to be the person who executed the Development Agreement on behalf of said company and who duly acknowledged to me that he/she executed the same for the purposes therein stated.

[Signature]
Notary Public

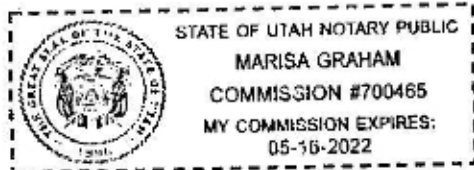


SYRACUSE CITY

By 
Mike Gailey, Mayor

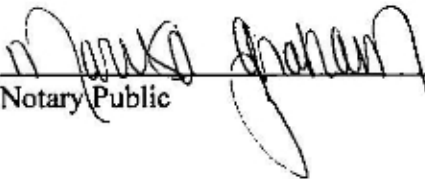
Attest:


Cassie Z. Brown, MMC
City Recorder



STATE OF UTAH
: ss.
COUNTY OF DAVIS)

On this 8 day of November, 2019, personally appeared before me Mayor Mike Gailey, the authorized signer of Syracuse City, whose identity is personally known to me, to be the person who executed the Development Agreement on behalf of Syracuse City, and who duly acknowledged to me that he executed the same for the purposes therein stated.


Notary Public

Approved as to Form:


Paul H. Roberts
City Attorney

EXHIBIT A

Description of the Property/Project

A TRACT OF LAND BEING SITUATE IN THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, HAVING A BASIS OF BEARINGS OF NORTH 89°44'21" WEST BETWEEN THE CENTER AND THE WEST QUARTER OF SAID SECTION, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

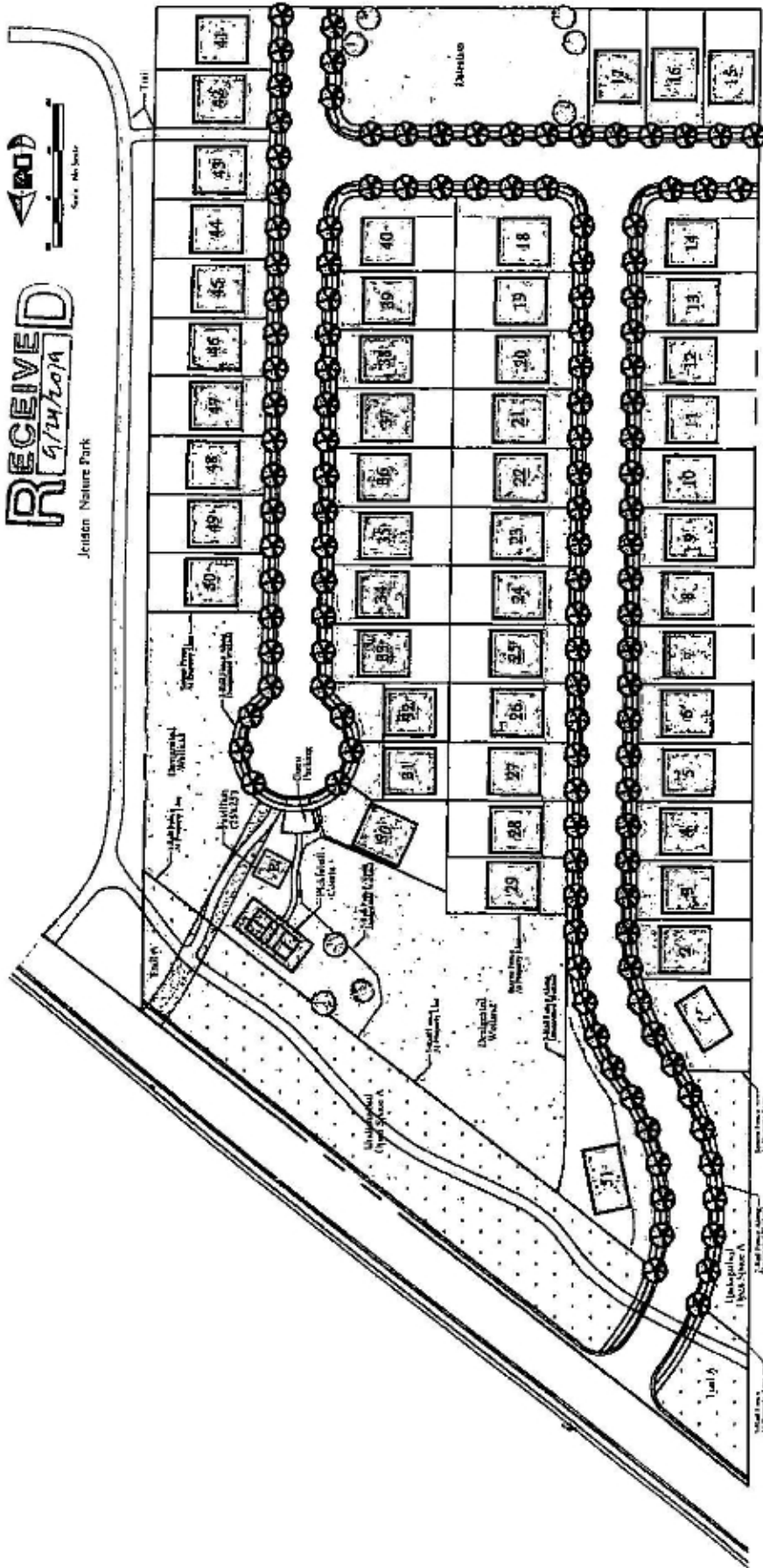
BEGINNING AT A POINT ON THE QUARTER SECTION LINE, SAID POINT BEING NORTH 89°44'21" WEST ALONG THE QUARTER SECTION LINE A DISTANCE OF 222.70 FEET FROM THE CENTER OF SECTION 22, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89°44'21" WEST ALONG THE QUARTER SECTION LINE A DISTANCE OF 520.50 FEET; THENCE NORTH 00°23'35" EAST 1247.51 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF BLUFF ROAD; THENCE SOUTH 52°36'34" EAST ALONG SAID LINE A DISTANCE OF 654.64 FEET; THENCE SOUTH 00°33'01" WEST 852.35 FEET TO THE POINT OF BEGINNING.

CONTAINS 12.579 ACRES, MORE OR LESS
51 LOTS

EXHIBIT B

Development Plan

RECEIVED
4/14/2019
Jordan Nature Park



Plant List (TREES)

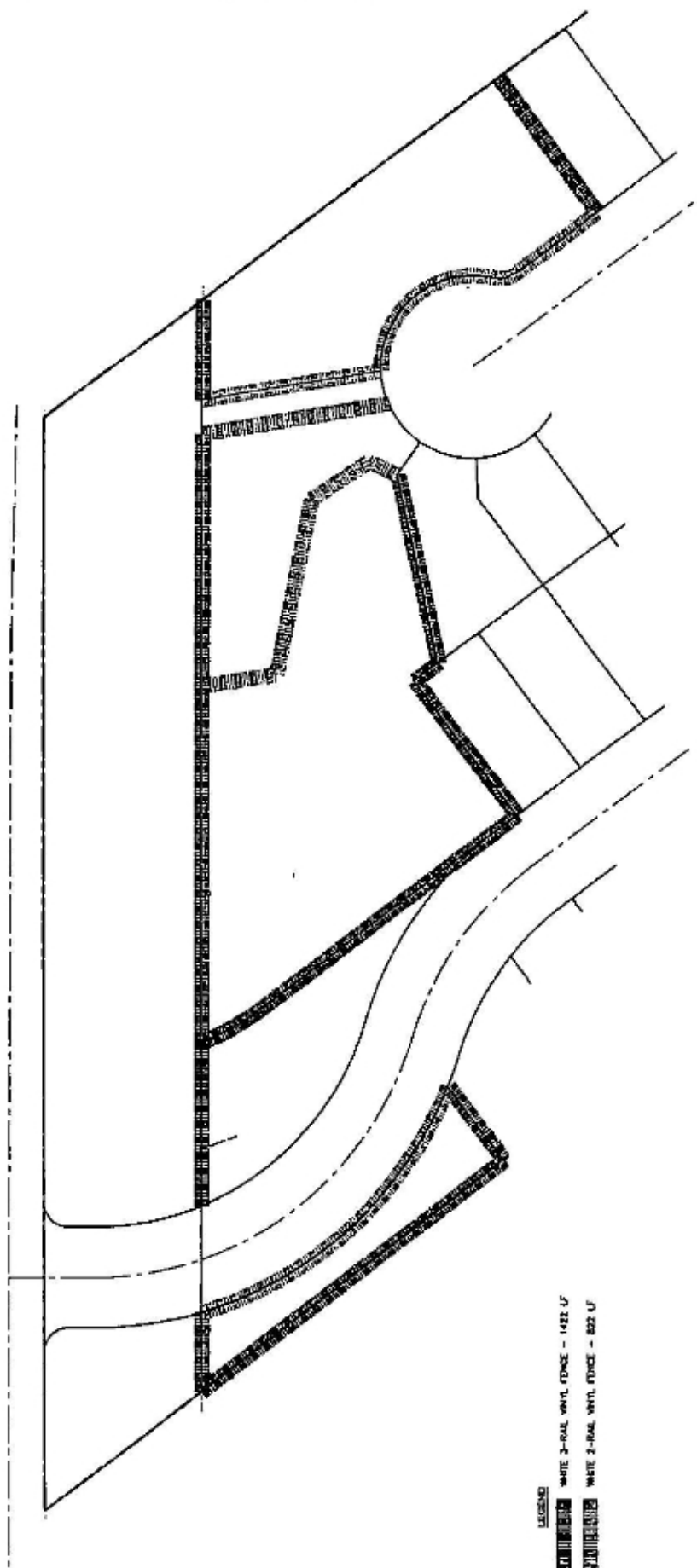
Symbol	Botanical Name	Common Name
⊗	<i>Celtis occidentalis</i>	Common Hackberry
⊗	<i>Tilia tomentosa</i> 'Sterling Silver'	Sterling Silver Linden
⊗	<i>Zelcova serrata</i> 'Village Green'	Village Green Zelcova
⊗	<i>Picea pungens</i>	Colorado Spruce
⊗	<i>Pinus flexilis</i>	Limber Pine
⊗	<i>Pinus heldreichii</i>	Bosnian Pine
⊗	<i>Crataegus crus-galli</i>	Cockspur Hawthorn
⊗	<i>Malus x</i> 'Spring Snow'	Spring Snow Crabapple
⊗	<i>Syringa reticulata</i>	Japanese Flowering Lilac

EDGEWATER PARK

PRD Zone Bluff Drive - Syracuse, Utah

RECEIVED
9/24/2009

**EDGEWATER PARK SUBDIVISION
REVISED FENCING EXHIBIT
SHEET 1**

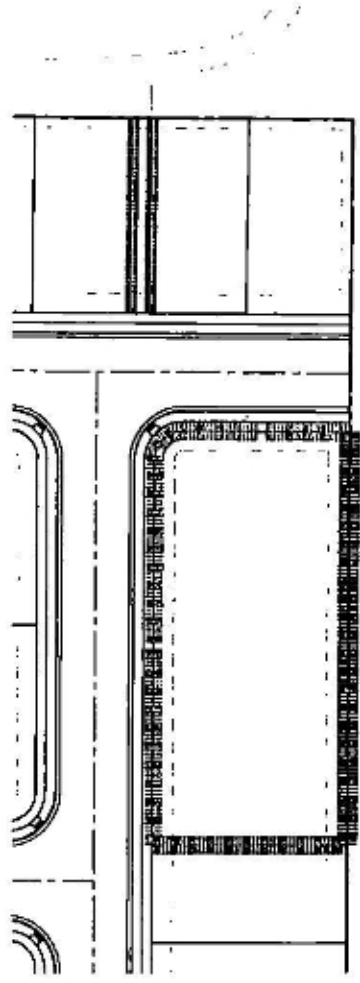


LEGEND
[Symbol] WHITE 3-RAIL VERT. FENCE - 1482 U
[Symbol] WHITE 2-RAIL VERT. FENCE - 822 U

WILDING
ENGINEERING
14775 SHILOH AVENUE, SUITE 100
MARIETTA, GA 30067
PHONE: 770.429.8800
WWW.WILDINGENGINEERING.COM

RECEIVED
9/25/2019

**EDGEWATER PARK SUBDIVISION
REVISED FENCING EXHIBIT
SHEET 2**

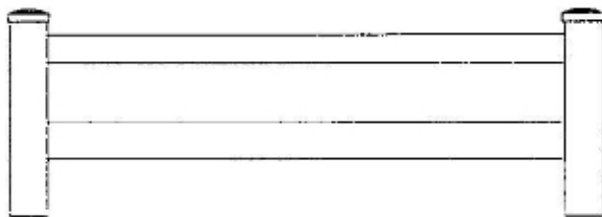
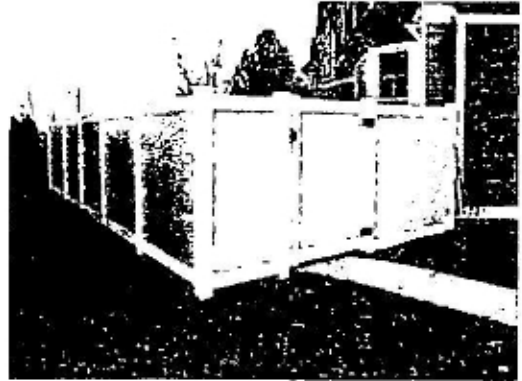
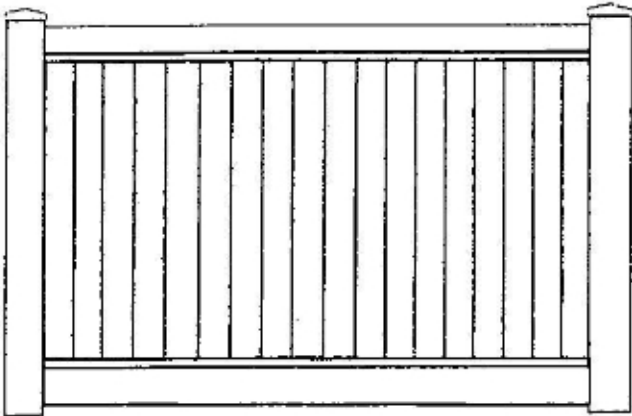


LEGEND
[Symbol] WHITE 3-RAIL VINYL FENCE - 312 LF
[Symbol] WHITE 2-RAIL VINYL FENCE - 208 LF


WILDPING
ENGINEERING
11401 DUNCAN ROAD, SUITE 100
MILWAUKEE, WI 53224
TEL: 414.461.1111
WWW.WILDPINGENGINEERING.COM

EDGE WATER PARK
57 LOT SINGLE FAMILY PLANNED COMMUNITY

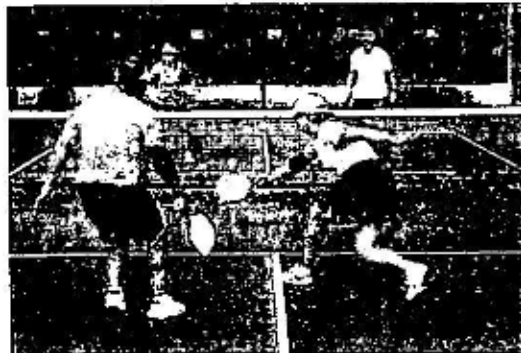
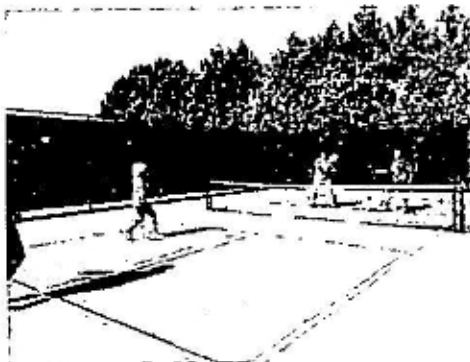
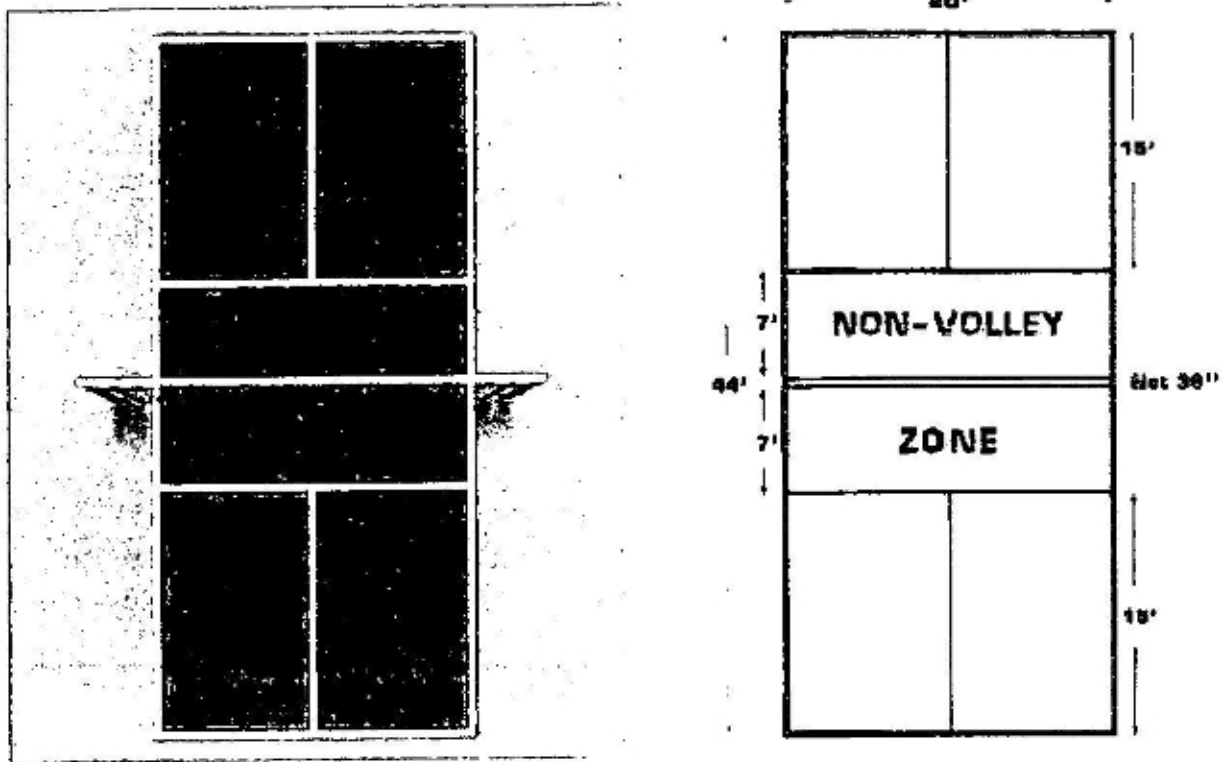
FENCE



Colors, patterns, and elevations may be exchanged or changed by the builder who purchases these lots. If any styles or colors are significantly different than those that have been presented and registered with these documents as part of the approval process, said request-to-change must be approved by Syracuse City.

EDGE WATER PARK
57 LOT SINGLE FAMILY PLANNED COMMUNITY

Pickleball Court



Colors, patterns, and elevations may be exchanged or changed by the builder who purchases these lots. If any styles or colors are significantly different than those that have been presented and registered with these documents as part of the approval process, said request-for-change must be approved by Syracuse City.

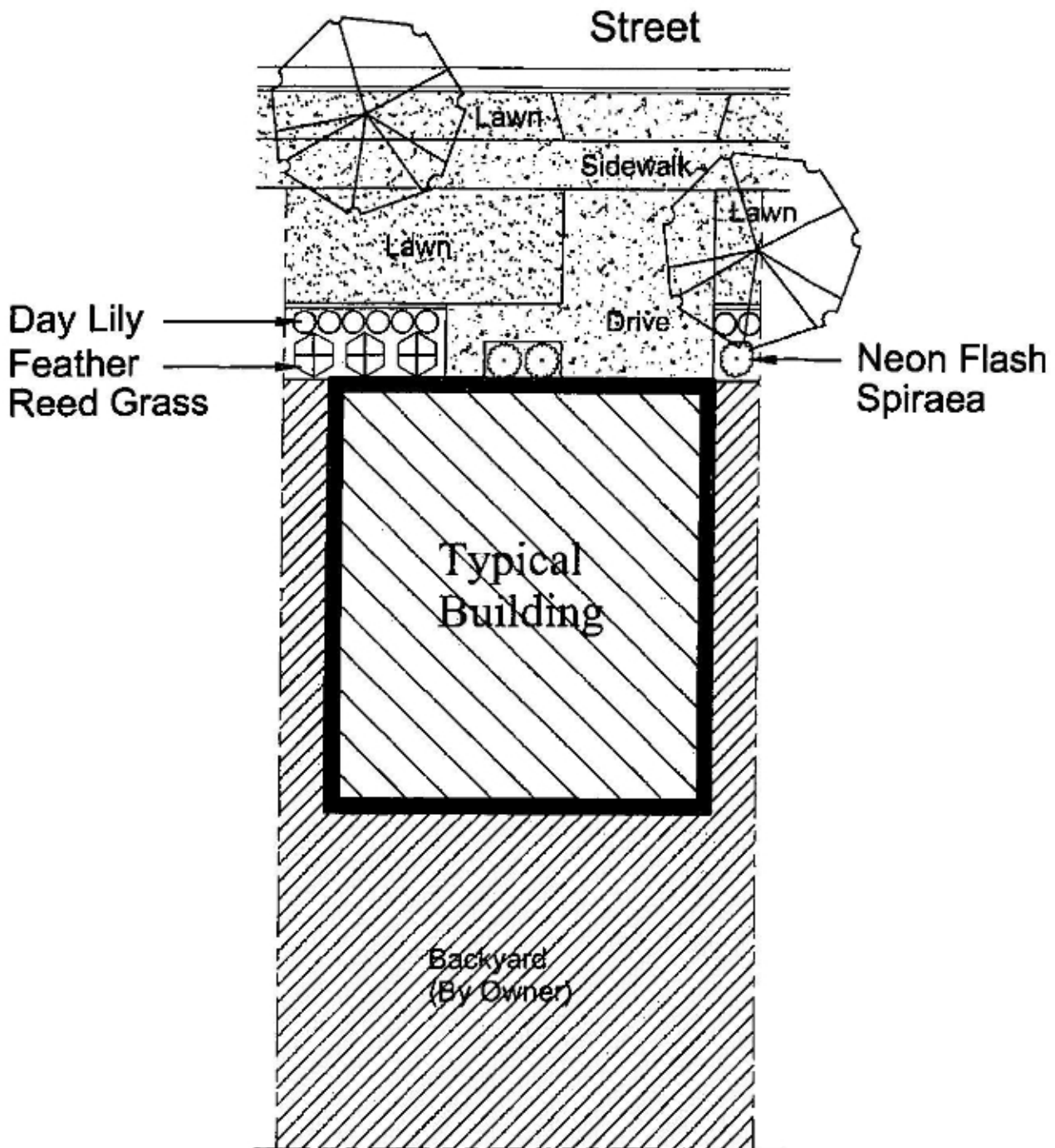


RULES AND RESTRICTIONS

1. Meet Syracuse City height restrictions (no more than 30 feet tall)
2. No home to be more than 2 stories in height
3. All homes are for single family ownership. No multi-family occupancy of any given home
4. All homes to comply with Syracuse City Masonry (brick or stone fascia) requirements".
5. No home with less than a single-car garage. Double garages highly encouraged
6. All homes are required to have Front Yard Landscaping (to include front-yard sod, two 2"-caliper trees, and a minimum of 5 one-gallon shrubs installed at time of closing, or escrowed with City for completion of same once weather permits).
7. No homes with less than 1000' area of square space. (Finished Living Area)

Colors, patterns, and elevations may be exchanged or changed by the builder who purchases these lots. If any styles or colors are significantly different than those that have been presented and registered with these documents as part of the approval process, said request-for-change must be approved by Syracuse City.

IMPORTANT NOTE: *While every effort was made to color match the samples, the colors represented in the color collections and design are approximations only. The colors displayed must be made from actual product applied by the applicator under actual job conditions to ensure color.*

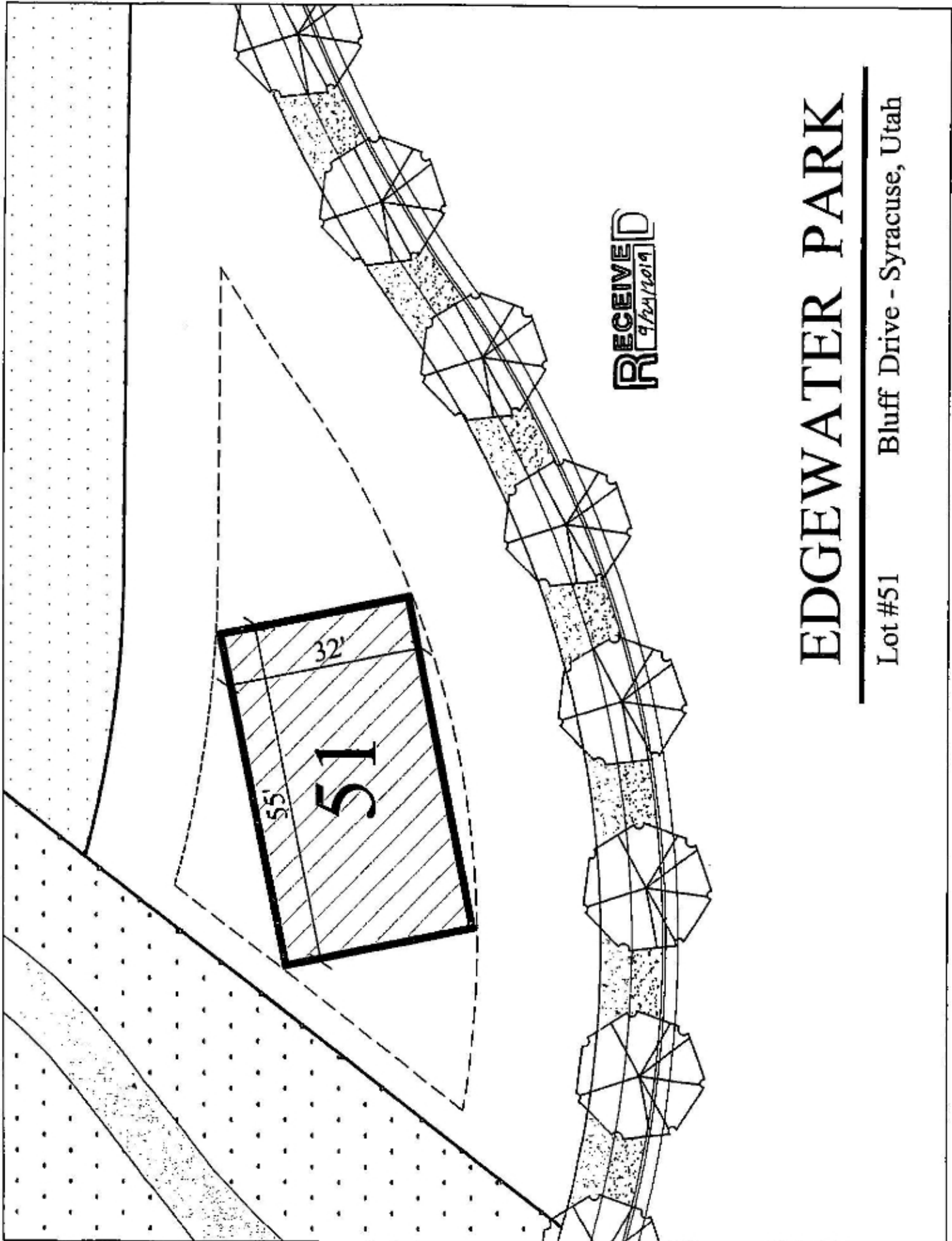


Typical Building
Planting / Layout

EDGEWATER PARK

PRD Zone

Bluff Drive - Syracuse, Utah

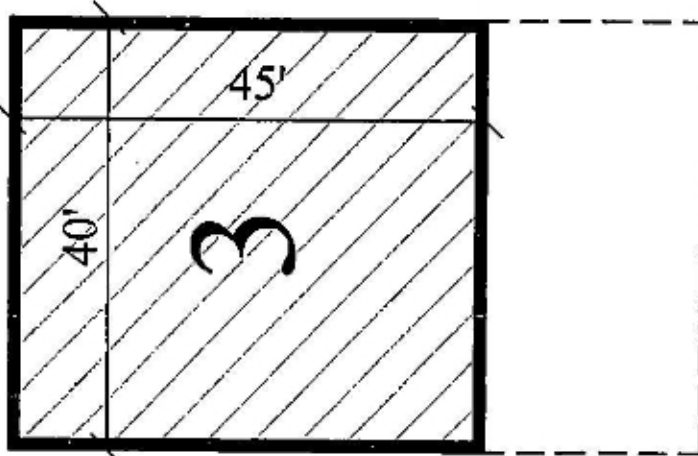
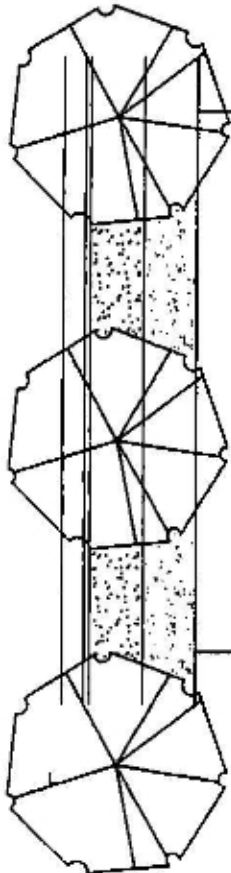


RECEIVED
9/24/2019

EDGEWATER PARK

Lot #51 Bluff Drive - Syracuse, Utah

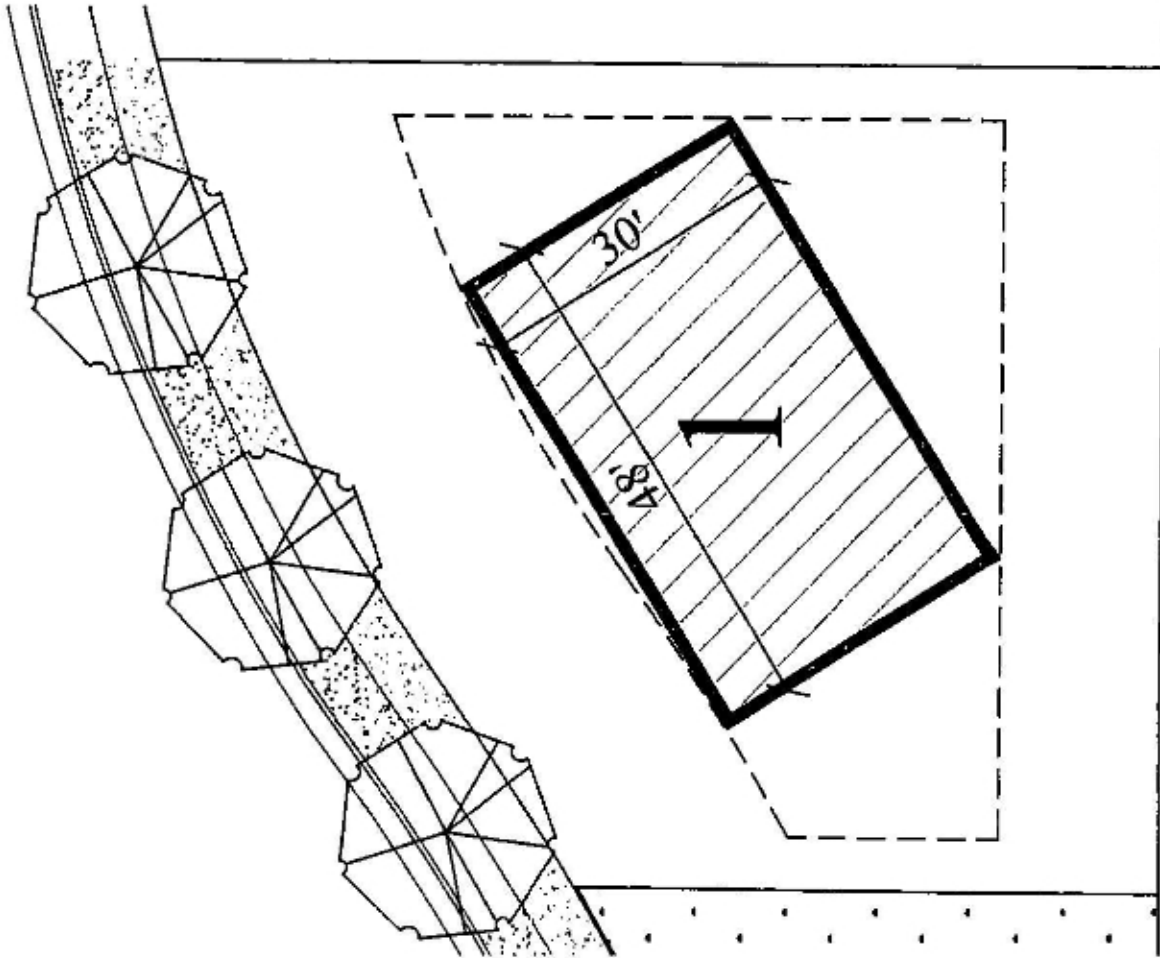
RECEIVED
9/24/2014



EDGEWATER PARK

Lot #3 Bluff Drive - Syracuse, Utah

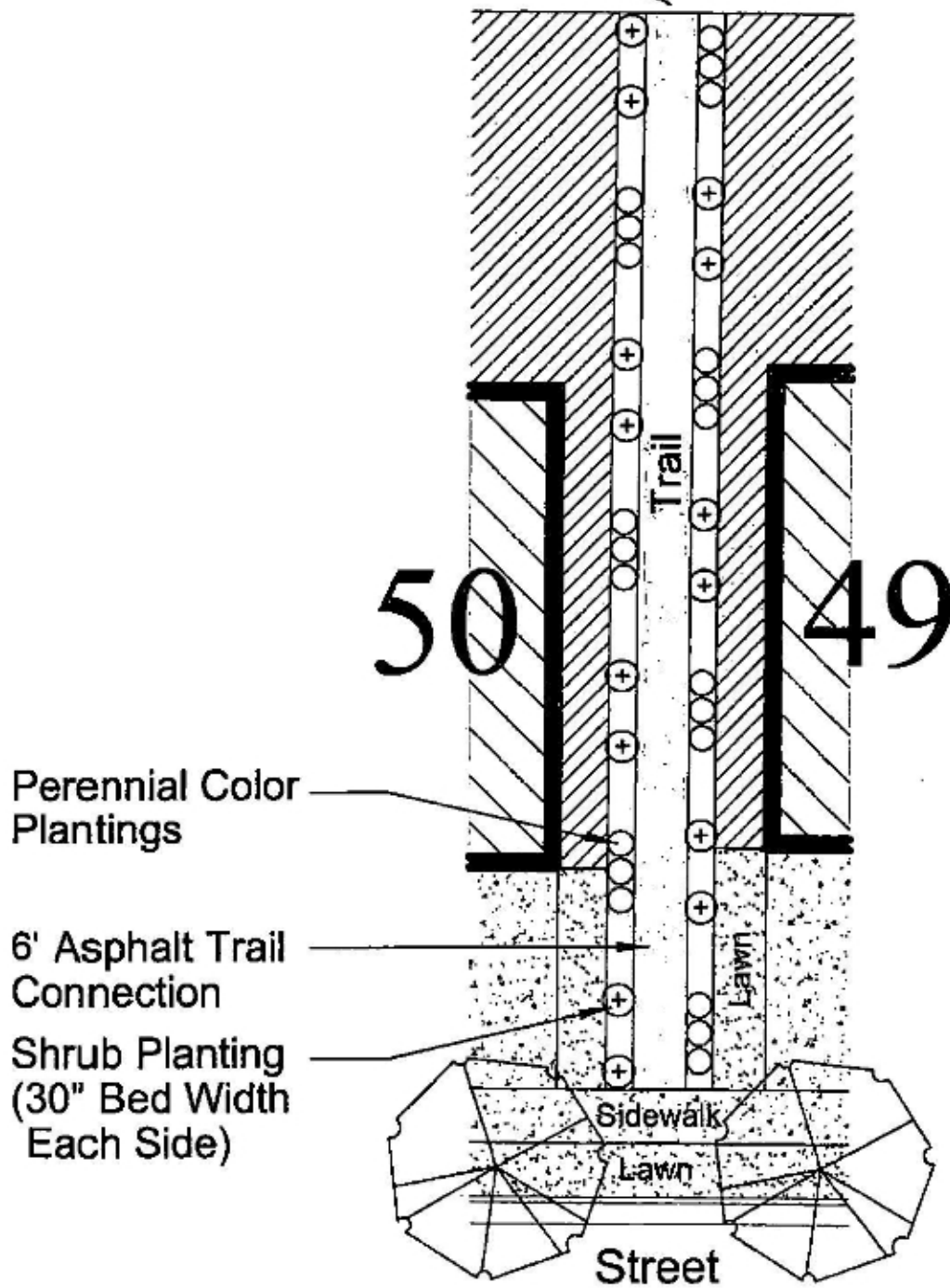
RECEIVED
7/24/2010



EDGEWATER PARK

Lot #1 Bluff Drive - Syracuse, Utah

To Jensen
Nature Park



Trail Connection
To Jensen Park

EDGEWATER PARK

PRD Zone

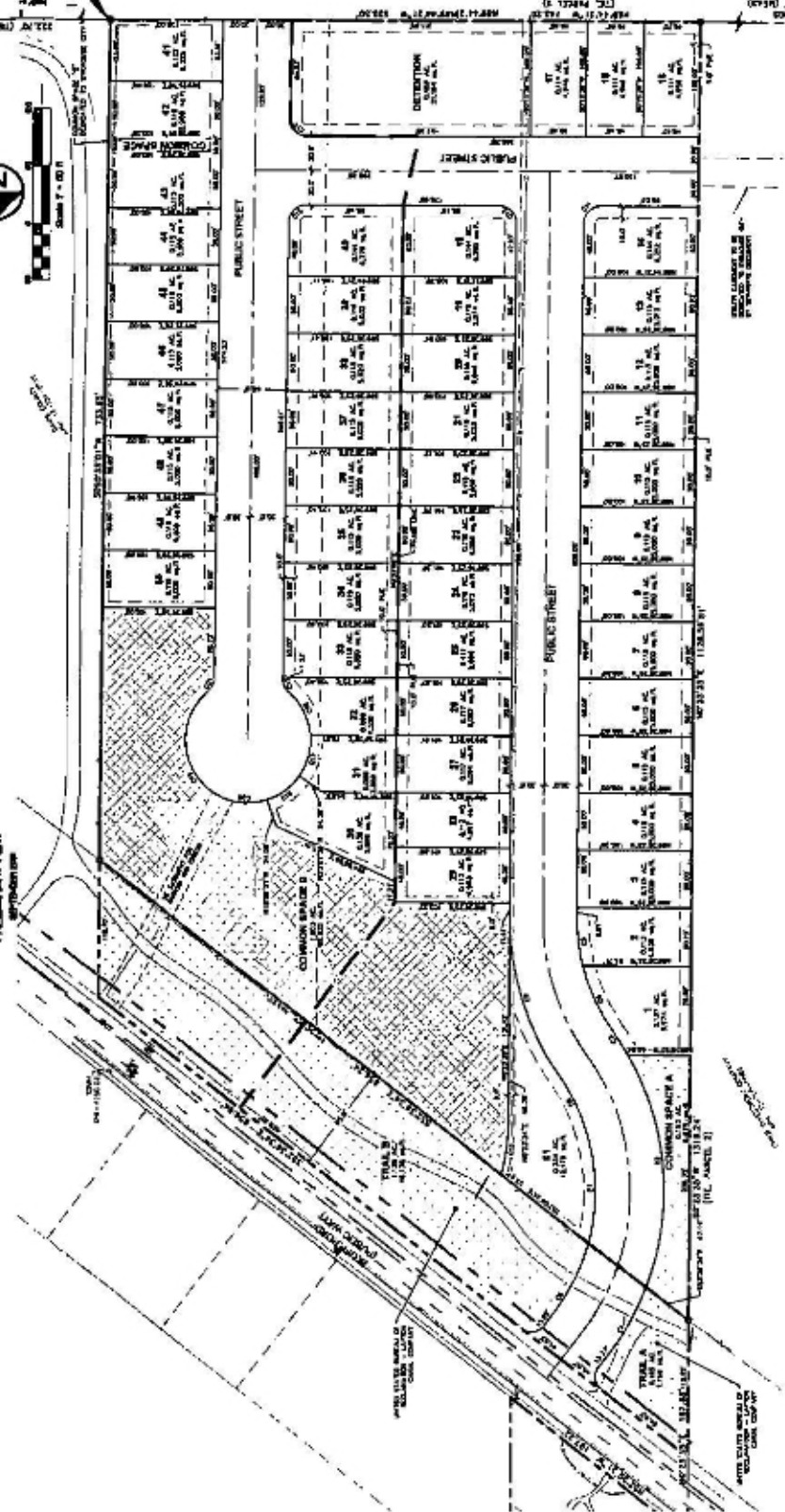
Bluff Drive - Syracuse, Utah

EXHIBIT C

Preliminary Plat

EDGEWATER PARK SUBDIVISION
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 22,
 TOWNSHIP 4 NORTH, RANGE 3 WEST,
 SALT LAKE BASIN AND MERIDIAN,
 STRAUSS CITY, DAVIS COUNTY, STATE OF UTAH
 PRELIMINARY PLAN

OWNER: M. STEVE L. ...
 SURVEYOR: ...
 DATE: ...



LEGEND

—	BOUNDARY	—	COMMON SPACE
—	PROPOSED	—	PROPOSED
—	EXISTING	—	EXISTING
—	PROPOSED	—	EXISTING
—	PROPOSED	—	EXISTING
—	PROPOSED	—	EXISTING
—	PROPOSED	—	EXISTING
—	PROPOSED	—	EXISTING
—	PROPOSED	—	EXISTING
—	PROPOSED	—	EXISTING
—	PROPOSED	—	EXISTING

1. THIS PLAN IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN REAL PROPERTY.
 2. THIS PLAN IS NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN REAL PROPERTY.
 3. THIS PLAN IS NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN REAL PROPERTY.
 4. THIS PLAN IS NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN REAL PROPERTY.
 5. THIS PLAN IS NOT TO BE USED FOR CONVEYANCE OF ANY INTEREST IN REAL PROPERTY.



WILDLING
ENGINEERING

1000 S. ...
 ...
 ...

EDGEWATER PARK OVERALL UTILITY PLAN



WILDING
ENGINEERING

12741 Central Expressway, Suite 100
Syracuse, NY 13215
Phone: (315) 435-1111
www.wildingeng.com

- ASSUMPTIONS:**
1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
 2. UTILITIES NOT SHOWN ARE ASSUMED TO BE AS SHOWN ON THE MOST RECENT RECORD DRAWINGS.
 3. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.
 4. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.
 5. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.
 6. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.
 7. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.
 8. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.
 9. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.
 10. ALL UTILITIES ARE ASSUMED TO BE AT THE SAME DEPTH UNLESS OTHERWISE NOTED.

MANHOLE SCHEDULE

MANHOLE NO.	1234 AC
MANHOLE NO.	456 AC
MANHOLE NO.	789 AC
MANHOLE NO.	1011 AC
MANHOLE NO.	1314 AC
MANHOLE NO.	1617 AC
MANHOLE NO.	1920 AC
MANHOLE NO.	2223 AC
MANHOLE NO.	2526 AC
MANHOLE NO.	2829 AC
MANHOLE NO.	3132 AC
MANHOLE NO.	3435 AC
MANHOLE NO.	3738 AC
MANHOLE NO.	4041 AC
MANHOLE NO.	4344 AC
MANHOLE NO.	4647 AC
MANHOLE NO.	4950 AC
MANHOLE NO.	5253 AC
MANHOLE NO.	5556 AC
MANHOLE NO.	5859 AC
MANHOLE NO.	6162 AC
MANHOLE NO.	6465 AC
MANHOLE NO.	6768 AC
MANHOLE NO.	7071 AC
MANHOLE NO.	7374 AC
MANHOLE NO.	7677 AC
MANHOLE NO.	7980 AC
MANHOLE NO.	8283 AC
MANHOLE NO.	8586 AC
MANHOLE NO.	8889 AC
MANHOLE NO.	9192 AC
MANHOLE NO.	9495 AC
MANHOLE NO.	9798 AC
MANHOLE NO.	100101 AC

LEGEND

- 1. PROPOSED MANHOLE
- 2. EXISTING MANHOLE
- 3. PROPOSED STORM SEWER
- 4. EXISTING STORM SEWER
- 5. PROPOSED SANITARY SEWER
- 6. EXISTING SANITARY SEWER
- 7. PROPOSED WATER MAIN
- 8. EXISTING WATER MAIN
- 9. PROPOSED GAS MAIN
- 10. EXISTING GAS MAIN
- 11. PROPOSED FIBER OPTIC
- 12. EXISTING FIBER OPTIC
- 13. PROPOSED ELECTRICAL
- 14. EXISTING ELECTRICAL
- 15. PROPOSED TELEPHONE
- 16. EXISTING TELEPHONE
- 17. PROPOSED CABLE TV
- 18. EXISTING CABLE TV
- 19. PROPOSED RAILROAD
- 20. EXISTING RAILROAD
- 21. PROPOSED HIGHWAY
- 22. EXISTING HIGHWAY
- 23. PROPOSED AIRWAY
- 24. EXISTING AIRWAY
- 25. PROPOSED CANAL
- 26. EXISTING CANAL
- 27. PROPOSED DRAINAGE
- 28. EXISTING DRAINAGE
- 29. PROPOSED FLOOD WALL
- 30. EXISTING FLOOD WALL
- 31. PROPOSED EROSION CONTROL
- 32. EXISTING EROSION CONTROL
- 33. PROPOSED LANDSCAPE
- 34. EXISTING LANDSCAPE
- 35. PROPOSED PLANTING
- 36. EXISTING PLANTING
- 37. PROPOSED SIGNAGE
- 38. EXISTING SIGNAGE
- 39. PROPOSED LIGHTING
- 40. EXISTING LIGHTING
- 41. PROPOSED SECURITY
- 42. EXISTING SECURITY
- 43. PROPOSED ACCESS
- 44. EXISTING ACCESS
- 45. PROPOSED DRIVEWAY
- 46. EXISTING DRIVEWAY
- 47. PROPOSED PAVEMENT
- 48. EXISTING PAVEMENT
- 49. PROPOSED CURB
- 50. EXISTING CURB
- 51. PROPOSED SIDEWALK
- 52. EXISTING SIDEWALK
- 53. PROPOSED BIKEWAY
- 54. EXISTING BIKEWAY
- 55. PROPOSED TRAIL
- 56. EXISTING TRAIL
- 57. PROPOSED PLAYGROUND
- 58. EXISTING PLAYGROUND
- 59. PROPOSED SPORTS FIELD
- 60. EXISTING SPORTS FIELD
- 61. PROPOSED BUILDING
- 62. EXISTING BUILDING
- 63. PROPOSED FENCE
- 64. EXISTING FENCE
- 65. PROPOSED WALL
- 66. EXISTING WALL
- 67. PROPOSED TOWER
- 68. EXISTING TOWER
- 69. PROPOSED ANTENNA
- 70. EXISTING ANTENNA
- 71. PROPOSED SIGN
- 72. EXISTING SIGN
- 73. PROPOSED LIGHT
- 74. EXISTING LIGHT
- 75. PROPOSED CAMERA
- 76. EXISTING CAMERA
- 77. PROPOSED SPEAKER
- 78. EXISTING SPEAKER
- 79. PROPOSED MONITOR
- 80. EXISTING MONITOR
- 81. PROPOSED SERVER
- 82. EXISTING SERVER
- 83. PROPOSED NETWORK
- 84. EXISTING NETWORK
- 85. PROPOSED DATABASE
- 86. EXISTING DATABASE
- 87. PROPOSED APPLICATION
- 88. EXISTING APPLICATION
- 89. PROPOSED SERVICE
- 90. EXISTING SERVICE
- 91. PROPOSED SUPPORT
- 92. EXISTING SUPPORT
- 93. PROPOSED TRAINING
- 94. EXISTING TRAINING
- 95. PROPOSED DOCUMENTATION
- 96. EXISTING DOCUMENTATION
- 97. PROPOSED SECURITY
- 98. EXISTING SECURITY
- 99. PROPOSED COMPLIANCE
- 100. EXISTING COMPLIANCE

SYRACUSE UTILITY PLAN

PROJECT NO. 18097
DATE 06/13/19
SCALE 1" = 50'

SYRACUSE UTILITY PLAN

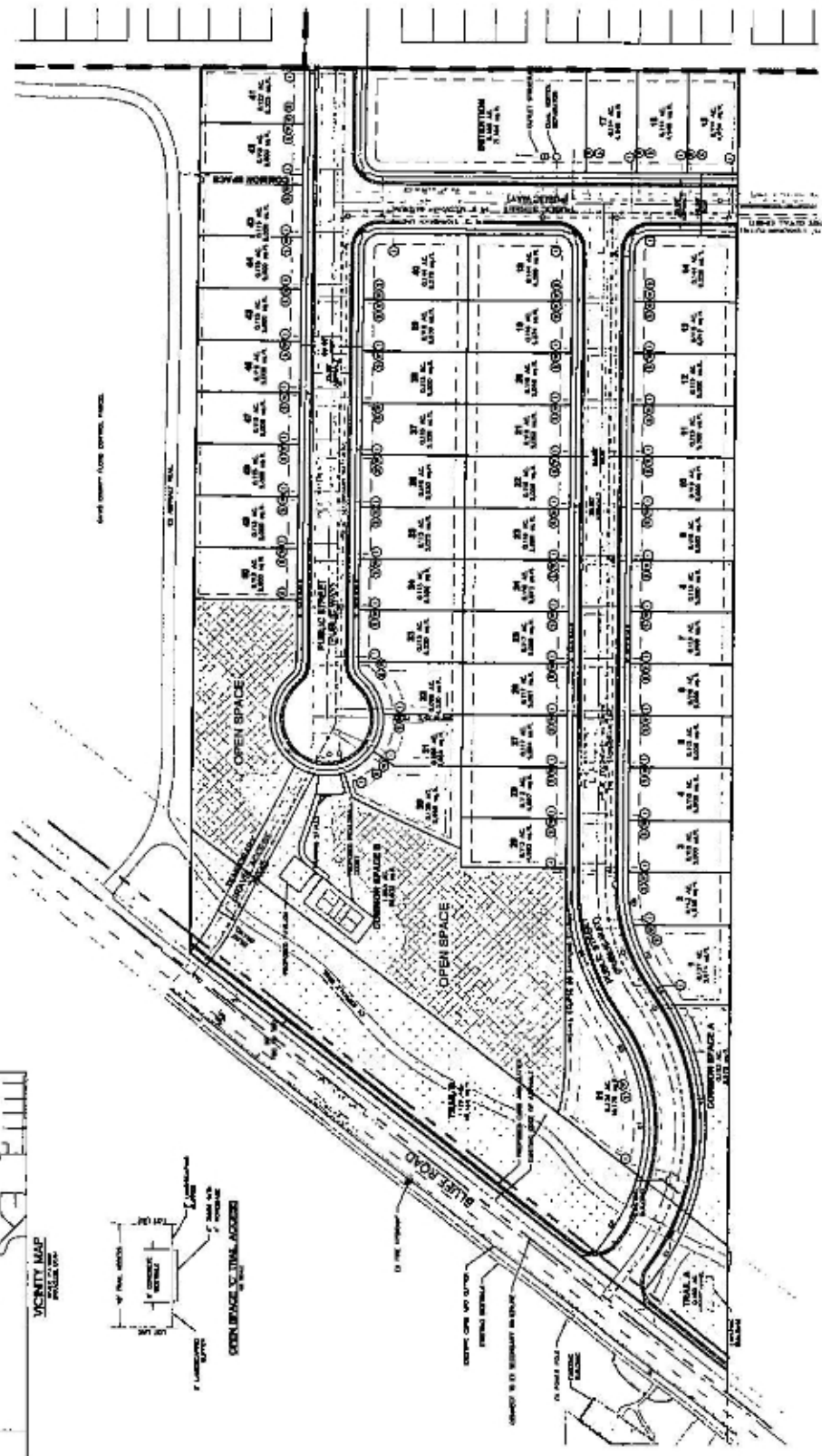
DATE 06/13/19

SCALE 1" = 50'

PROJECT NO. 18097

DATE 06/13/19

SCALE 1" = 50'

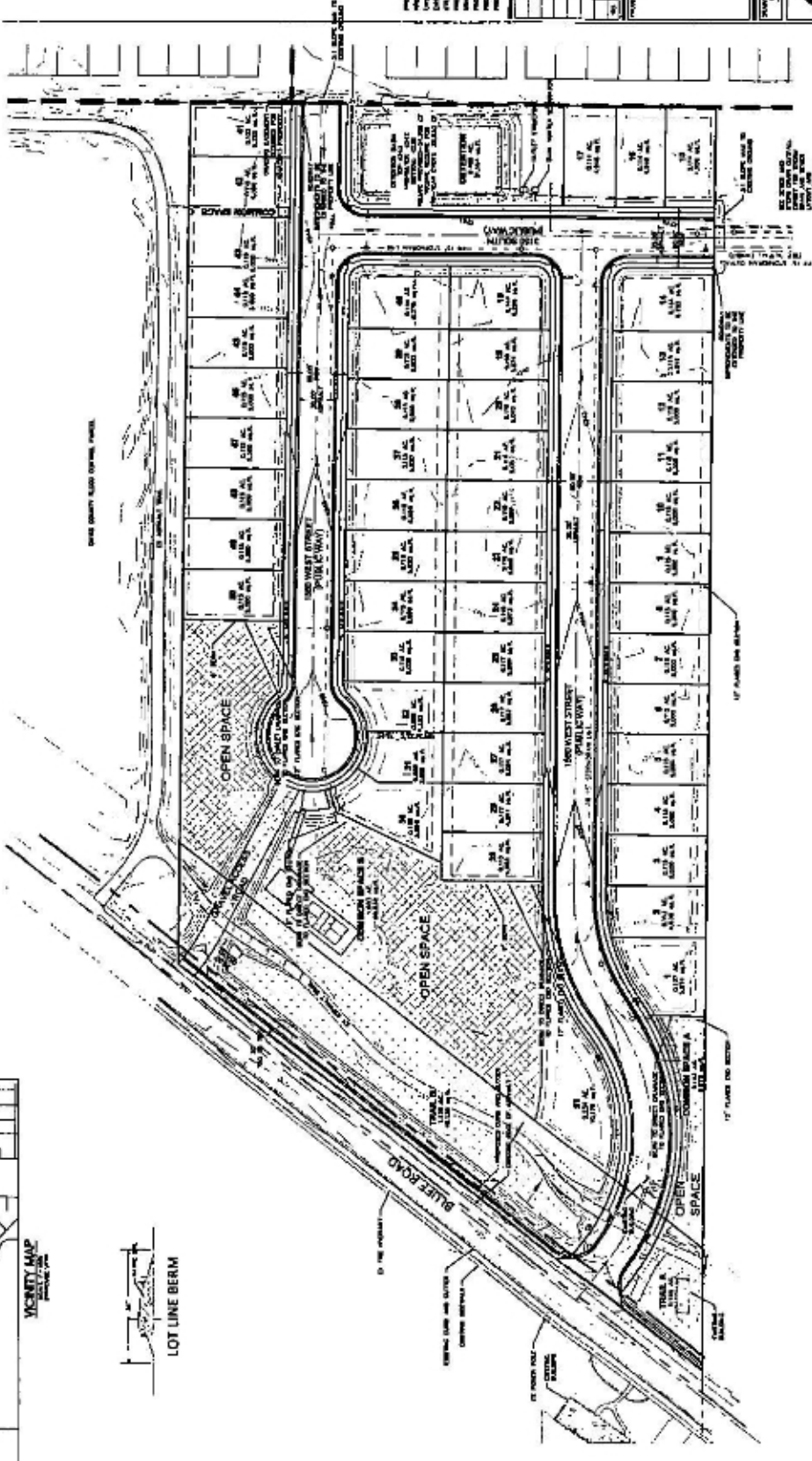


EDGEWATER PARK OVERALL GRADING AND DRAINAGE PLAN



**WILDING
ENGINEERING**
INCORPORATED
14711 SOUTH 2900 WEST, SUITE 100
SALT LAKE CITY, UT 84119
PHONE: (801) 487-1111
WWW.WILDINGENGINEERING.COM

- DATE: 06/13/19
PROJECT: EDGEWATER PARK
SHEET: 21 OF 25
SCALE: 1" = 50'
1. PREPARED BY: [Name]
 2. CHECKED BY: [Name]
 3. APPROVED BY: [Name]
 4. DATE: 06/13/19



EDGEWATER PARK
OVERALL GRADING AND
DRAINAGE PLAN
SYRACUSE, UTAH

DATE: 06/13/19
SCALE: 1" = 50'

PROJECT NO: 18097
SHEET NO: 21 OF 25



**WILDING
ENGINEERING**
1875 S. STATE ST., SUITE 100
MONTICELLO, UT 84301
PHONE: (435) 235-2222
WWW.WILDINGENGINEERING.COM

COMPLETION OF WORK UNDER PROVISIONAL LICENSE, APRIL 2011

1" = 30'

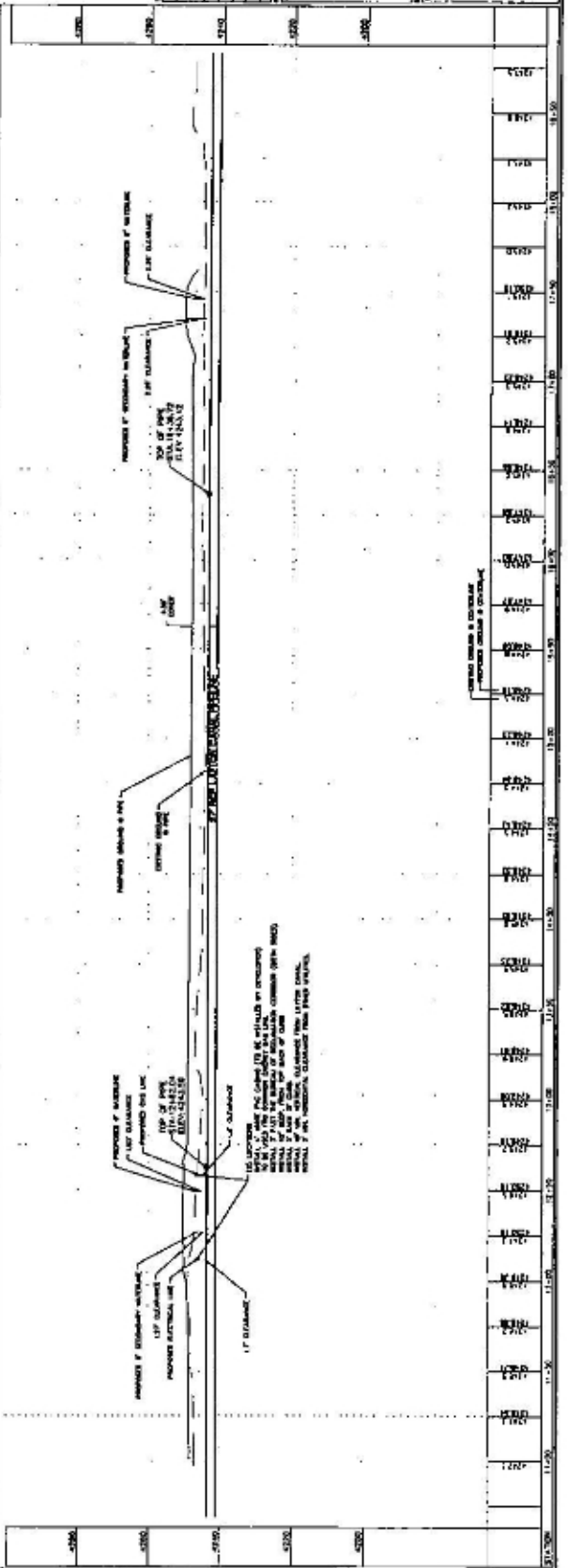
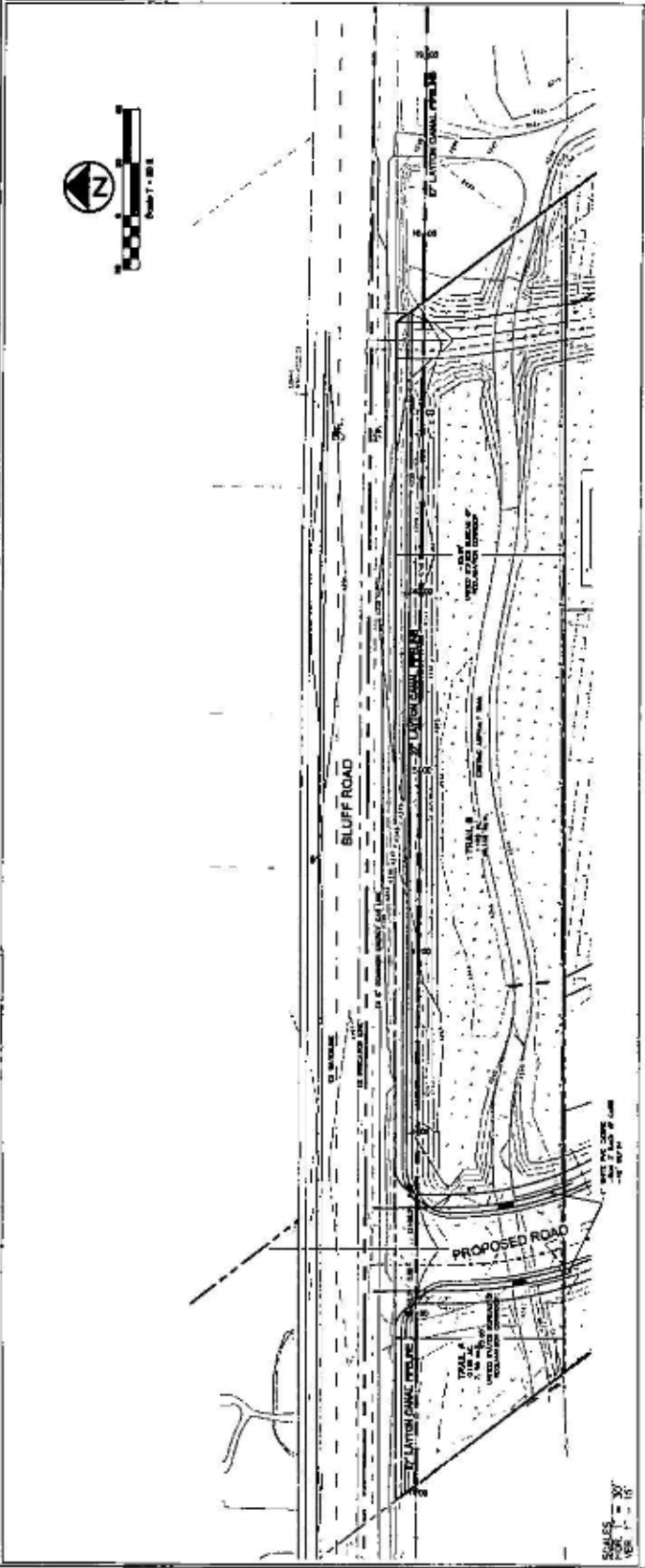
DATE: 04/26/19
PROJECT: EDgewater Park Crossing Exhibit
DRAWN: JRP
CHECKED: JRP
SCALE: 1" = 30'

NO.	DATE	DESCRIPTION

**EDGEWATER PARK
CROSSING
EXHIBIT**

SYRACUSE, UTAH

DATE	04/26/19
PROJECT	EDGEWATER PARK
SCALE	1" = 30'
DRAWN	JRP
CHECKED	JRP
SCALE	1" = 15'
SHEET	1 OF 1

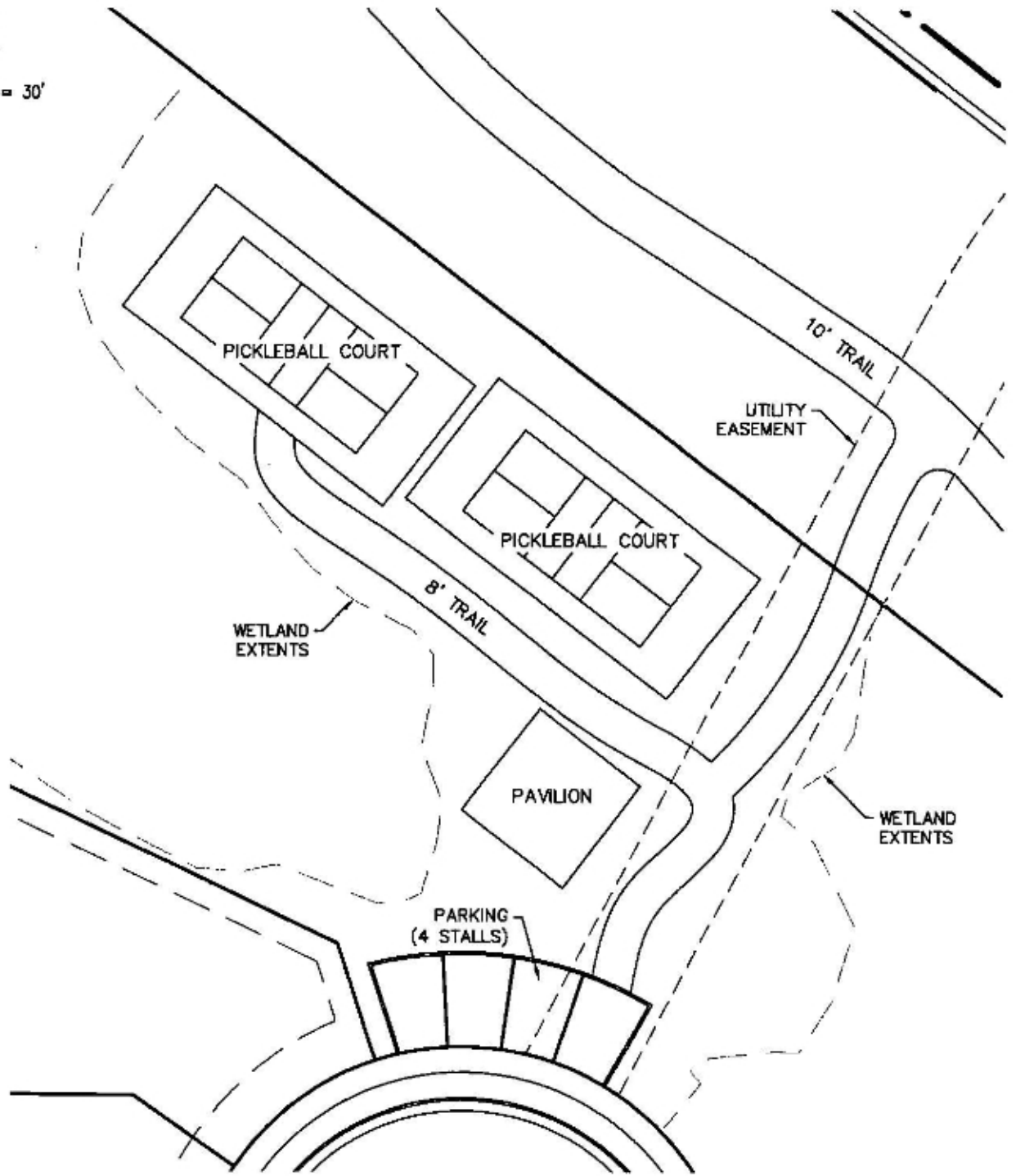


SCALE
1" = 30'

OPEN SPACE EXHIBIT



SCALE 1" = 30'



WILDING
ENGINEERING

14781 South Highway 66th Way
Supeville, Utah 84086
801-688-0118
WWW.WILDINGENGINEERING.COM

EXHIBIT D

Budgets

EDGEWATER PARK SUBDIVISION
PROPOSED HOA BUDGET/MONTHLY ASSESSMENT
(All Facilities to be installed by Developer at no cost to HOA)

Pickleball Courts (Maintenance, Lights, Equipment Replacement, etc)	\$100mo.	\$1,200Yr.
Landscape Upkeep (Weeding, Cutting, Fertilizing, Flower/Tree Replacements) (30 Week Season)	\$100wk.	\$3,000Yr.
Liability Insurance	\$250mo.	\$3,000Yr.
Management (Accounting, Billing, Collections, Legal)	\$200mo.	\$2,400Yr.
Pavilion (Lights, Maintenance)	\$ 25mo.	\$ 300Yr.
Path (Snow Removal, Repair)	\$ 25mo.	\$ 300Yr.
Reserve	\$175mo.	<u>\$2,100Yr.</u>
Total		\$12,300Yr.
Monthly HOA Fee/Home		\$ 18.00Mo.

EDGEWATER PARK SUBDIVISION
BUDGET-TO-CONSTRUCT COMMON-AREA HOA
FACILITIES

2 Pickleball Courts/Lighting (includes net, balls, rackets, etc)	\$55,000.00
Connecting Asphalt Path	\$ 7,500.00
Pavillion (includes wiring)	\$30,000.00
Landscaping/Sprinklers	\$22,500.00
Fencing (2-rail Wetland Separation Fencing)	<u>\$10,000.00</u>
TOTAL	\$125,000.00
Per Lot Share (if escrowed/Phasing)	\$ 2,200.00

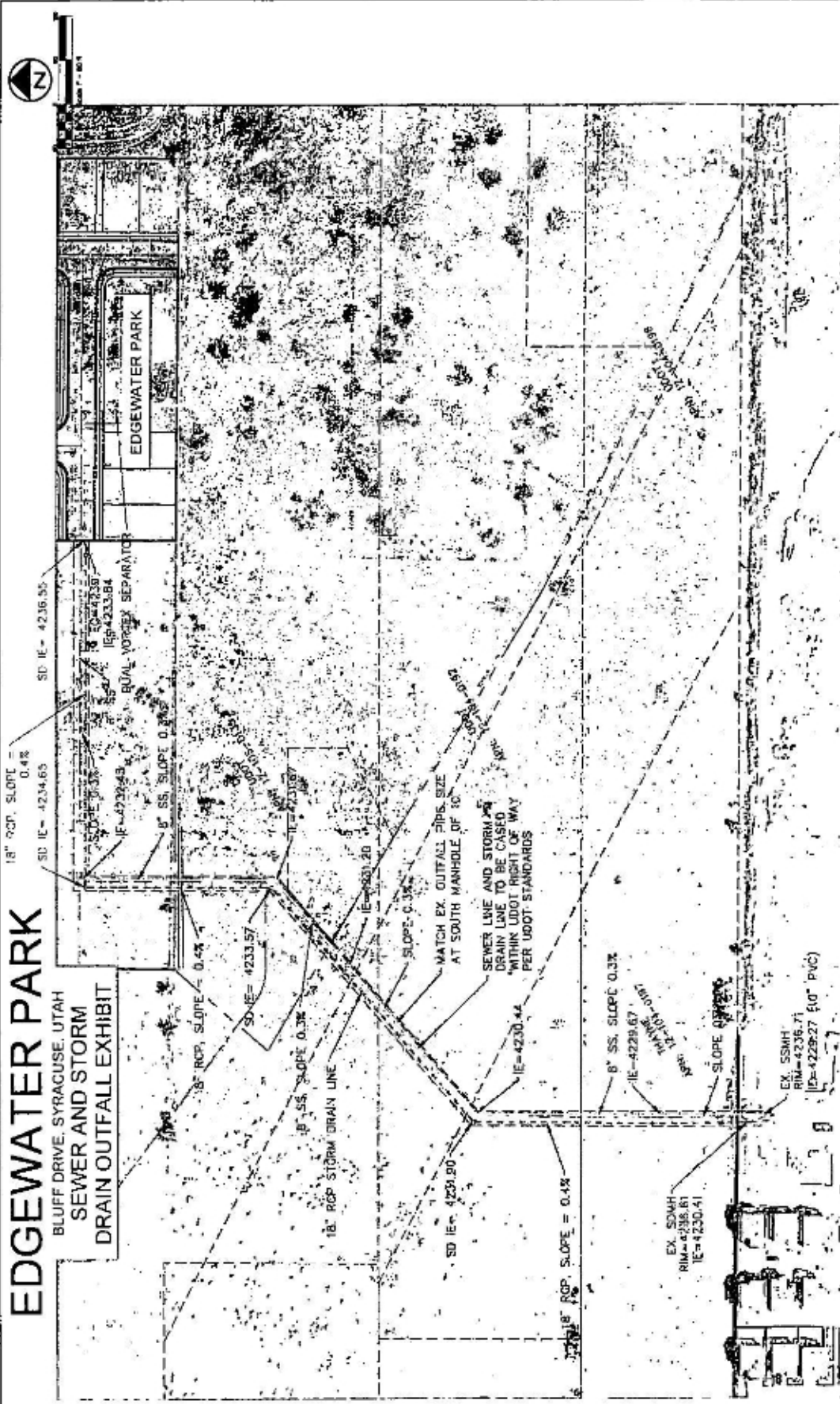
EXHIBIT E

Off-Site Improvement Easement Map

EXHIBIT E

EDGEWATER PARK

BLUFF DRIVE, SYRACUSE, UTAH
SEWER AND STORM
DRAIN OUTFALL EXHIBIT



DATE	3/1/2019
SCALE	1" = 80'
PROJECT	EDGEWATER PARK
DESIGNER	JRP
CHECKER	GCW
SHEET NO.	1 OF 1

WILDWING
ENGINEERING

1174 S. MAIN STREET, SUITE 200
SALT LAKE CITY, UT 84119
www.wildwingeng.com

DATE PLOTTED: 03/15/19 11:57 AM

EXHIBIT F

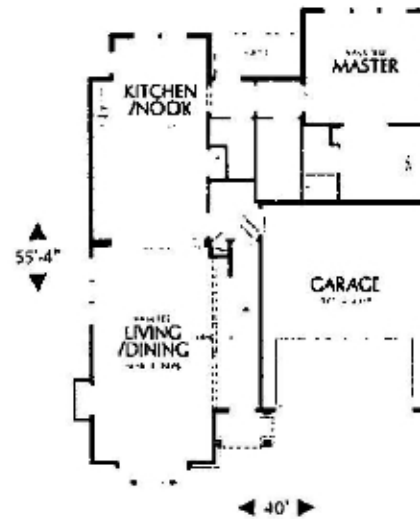
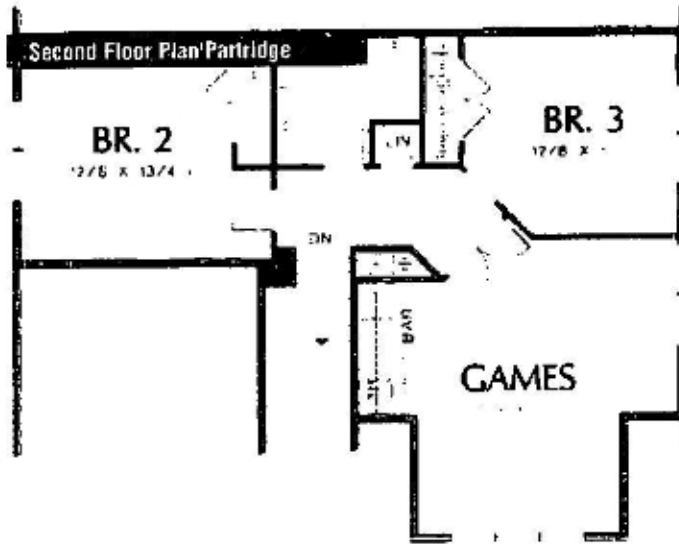
Architectural Theme and Elevations



EDGE WATER PARK
57 LOT BINGLE FAMILY PLANNED COMMUNITY

Partridge5903

EXTERIOR STYLES: Craftsman European Traditional



CLERESTORY



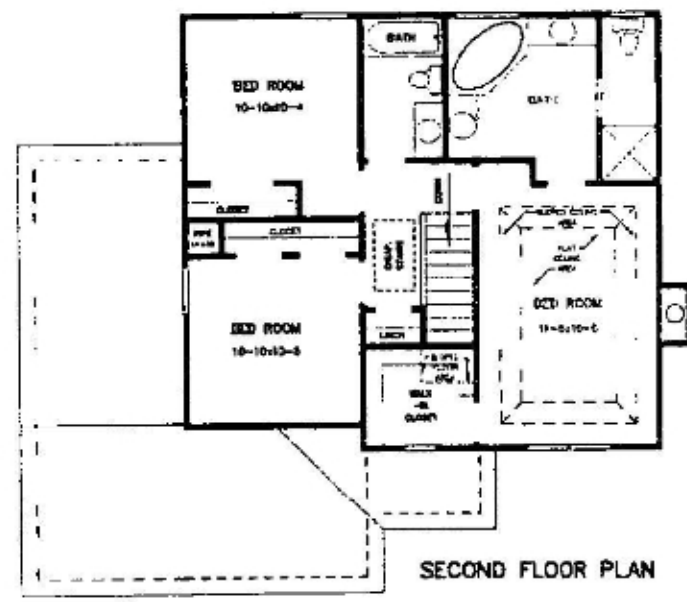
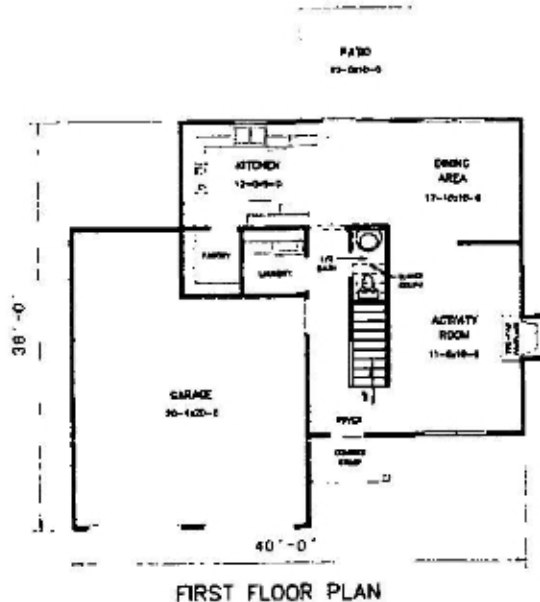
TOTAL SQ. FT.: 2,230
1ST FLOOR SQ. FT.: 1,379
2ND FLOOR SQ. FT.: 851
BEDROOMS: 3
BATHROOMS: 2.1
GARAGE: 2
STORIES: 2

MAIN CEILING HEIGHT: Varies
FRAMING: 2x6
ROOF FRAMING: Truss
ROOF PITCH: Primary: 10/12
WIDTH: 40' 0"
HEIGHT: 28' 10"
DEPTH: 55' 4"

Color, features, and details may be exchanged or changed, by the builder, and purchaser, without notice. Any styles shown are not guaranteed to be in stock. Prices and features are not shown with these drawings, and prices are the approval of local real estate agents. All prices are in U.S. dollars.

EDGE WATER PARK
57 LOT SINGLE FAMILY PLANNED COMMUNITY

Robin7739
EXTERIOR STYLES: Craftsman Traditional



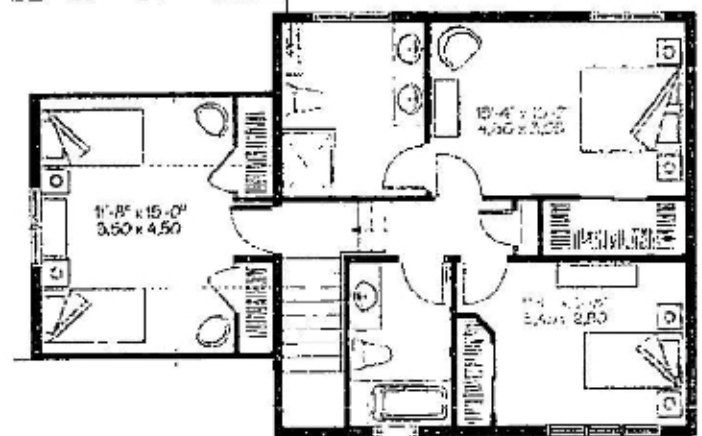
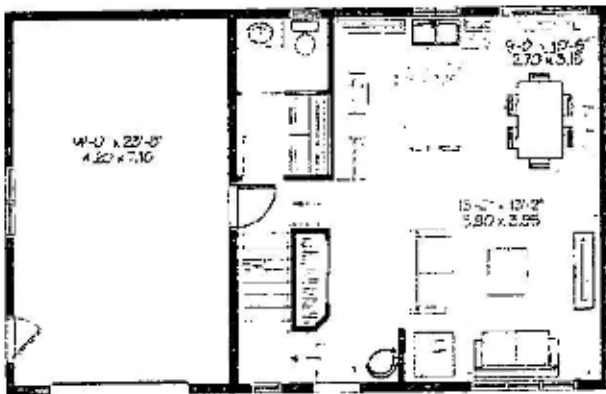
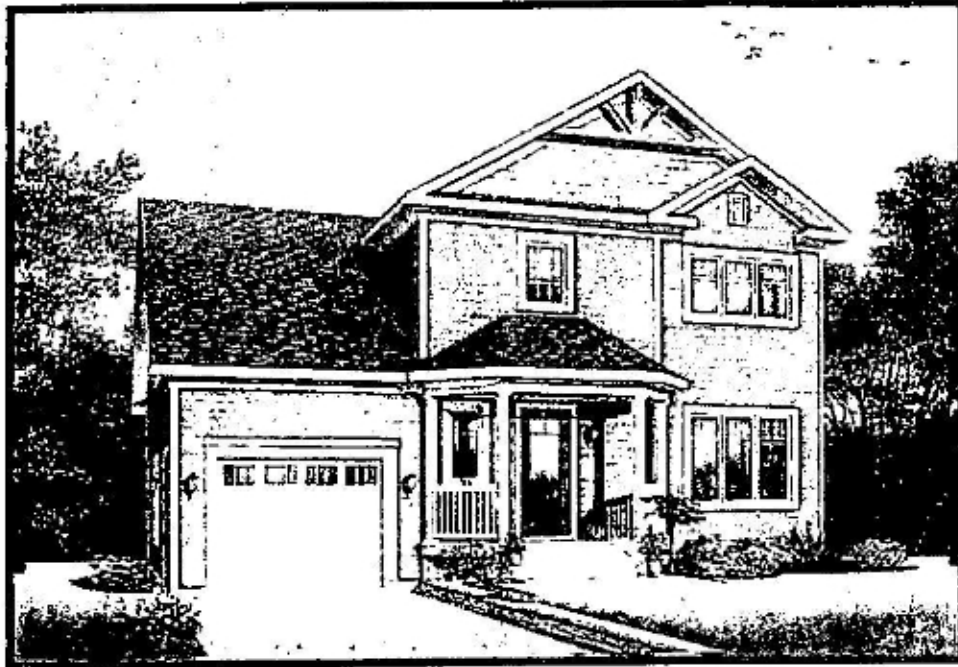
TOTAL SQ. FT.: 1,553	STORIES: 2	Secondary: 3/12	UNHEATED LIVING SPACE:
1ST FLOOR SQ. FT.: 716	MAIN CEILING HEIGHT: 8'	WIDTH: 40' 0"	Garage: 480
2ND FLOOR SQ. FT.: 837	UPPER CEILING HEIGHT: 8'	HEIGHT: 30' 0"	Perch: 29
BEDROOMS: 3	FRAMING: 2x4	DEPTH: 36' 0"	Patio: 100
BATHROOMS: 2.1	ROOF FRAMING: Stick	EXTERIOR STYLES: Country	
GARAGE: 2	ROOF PITCH: Primary: 10/12	Traditional	

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EDGE WATER PARK
57 LOT SINGLE FAMILY PLANNED COMMUNITY

LARK9839

EXTERIOR STYLES: Craftsman Traditional



40'-0"
12.0m

25'-0"
7.5m

TOTAL SQ. FT. 1,455	STORIES 2	Floor 10/12	Farm House
1ST FLOOR SQ. FT. 839	MAIN CEILING HEIGHT 8'	WIDTH 40' 0"	Lake
2ND FLOOR SQ. FT. 616	UPPER CEILING HEIGHT 8'	HEIGHT 26' 1"	UNHEATED LIVING SPACE
BEDROOMS 3	FRAMING 2x6	DEPTH 25' 0"	Garage 367
BATHROOMS 2 1/2	ROOF FINISHES Ins.	EXTERIOR STYLES Garage	
GARAGE 1	ROOF RICH Primary 7/12	Courty	

Use of patterns and materials may be required or changed by the contractor. All changes must be approved by the architect. All exterior colors are significantly different from the color palette presented and approved with these conditions as called for. All exterior materials and hardware changes must be approved by Syracuse City.

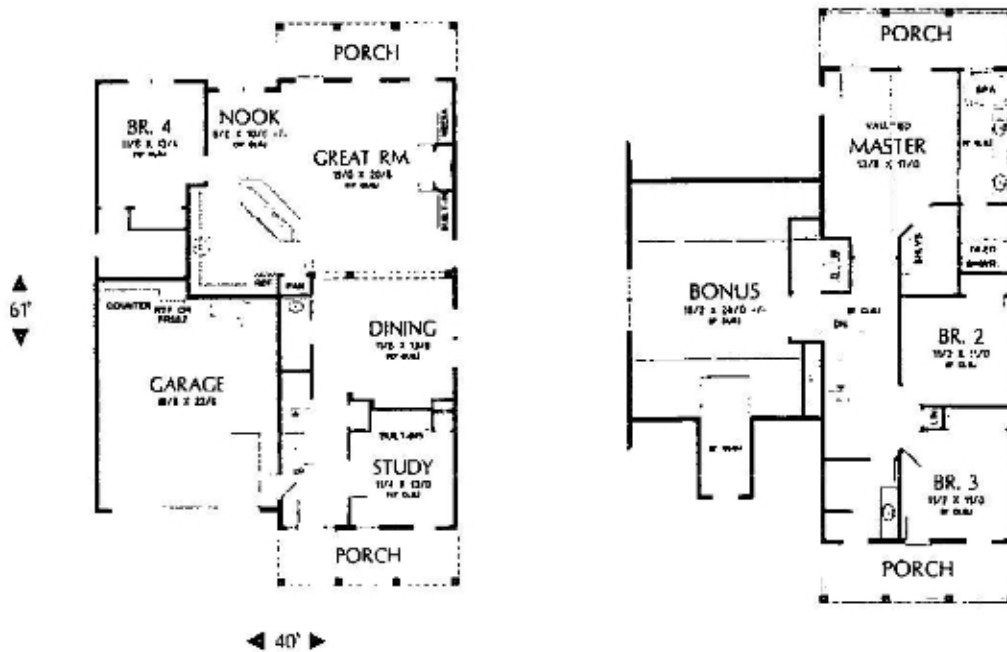
3209465
BK 7403 PG 2169



EDGE WATER PARK
57 LOT SINGLE FAMILY PLANNED COMMUNITY

HERRING4064

EXTERIOR STYLES: Craftsman Traditional



OTA: SQ. FT.: 2,400
1ST FLOOR SQ. FT.: 1,433
2ND FLOOR SQ. FT.: 967
BONUS: 491
BEDROOMS: 4
BATHROOMS: 3

GARAGE: 2
STORIES: 2
MAIN CEILING HEIGHT: 10'
UPPER CEILING HEIGHT: Varies
FRAMING: 2x6
ROOF FRAMING: Truss

ROOF PITCH: Primary: 10/12
Secondary: 8/12
Dormer: 10/12
WIDTH: 40' 0"
HEIGHT: 29' 6"
DEPTH: 61' 0"

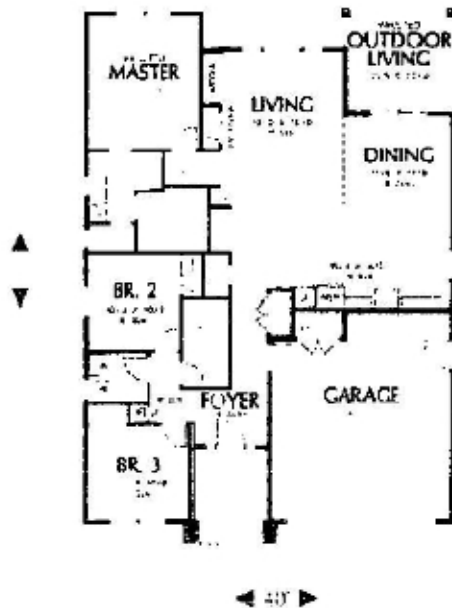
EXTERIOR STYLES: Southern
Traditional
UNHEATED LIVING SPACE:
Garage: 480
Porch: 240
Deck: 240

Colors, patterns, and elevations may be exchanged or changed by the builder who purchases these lots. If any styles or colors are significantly different than those that have been presented and registered with these documents as part of the approval process, said request-for-change must be approved by Syracuse City.

3209465
BK 7403 PG 2170

EDGE WATER PARK
57 LOT SINGLE FAMILY PLANNED COMMUNITY

SANDHILL3086
EXTERIOR STYLES: Craftsman Traditional

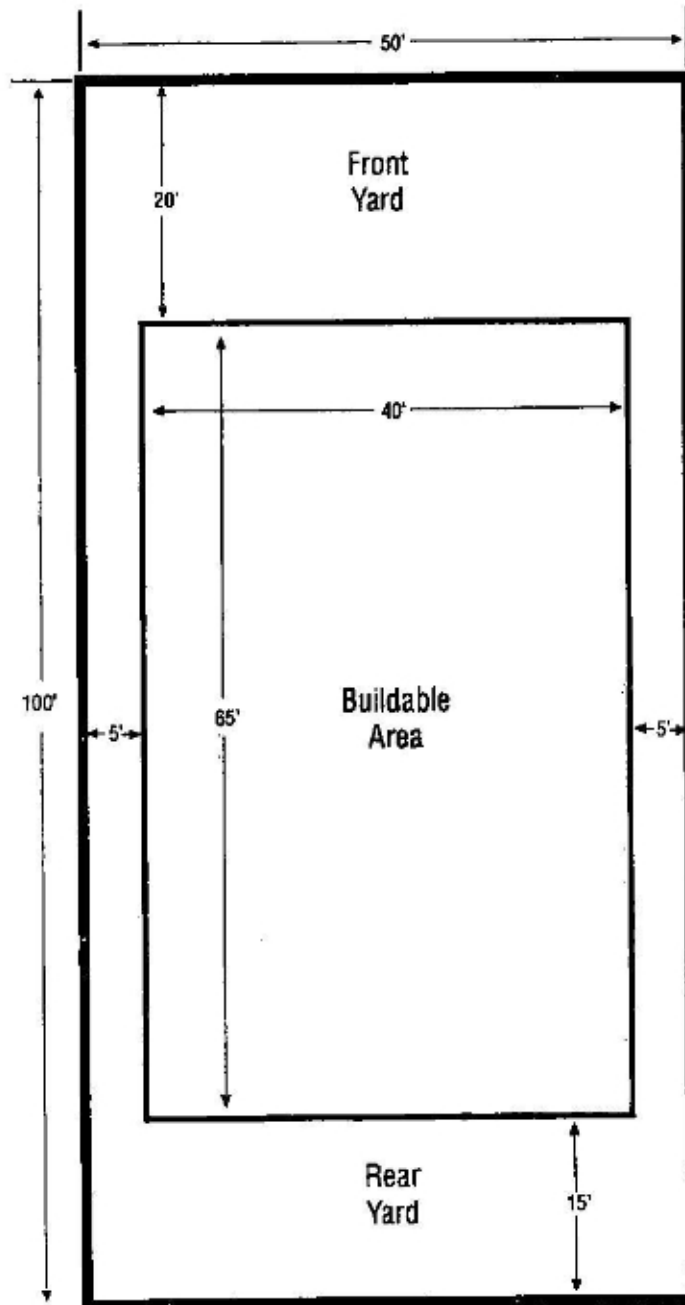


TOTAL SQ. FT.: 1,529	MAIN CEILING HEIGHT: Varies	WIDTH: 40' 0"	UNHEATED LIVING SPACE:
1ST FLOOR SQ. FT.: 1,529	UPPER CEILING HEIGHT: 7'	HEIGHT: 25' 5"	Garage: 419
BEDROOMS: 3	FRAMING: 2x6	DEPTH: 57' 0"	Ratio: 127
BATHROOMS: 2 1/2	ROOF FRAMING: Truss	EXTERIOR STYLES: Cottage	
GARAGE: 2	ROOF PITCH: Primary: 6/12	Craftsman	
STORIES: 1	Gable: 8/12	Ranch	

Colors, patterns, and elevations may be exchanged or changed by the builder who purchases these lots. If any styles or colors are significantly different than those that have been presented and registered with these documents as part of the approval process, said request for change must be approved by Syracuse City.



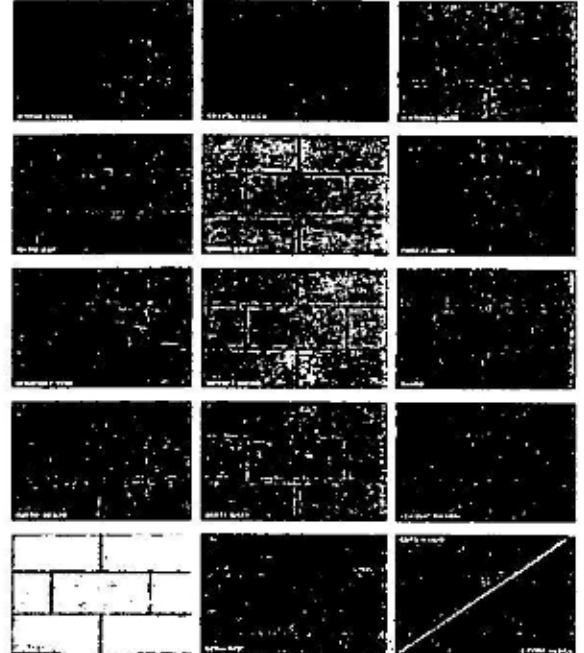
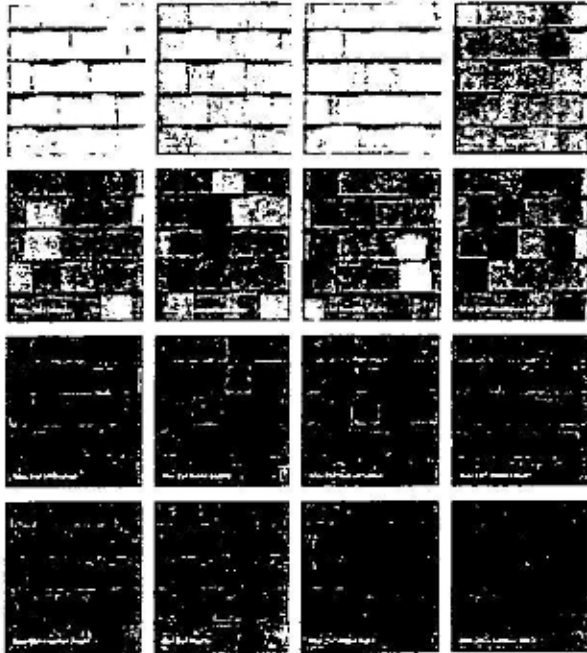
TYPICAL BUILDING LOT



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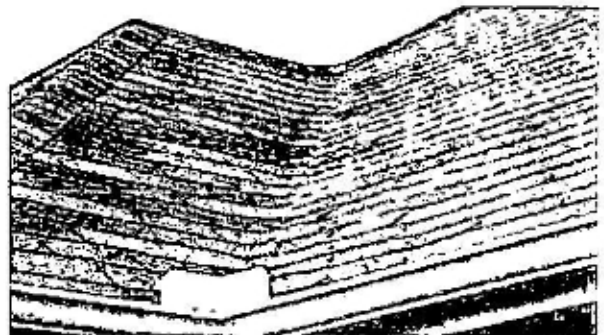
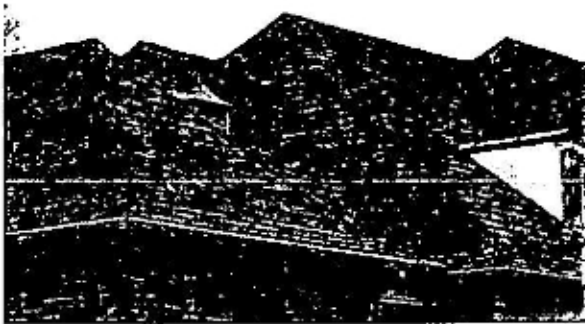


SHINGLES



Arc architectural Shingles

3 -Tab Shingles



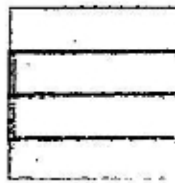
EDGE WATER PARK
57 LOT SINGLE FAMILY PLANNED COMMUNITY

HARDIE BOARD

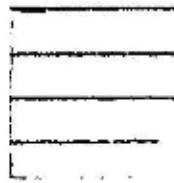


HORIZONTAL
PANELS

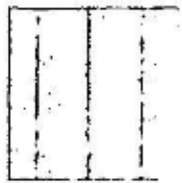
VERTICAL
PANELS



TRADITIONAL
LAP



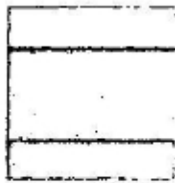
DUTCH
LAP



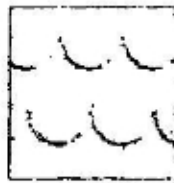
BOARD
& BATTEN

BEAD & BUTT

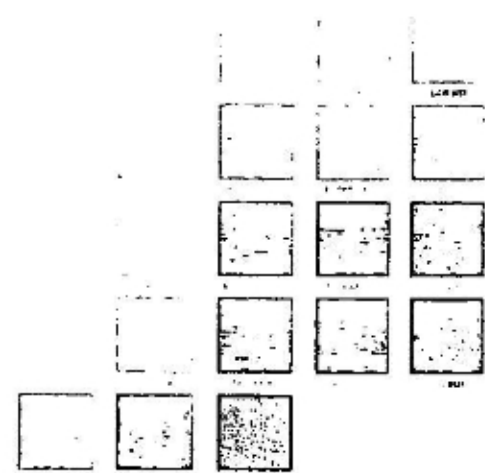
BEAD & BUTT



SHINGLES



SCALLOPED

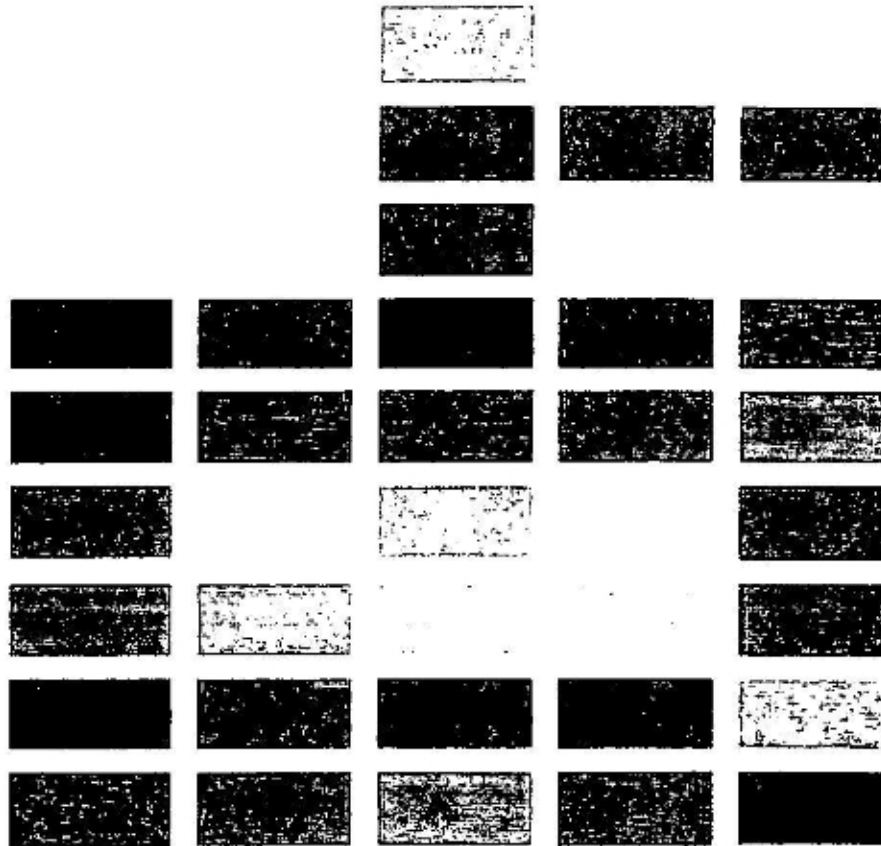


Hardie Board Plank, Panel, Batten and Shingle Colors and Samples

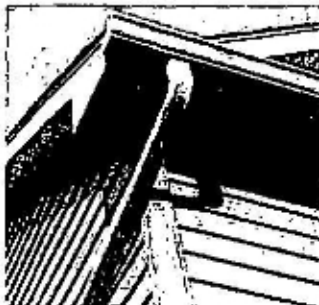




SIDING, RAIN GUTTERS AND EVES



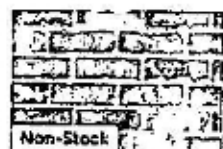
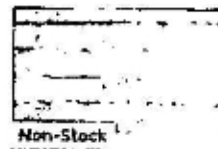
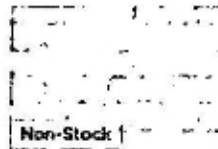
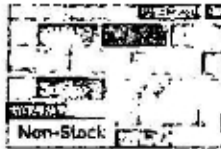
Different samples of eves, rain gutter colors and siding.



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BRICK

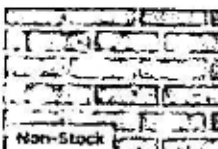
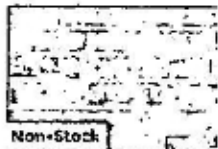


Cape Cod

Champagne

Chardonnay

Charleston

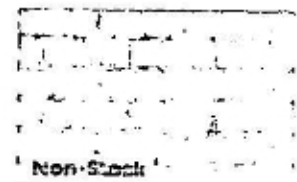
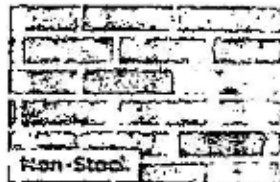
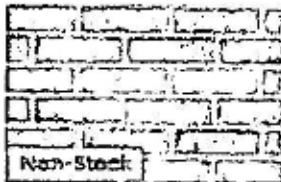


Hampton

Mahogany

Old Baltimore

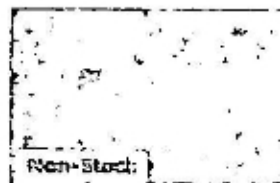
Old Canterbury



Clifton

Coal

Columbia

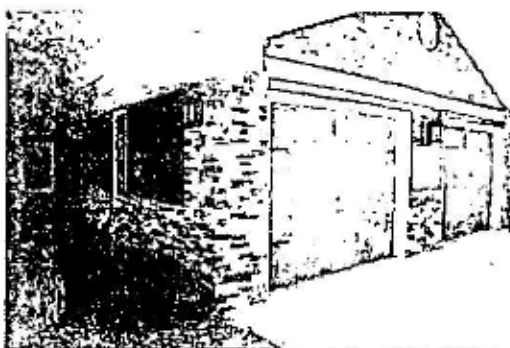


Old Virginia

Ponderous

Sage

Samples of brick and Hardie board



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ROCK AND STONE



Western Ledge Stak



French Chateau



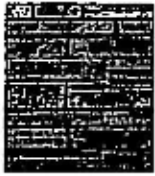
River Rock



Weathered Edge



Fast Stak



Bluff Stone



Spillface



Southeastern Ledge Stone



Cut Fieldstone



Prairie Bluff



Ohio Rubble



Cliffstone



Montana Ledge



Washed River Rock



Pebble Stone



Country Ledge



Sangria



Bavarian Castle



Venetian Cobble



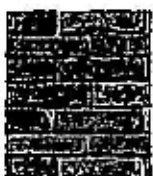
Italian Fieldstone



Mountain Blend



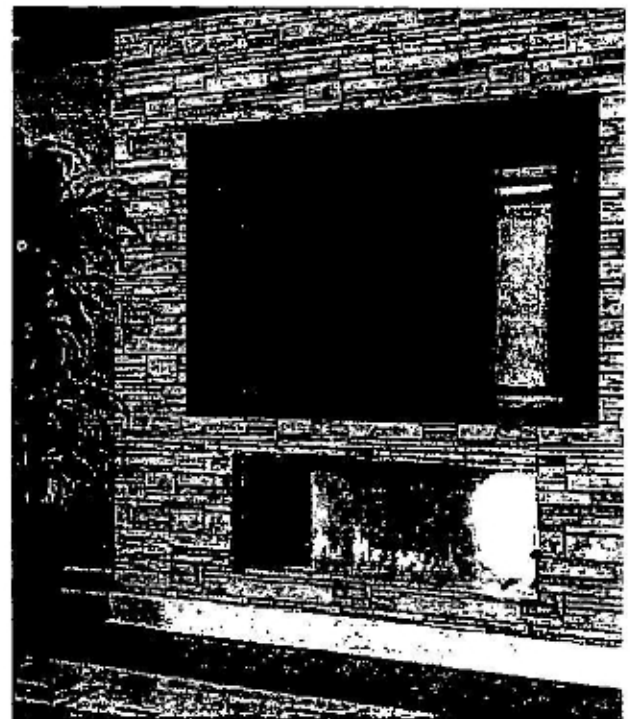
Long Island Stak



Stonebrick



Tumbled



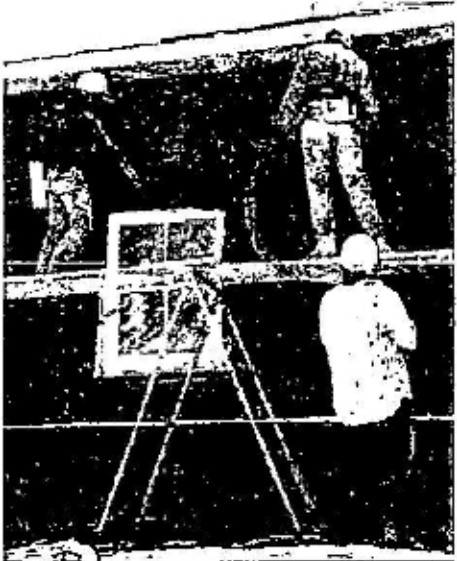
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EDGE WATER PARK
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STUCCO COLOR

102 Brite White	310 China White	106 Pearl Ash	139 Adobe Accent	110 Van Dyke
103 Natural White	115 Beach	112 Sandalwood Beige	133 Driftwood	114 Mauve
104 Dover Sky	107 Sunset Yellow	117 Colonial Tan	108 Manor White	116 Victorian Lace
131 Gull Gray	109 Eggshell Cream	142 Spectrum Brown	105 Suede	132 Mountain Fog
111 Prairie Clay	113 Amarillo White			



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