

E 2266410 B 4273 P 129-172
RICHARD T. MAUGHAN
DAVIS COUNTY, UTAH RECORDER
05/01/2007 08:30 AM
FEE \$159.00 Pgs: 44
DEP RTT REC'D FOR CENTERVILLE CITY

RETURNED

MAY 01 2007

When recorded, return to:

Centerville City
Attn: City Recorder
250 North Main Street
Centerville, Utah 84014

Parcel Number(s):

02-217-0101
Add 0163

**SECOND AMENDMENT TO ^D
DEVELOPMENT AGREEMENT BETWEEN CENTERVILLE CITY AND UINTA
DEVELOPMENT, LC FOR THE PINEAE VILLAGE (PDO)**

**THIS SECOND AMENDMENT TO DEVELOPMENT AGREEMENT BETWEEN
CENTERVILLE CITY AND UINTA DEVELOPMENT, LC FOR THE PINEAE VILLAGE
(PDO) (the "Amendment") is made and entered into as of the 11 day of April,
2007, by and between **CENTERVILLE CITY**, a Utah municipal corporation, hereinafter
referred to as the "City," and **CITYVIEW PINEAE VILLAGE 227, L.P.**, a Delaware
limited partnership, hereinafter referred to as "Developer."**

RECITALS:

WHEREAS, the City and Uinta Development, LC, a Utah limited liability company ("Uinta"), entered into that certain Development Agreement dated March 6, 2006 and recorded at the Davis County Recorder's Office on March 8, 2006, Entry No. 2150503, Book No. 3986, Pages 1124-1198, as amended by that certain First Amendment to the Development Agreement Between Centerville City and Uinta Development, LC for the Pineae Village (PDO), dated February 22, 2007, and recorded at the Davis County Recorder's Office on March 6, 2007, Entry No. 2250032, Book No. 4233, Pages 808-813 (hereinafter collectively referred to as the "Agreement"), regarding the development of approximately thirty (30) acres of real property located at approximately 675 North Main Street in Centerville City, Davis County, State of Utah, as more particularly described in **Exhibit 1**, attached hereto and incorporated herein by this reference (the "Property"); and

WHEREAS, the Agreement was assigned from Uinta, as the amended and restated entity of UD Ventures, LLC, a Utah limited liability company, to Developer by that certain Assignment and Assumption Agreement dated March 21, 2007, and

recorded at the Davis County Recorder's Office on March 21, 2007, Entry No. 2254440, Book No. 4244, Pages 1395-1400; and

WHEREAS, Developer has requested and desires to amend the Agreement to revise the architectural theme and the building elevations and features as more particularly set forth herein; and

WHEREAS, the City is willing to amend the Agreement regarding the architectural theme and the building elevations and features subject to and in accordance with the terms and conditions of this Second Amendment to the Agreement.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and Developer agree as follows:

1. **Amendment.** Exhibit "H" of the Agreement regarding Building Elevations and Features is hereby amended to read in its entirety as set forth in **Exhibit 2**, attached hereto and incorporated herein by this reference.

2. **Full Force and Effect.** The terms of this Amendment are hereby incorporated as part of the Agreement. All other terms and conditions of the Agreement not modified by this Amendment shall remain the same and are hereby ratified and affirmed. To the extent the terms of this Amendment modify or conflict with any provisions of the Agreement, the terms of this Amendment shall control.

3. **Binding Effect.** This Amendment shall inure to the benefit of and be binding upon the parties hereto and their respective officers, employees, representatives, successors and assigns.

IN WITNESS WHEREOF, the parties hereto have executed this Amendment by and through their respective, duly authorized representatives as of the day and year first above written.

ATTEST:

Marilyn Hoje
Marilyn Hoje, City Recorder



"CITY"

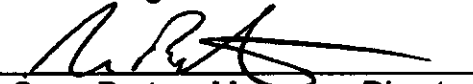
CENTERVILLE CITY

By: *Paul A. Cutler*
Mayor Pro Tem, Paul A. Cutler

"DEVELOPER"

CITYVIEW PINEAE VILLAGE 227, L.P.

By: CityView Pineae Village, LLC, a
Delaware limited liability company, its
General Manager

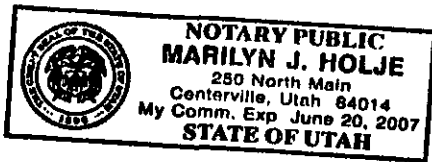
By: 
Sean Burton, Managing Director

CITY ACKNOWLEDGMENT

STATE OF UTAH)
)
:SS.
COUNTY OF DAVIS)

Ronald G.

Russell On the 25th day of April, 2007, personally appeared before me Paul A. Cutler, who being duly sworn, did say that he is the Mayor Pro Tem of CENTERVILLE CITY, a municipal corporation of the State of Utah, and that the foregoing instrument was signed in behalf of the City by authority of its governing body and said Paul A. Cutler acknowledged to me that the City executed the same.



Marilyn J. Holje
Notary Public

My Commission Expires:

6-20-2007

Residing at:

Centerville UT

DEVELOPER ACKNOWLEDGMENT

STATE OF California)
)
:SS.
COUNTY OF Los Angeles)

On the 16th day of April, 2007, personally appeared before me Sean Burton who being by me duly sworn did say that (s)he is the Managing Director of CITYVIEW PINEAE VILLAGE, LLC, a Delaware limited liability company, the General Partner of CITYVIEW PINEAE VILLAGE 227, L.P., a Delaware limited partnership, and that the foregoing instrument was signed in behalf of said company by authority of its Members, and (s)he acknowledged to me that said company executed the same.

Angela Adriatico
Notary Public

My Commission Expires:

May 6, 2008

Residing at:

301 S. Reeves Drive
Beverly Hills, CA 90212

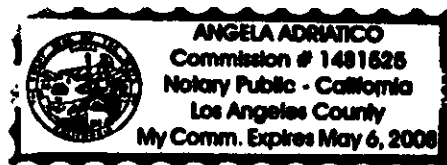


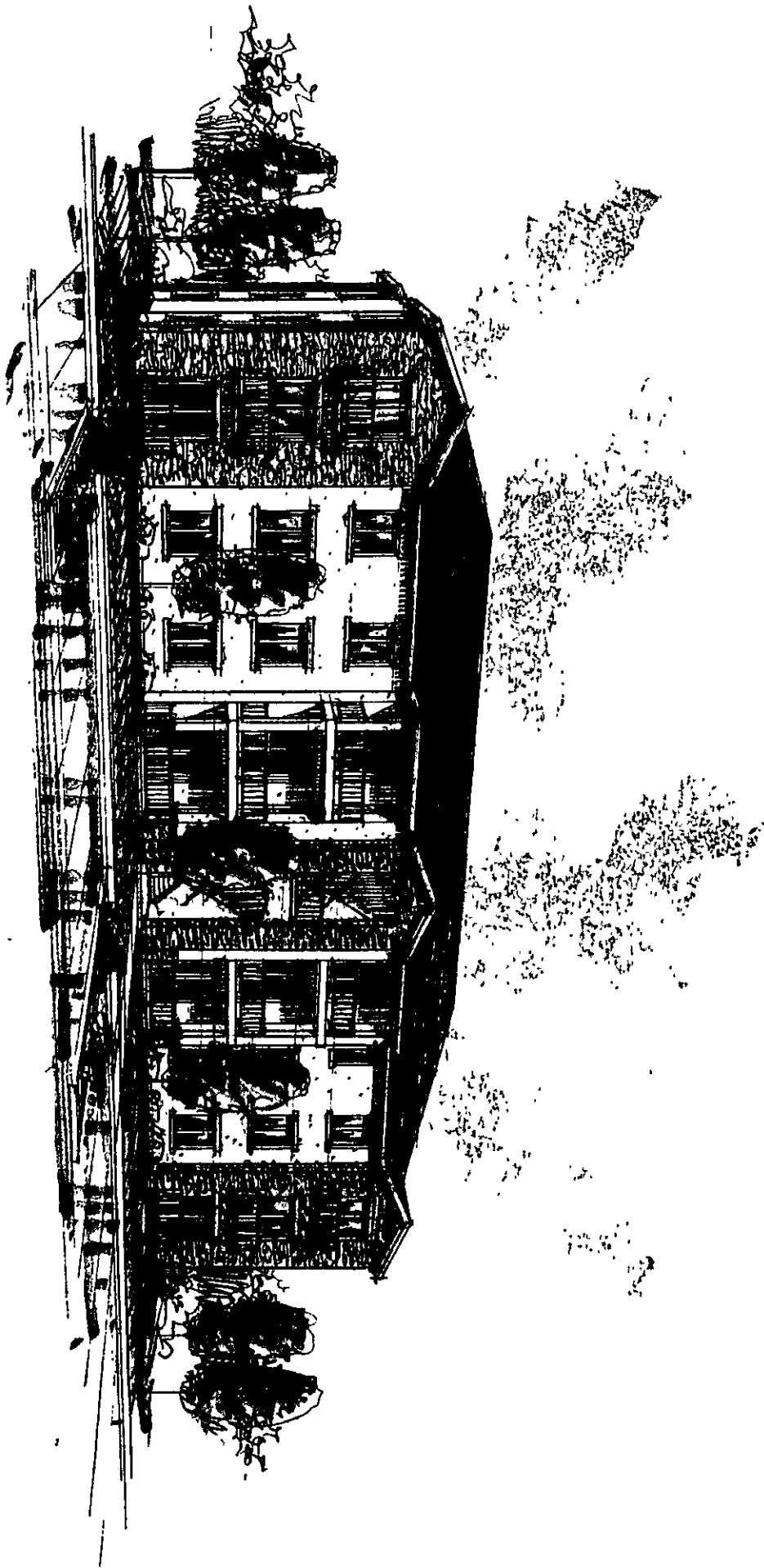
Exhibit 1

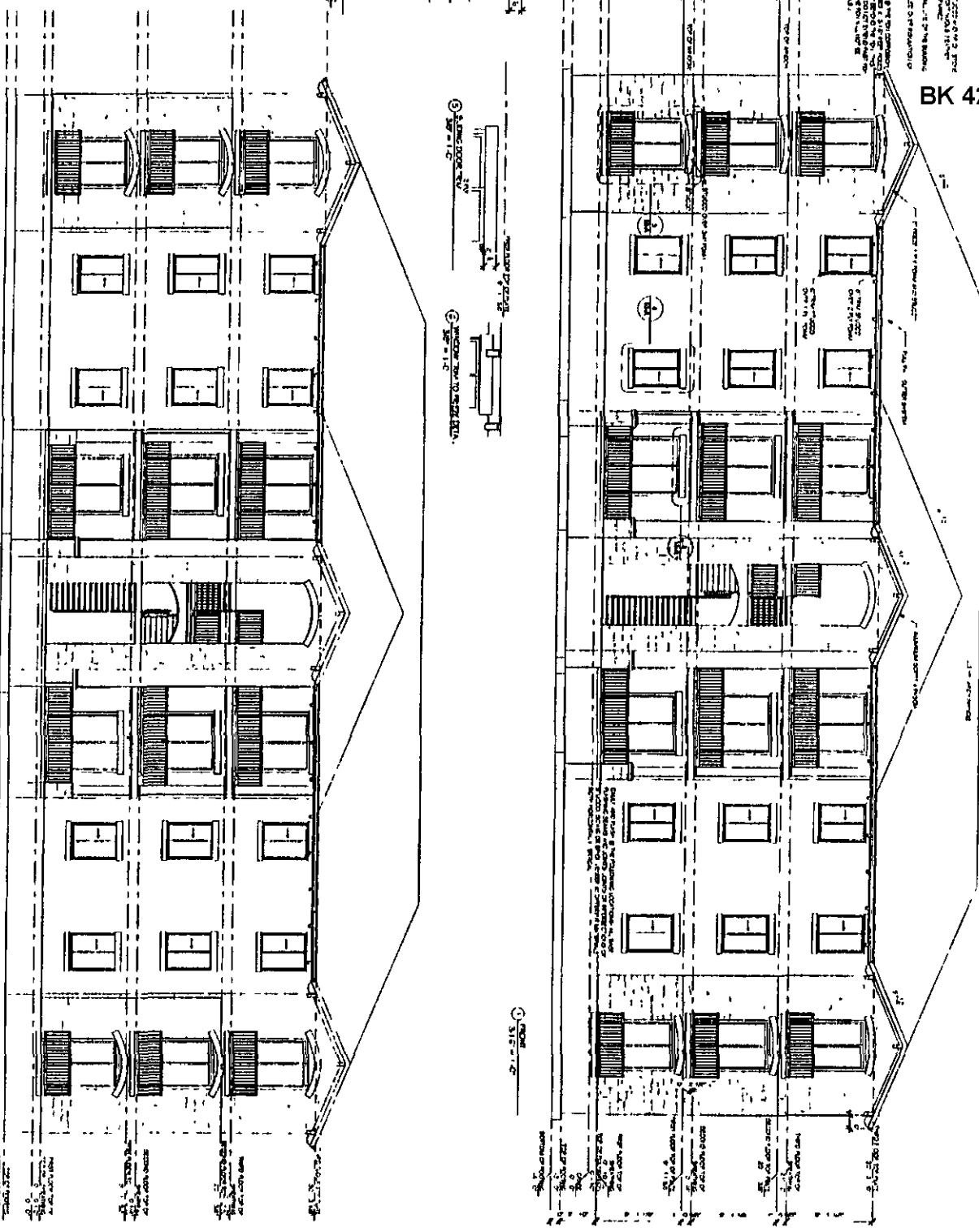
Property Description

BEGINNING AT A POINT WHICH IS N 0°24'15" E, 1033.69 FEET AND N 89°35'45" W, 33.00 FEET SAID POINT BEING THE SOUTHEAST CORNER OF LOT 3, BLOCK AB@ BIG CREEK PLAT CENTERVILLE TOWNSITE SURVEY AND N 0°24'15" E, 75.25 FEET FROM A COUNTY MONUMENT LOCATED AT THE INTERSECTION OF PARRISH LANE AND MAIN STREET AND RUNNING THENCE N 89°50'00" W 832.44 FEET; THENCE SOUTH 567.17 FEET; THENCE WEST 69.30 FEET; THENCE N 00°04'57" E 242.94 FEET; THENCE N 89°39'51" W 861.63 FEET; THENCE N 00°07'35" FEET E 907.83 FEET; THENCE N 89°49'43" E 276.16 FEET; THENCE N 00°05'01" E 0.52 FEET; THENCE EAST 587.28 FEET; THENCE N 00°02'40" E 10.00 FEET; THENCE E 66.50 FEET; THENCE S 00°02'40" W 10.00 FEET; THENCE N 89°30'06" E 700.55 FEET; THENCE S 101.54 FEET; THENCE WEST 20.00 FEET; THENCE SOUTH 273.72 FEET; THENCE EAST 150.63 FEET; THENCE SOUTH 50.00 FEET; THENCE S 00°00'49" W 165.00 FEET; THENCE S 00°24'15" W 8.25 FEET TO THE POINT OF BEGINNING.

CONTAINS 1,305,486 SQUARE FEET OR 29.970 ACRES, MORE OR LESS.

Exhibit 2
Building Elevations and Features





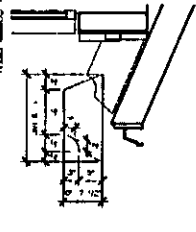
1. The information on this drawing is for the use of the architect only. It is not to be used for any other purpose without the written consent of the architect.
 2. The architect is not responsible for the accuracy of the information provided by the client.
 3. The architect is not responsible for the accuracy of the information provided by the client.
 4. The architect is not responsible for the accuracy of the information provided by the client.
 5. The architect is not responsible for the accuracy of the information provided by the client.

Item	Description	Quantity	Unit	Notes
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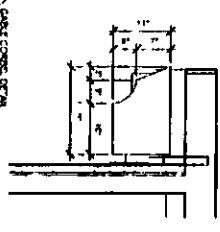
<p>Gold Medallion www.goldmedallionhomes.com PHONE: 801.569.0113</p>																
<p>The use of these plans shall be restricted to the original project, site for which they were prepared. If a public arena thereof is required, the user shall obtain the written consent of the architect. No part of these plans shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. All rights reserved. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the information.</p>																
<p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Description	Date													<p>PROJECT DATE: 4/20/07 12:53:19 AM</p> <p>PROJECT NAME: PINELAKE STACKED FLATS FRONT & REAR ELEVATIONS</p> <p>10-A</p>
No.	Description	Date														

SECTION NOTES

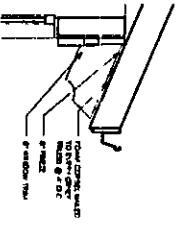
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. FINISHES ARE AS SHOWN ON THE FINISH SCHEDULE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



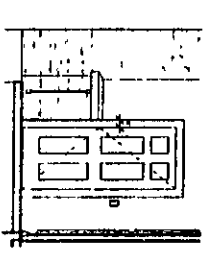
3 WINDOW DETAIL



4 WINDOW DETAIL



5 WINDOW DETAIL

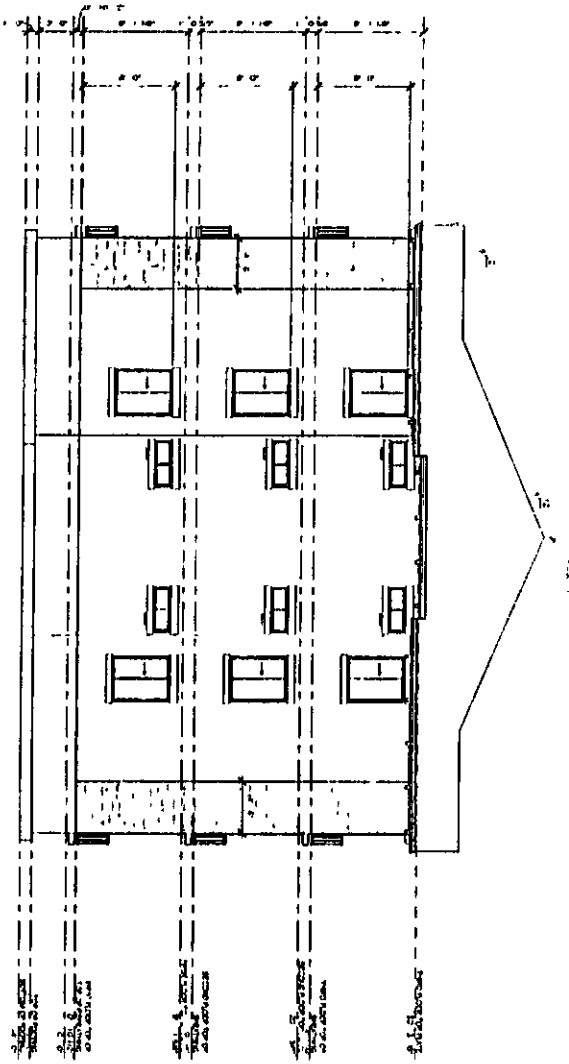


6 WINDOW DETAIL

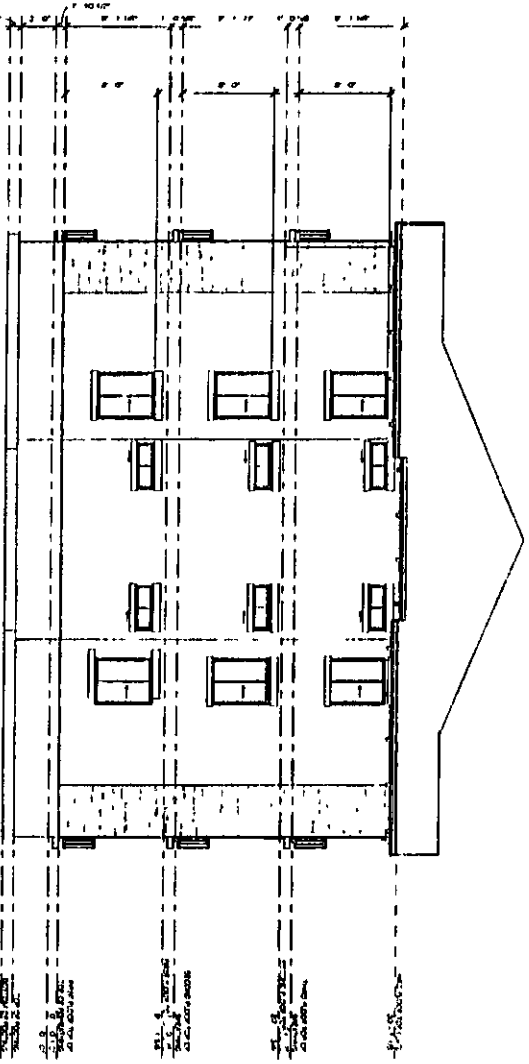
BK 4273 PG 137

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	100	CU YD
2	STEEL	100	TON
3	BRICK	100	1000
4	CEMENT	100	TON
5	SAND	100	CU YD
6	GRAVEL	100	CU YD
7	ROOFING	100	SQ YD
8	PAINT	100	TON
9	GLASS	100	SQ FT
10	DOORS	100	EA
11	WINDOWS	100	EA
12	PLASTER	100	SQ YD
13	CEILING	100	SQ YD
14	FLOORING	100	SQ YD
15	MECHANICAL	100	EA
16	ELECTRICAL	100	EA
17	FINISHES	100	EA
18	LANDSCAPE	100	EA
19	UTILITIES	100	EA
20	CONCRETE	100	CU YD

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. FINISHES ARE AS SHOWN ON THE FINISH SCHEDULE.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



RIGHT ELEVATION



LEFT ELEVATION



Gold Medallion

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 PHONE 801-569-0113

PRINTED DATE: 08/01/2013 09:00 AM

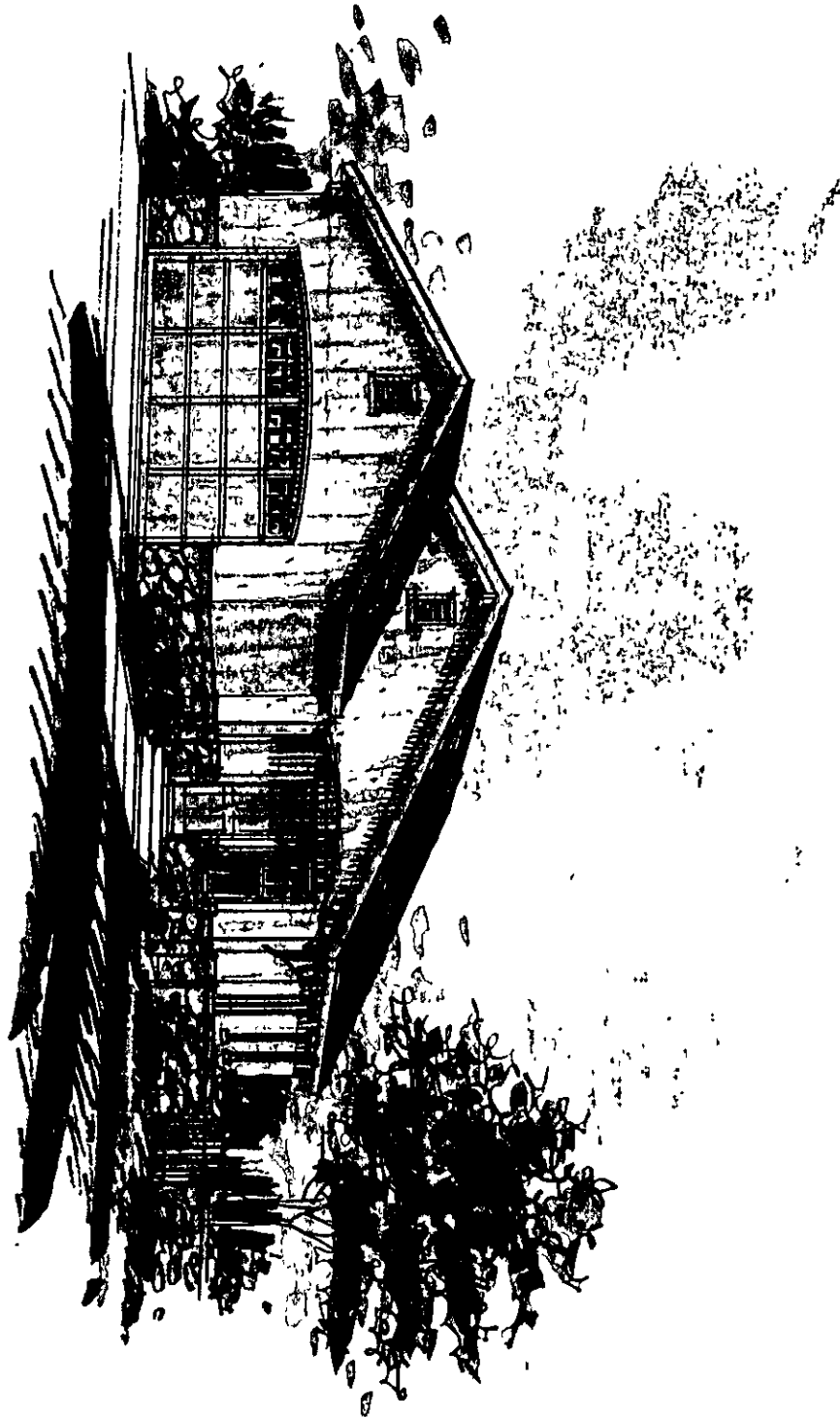
This set of floor plans shall be void unless the original plans are shown for reference and shall be subject to change without notice. All work shall be in accordance with the latest editions of the building codes and all applicable local ordinances. All work shall be in accordance with the latest editions of the building codes and all applicable local ordinances. All work shall be in accordance with the latest editions of the building codes and all applicable local ordinances.

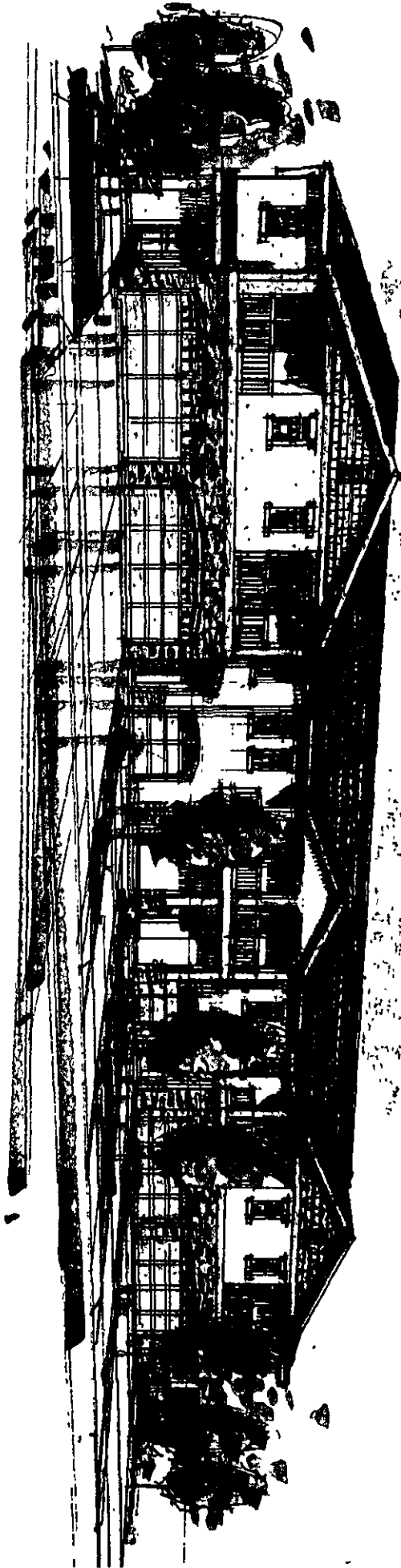
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6	GRAVEL	100	CU YD
7	ROOFING	100	SQ YD
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9	GLASS	100	SQ FT
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11	WINDOWS	100	EA
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13	CEILING	100	SQ YD
14	FLOORING	100	SQ YD
15	MECHANICAL	100	EA
16	ELECTRICAL	100	EA
17	FINISHES	100	EA
18	LANDSCAPE	100	EA
19	UTILITIES	100	EA
20	CONCRETE	100	CU YD

FINCAE
 STACKED FLATS
 LEFT & RIGHT
 ELEVATIONS

11A

NO. 08/01/2013

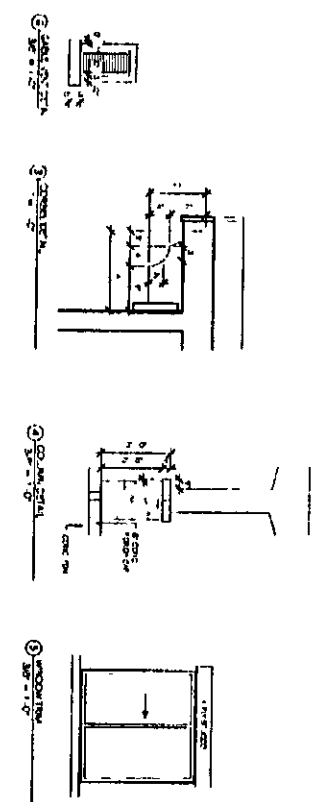
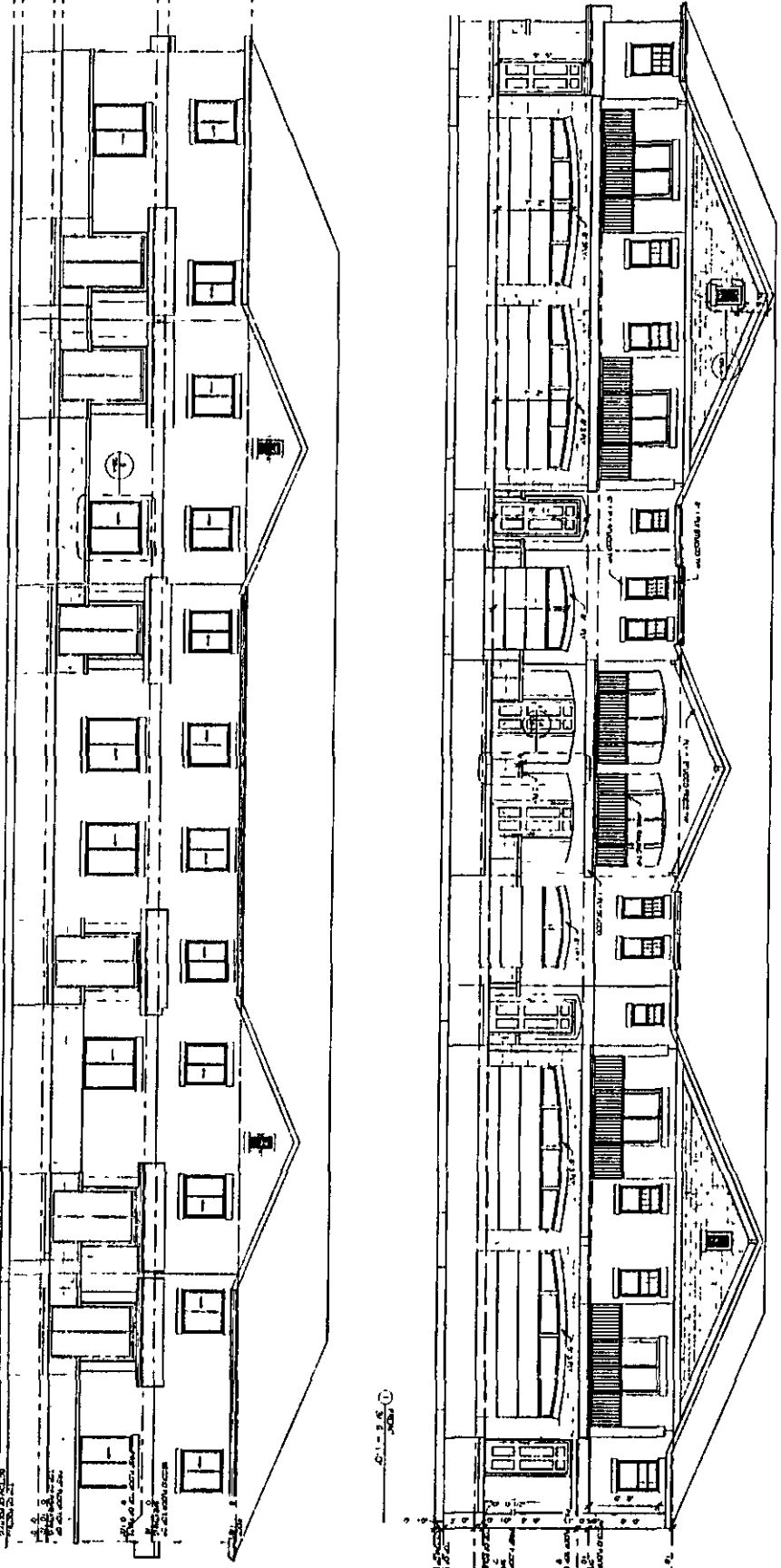






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13	FIXTURES		
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27	PLUMBING		
28	FINISHES		
29	FIXTURES		
30	APPLIANCES		

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS OF THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.
 2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 6. THE CONTRACTOR SHALL MAINTAIN THE SITE AT ALL TIMES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND WASTE MATERIALS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOODS AND PROPERTIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL RESOURCES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HISTORICAL AND CULTURAL RESOURCES.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC UTILITIES AND STRUCTURES.
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 30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE UTILITIES AND STRUCTURES.



08-A
 PINEAE TOWNHOMES
 6 FLEX A
 FRONT & REAR ELEVATIONS

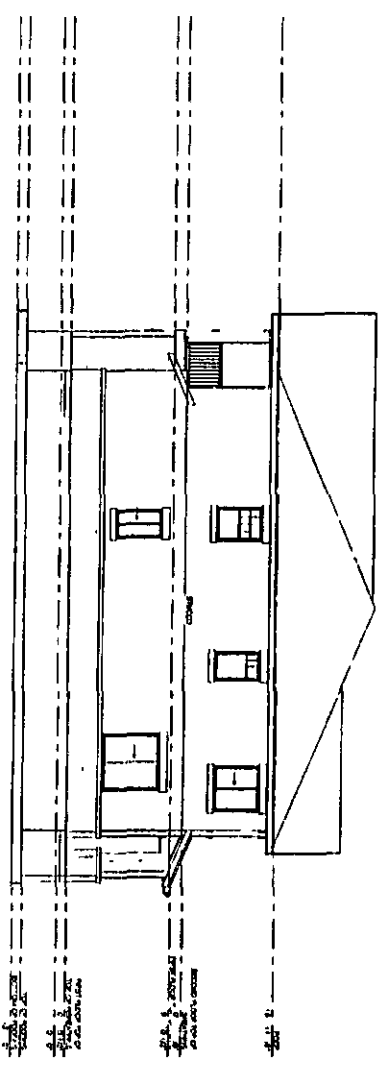
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29	FIXTURES		
30	APPLIANCES		

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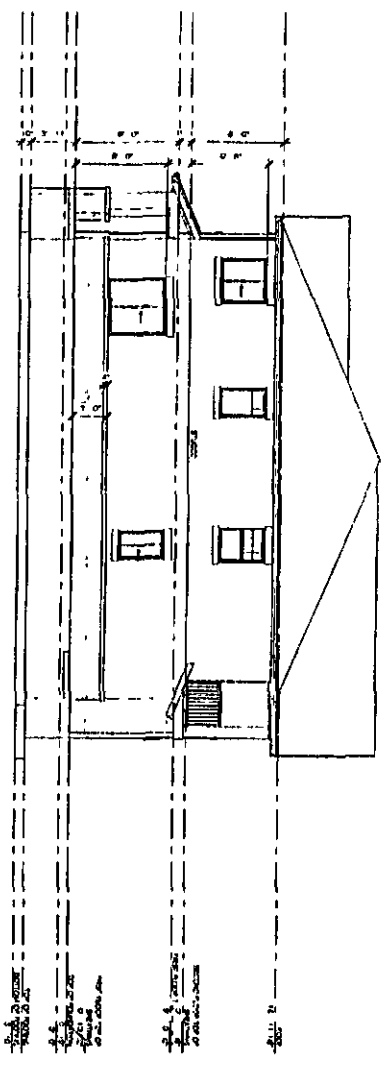
The use of these plans shall be restricted to the original project site for which they were prepared and no publication thereof is expressly intended in any way. No use, reproduction, or adaptation by any method or means in any part is prohibited. Title to the plans remains with Gold Medallion Homes and no transfer of title or contact with these plans shall constitute any form of business of the architect or the architect's firm.

1. THESE PLANS ARE THE PROPERTY OF GOLD MEDALLION HOMES, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND LOT SPECIFICALLY IDENTIFIED HEREON. ANY REPRODUCTION OR ALTERATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF GOLD MEDALLION HOMES, INC. IS PROHIBITED. THE USER OF THESE PLANS SHALL CONSIDER THE REVIEW OF THE ACCEPTANCE OF THE PLANS BY THE LOCAL BUILDING DEPARTMENT AS THE FINAL REVIEW OF THE ACCEPTANCE OF THE PLANS.

2 1/2" = 1'-0"



3/4" = 1'-0"



Project Name	09-A
Sheet No.	09-A
Scale	3/4" = 1'-0"
Author	
Checker	
Designer	
Project No.	
Lot No.	
Block No.	
Subdivision	
City	
State	
Zip	
Notes	

PRINTED DATE: 10/22/13



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ROOF



SOFFIT/FASCIA



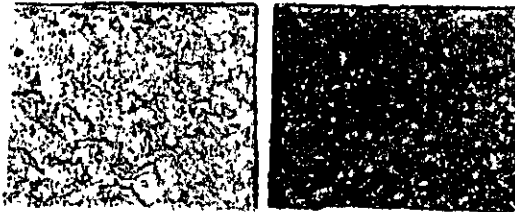
SHAKE



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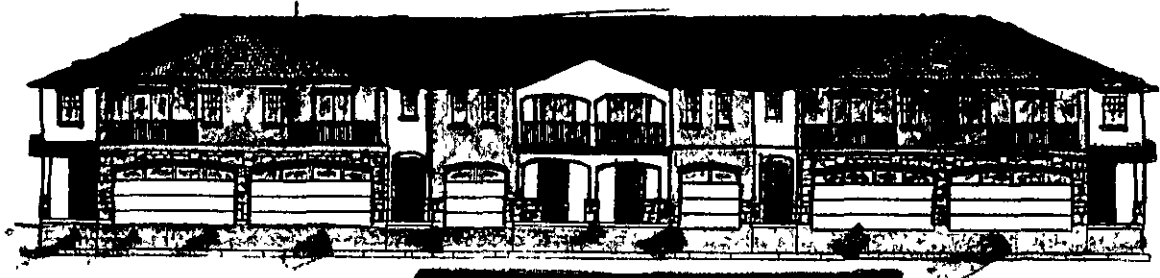


GARAGE



STACKED FLATS





ROOF



SOFFIT/FASCIA

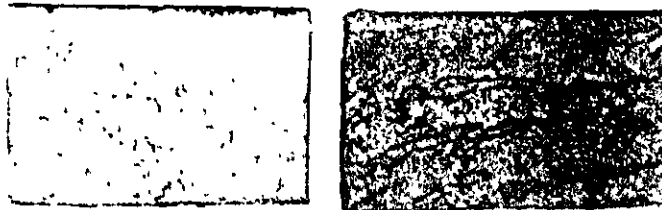


SHAKE

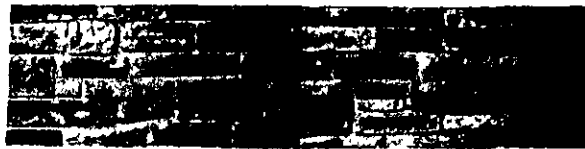
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STUCCO



STONE



GARAGE

STACKED FLATS





ROOF



SOFFIT/FASCIA



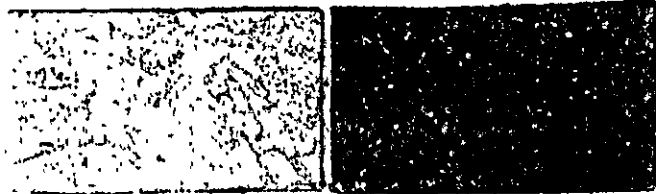
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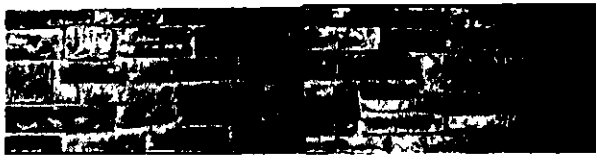
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STUCCO



STONE

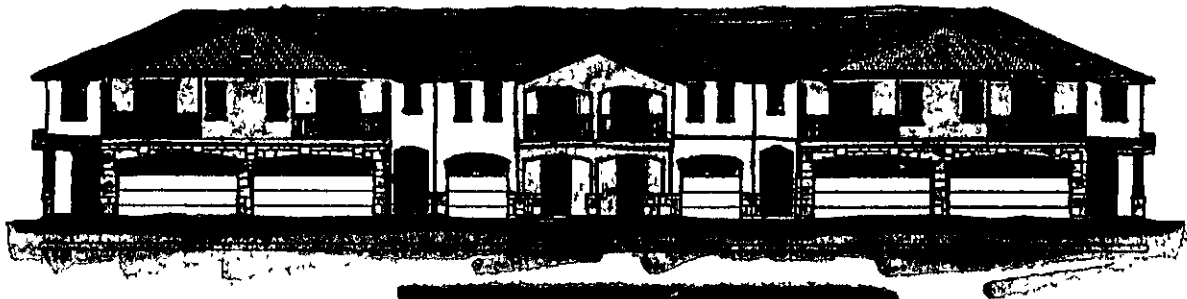


GARAGE



STACKED FLATS





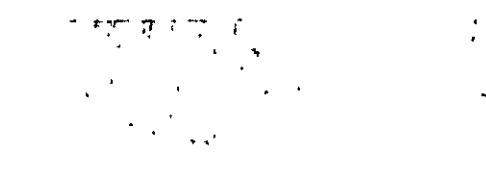
ROOF



SOFFIT/FASCIA



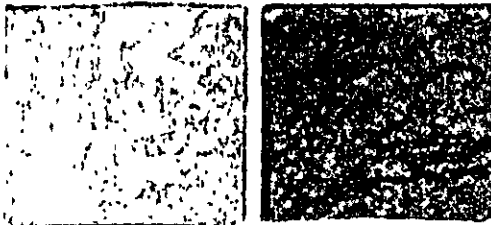
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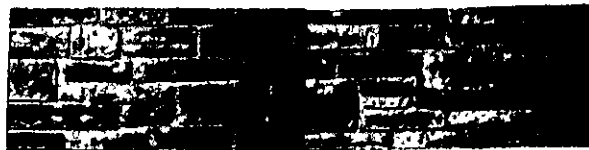
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STUCCO



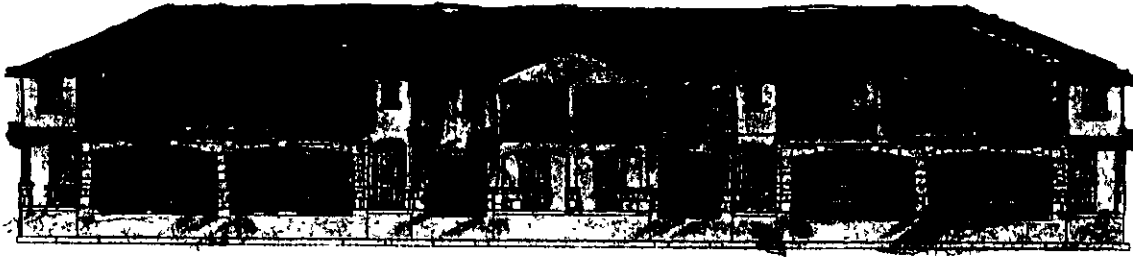
STONE



GARAGE

STACKED FLATS





ROOF



SOFFIT/FASCIA



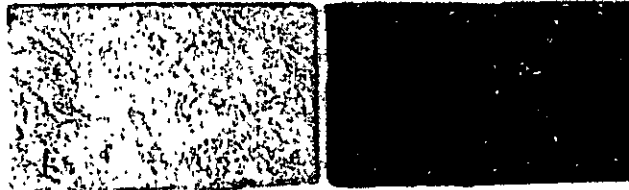
SHAKE



ACCENT



STUCCO



STONE



GARAGE



STACKED FLATS





ROOF



SOFFIT/FASCIA



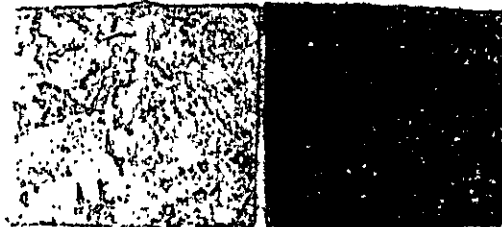
SHAKE



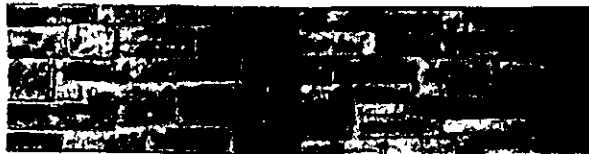
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STUCCO



STONE



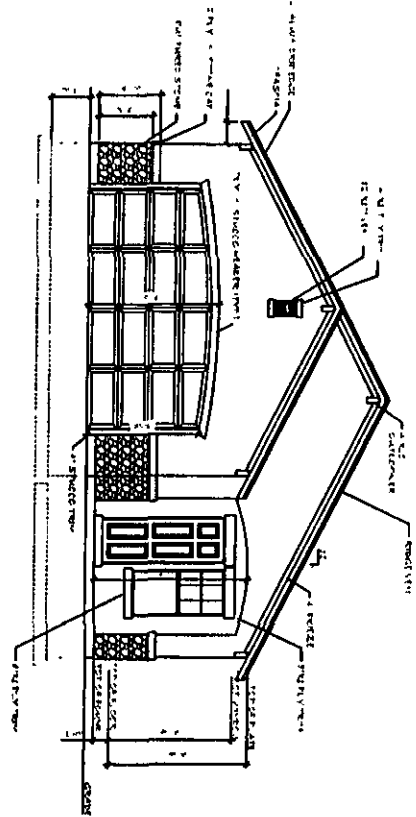
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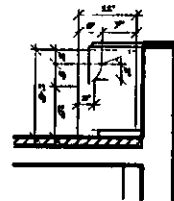
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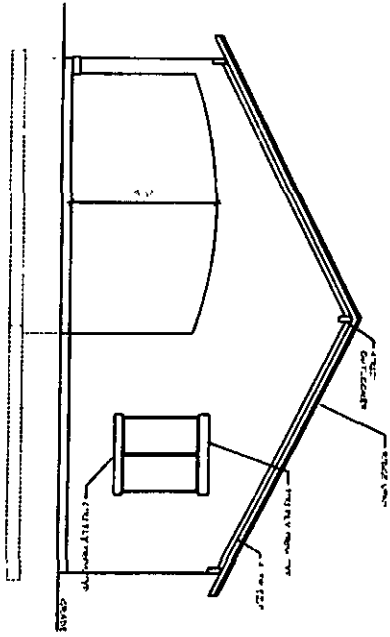
A FRONT ELEVATION



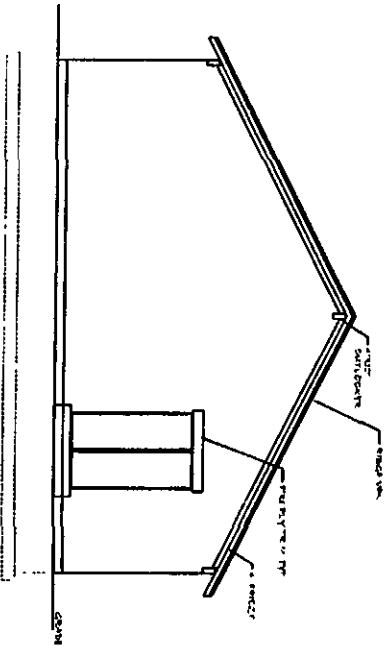
CORBAL DETAIL



A OPT. 2 BEDROOM REAR ELEVATION



A REAR ELEVATION



PINEAE 1

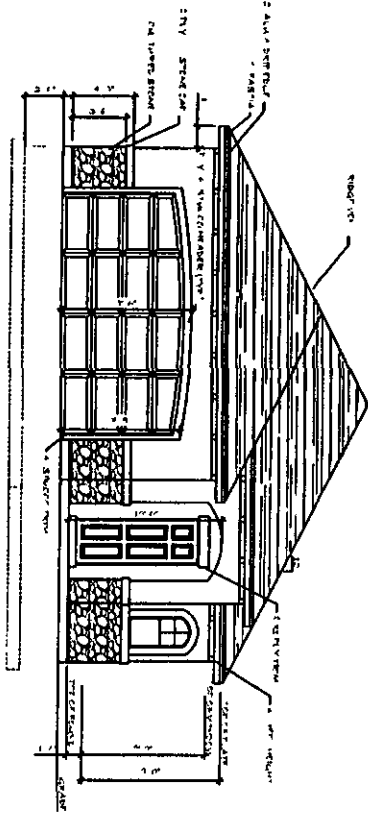
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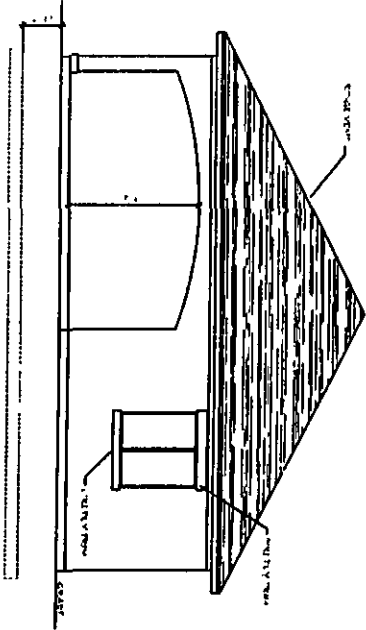
Gold Medallion Homes
7500 SOUTH 260 WEST
SUITE 100
TAMPA, FL 33629
TEL: 813 944-2211
FAX: 813 944-2260

BLANKI
PINEAE VILLAGE
CENTREVILLE LA 70424

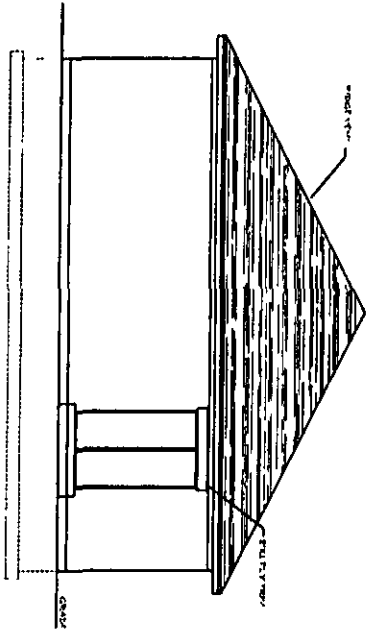
5A



B FRONT ELEVATION



B OPT. 2 BEDROOM REAR ELEVATION



B REAR ELEVATION

PINEAE 1

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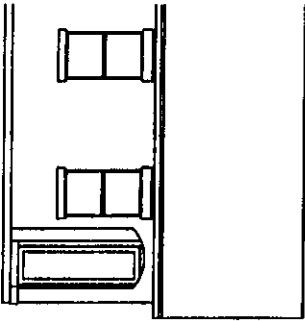
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FOR MORE INFO CONTACT:
 COLD MEDALLION HOMES
 3300 S. SOUTHWEST
 SUITE 1000 LIFT 8000
 TULSA, OKLAHOMA 74106
 FAX: 918.491.2500

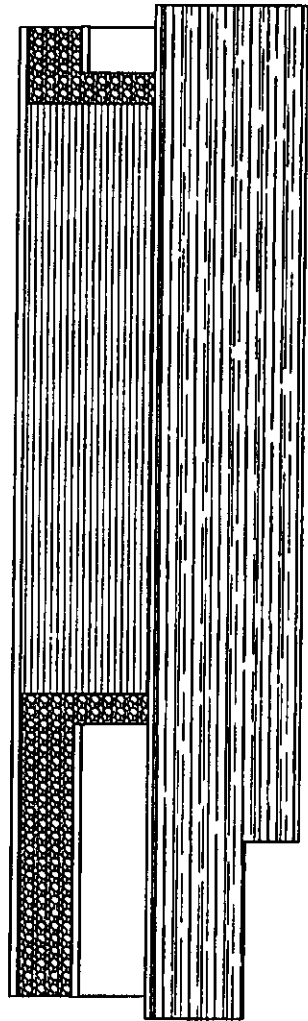
Project Name and Address:
 PINEAE VILLAGE
 CENTREVILLE UT 84304

Drawn: TERRY A. JAMES
 Checked: E. E. ANDRZEJCZAK
 Date: 10/1/2023
 Scale: 1/8" = 1'-0"
5B

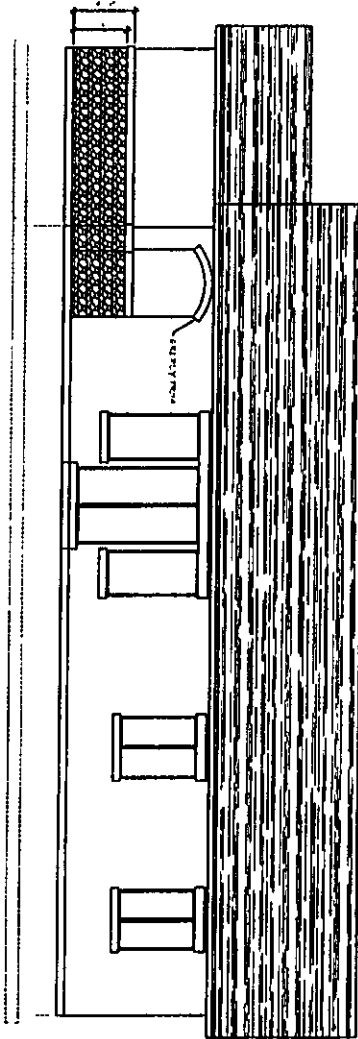
OPT. 2 BEDROOM LAYOUT



A LEFT SIDE ELEVATION

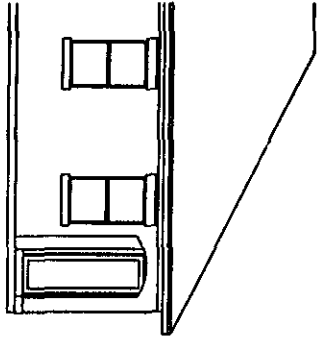


A RIGHT SIDE ELEVATION

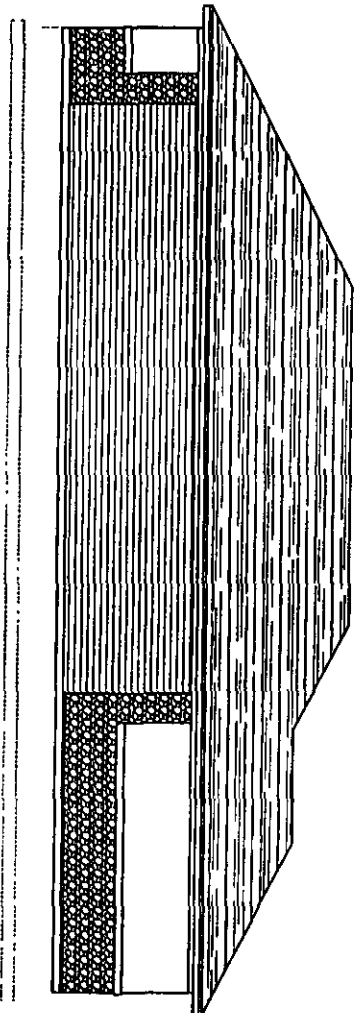


PINEAE 1

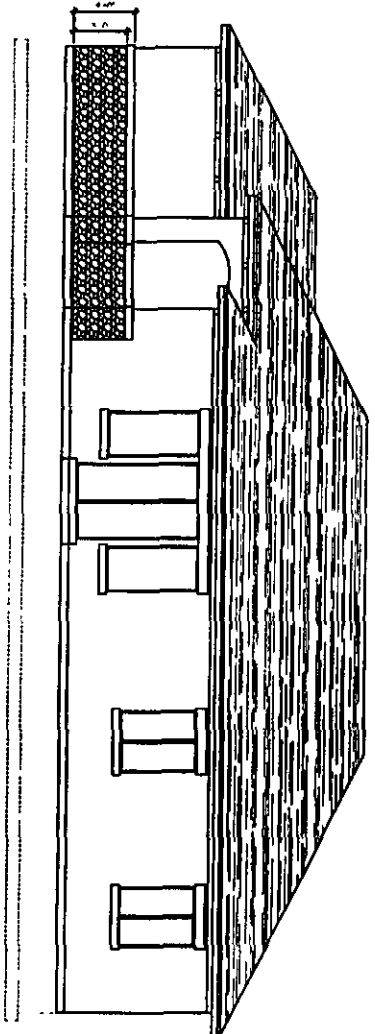
<p>Scale: 1/8" = 1'-0"</p> <p>DATE: 1/27/07</p> <p>PROJECT: OPT. 2 BEDROOM LAYOUT</p> <p>6A</p>	<p>PLAN I PINEAE 1 LAGE CENTERVILLE AR 64214</p>	<p>THE HOME DEPOT</p> <p>6000 SOUTHWEST HWY SUITE 100 CENTRAL AR 72004 TEL: 501.528.2533 FAX: 501.528.2533</p>	<p>© 2003 All Rights Reserved</p> <p>Gold Medallion Homes</p> <p>The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or utilization by any method, in whole or in part, is prohibited. This to the plans remain with Gold Medallion Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.</p>
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OPT. 2 BEDROOM LAYOUT



B LEFT SIDE ELEVATION



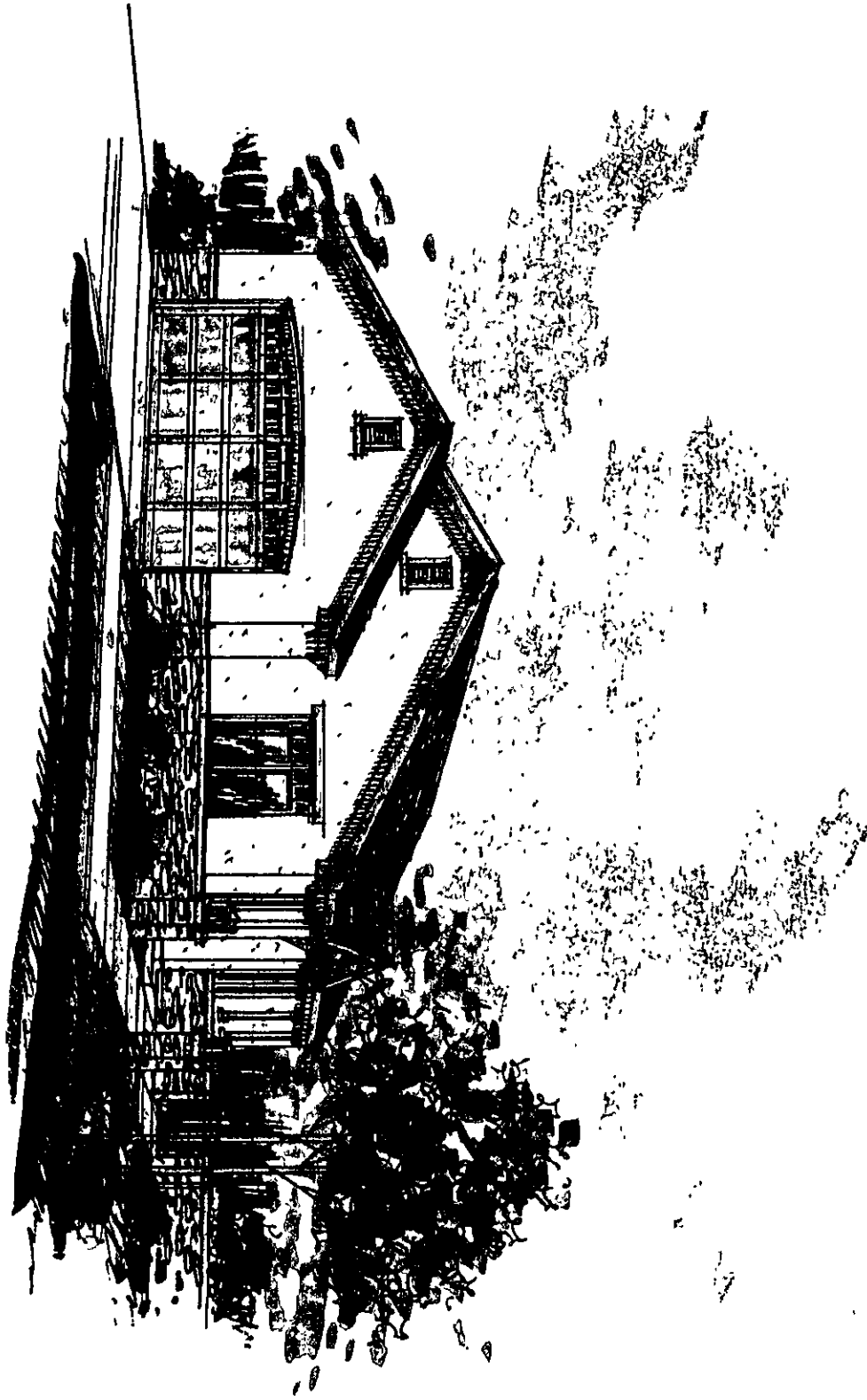
B RIGHT SIDE ELEVATION

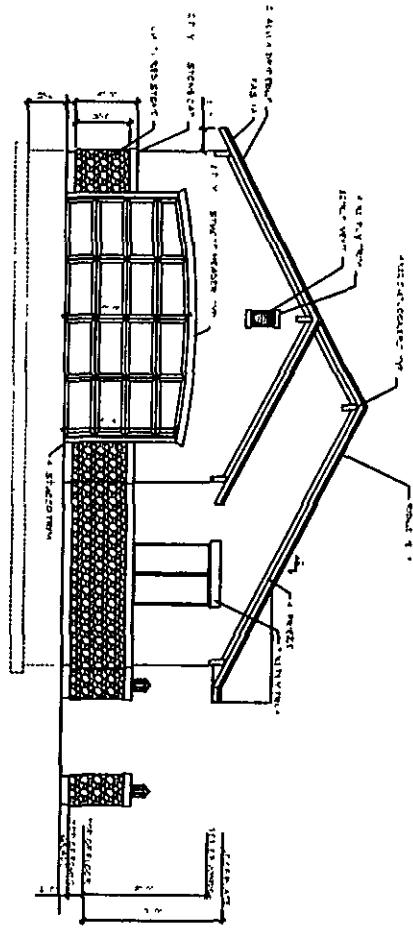
<p>6E</p>		<p>DATE: 1/27/08</p>
<p>PROJECT: PINEAE 1</p>		<p>SCALE: 1/8" = 1'-0"</p>
<p>CLIENT: GOLD MEDALLION HOMES</p>		<p>DATE: 1/27/08</p>
<p>ADDRESS: 1970 SOUTH 300 WEST, KIRBYVILLE UT 84034</p>		<p>DATE: 1/27/08</p>
<p>DESIGNER: [Name]</p>		<p>DATE: 1/27/08</p>
<p>DATE: 1/27/08</p>		<p>DATE: 1/27/08</p>

PINEAE 1

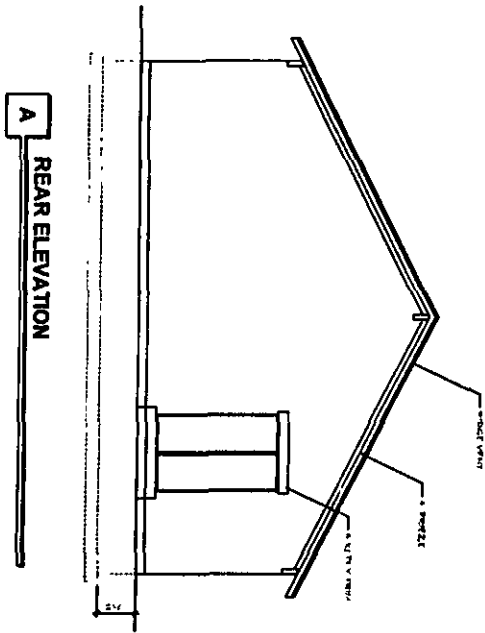
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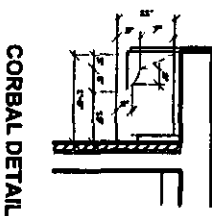
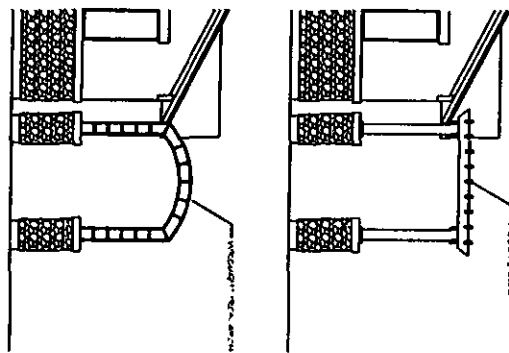




A FRONT ELEVATION



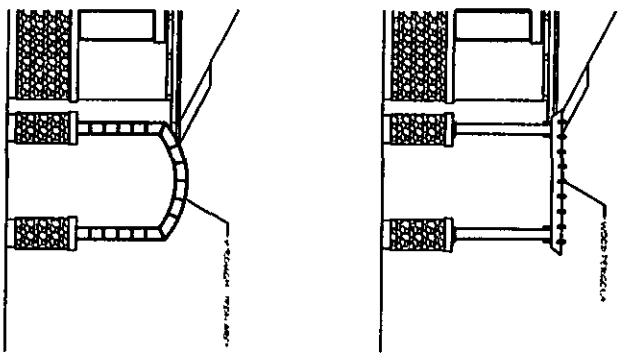
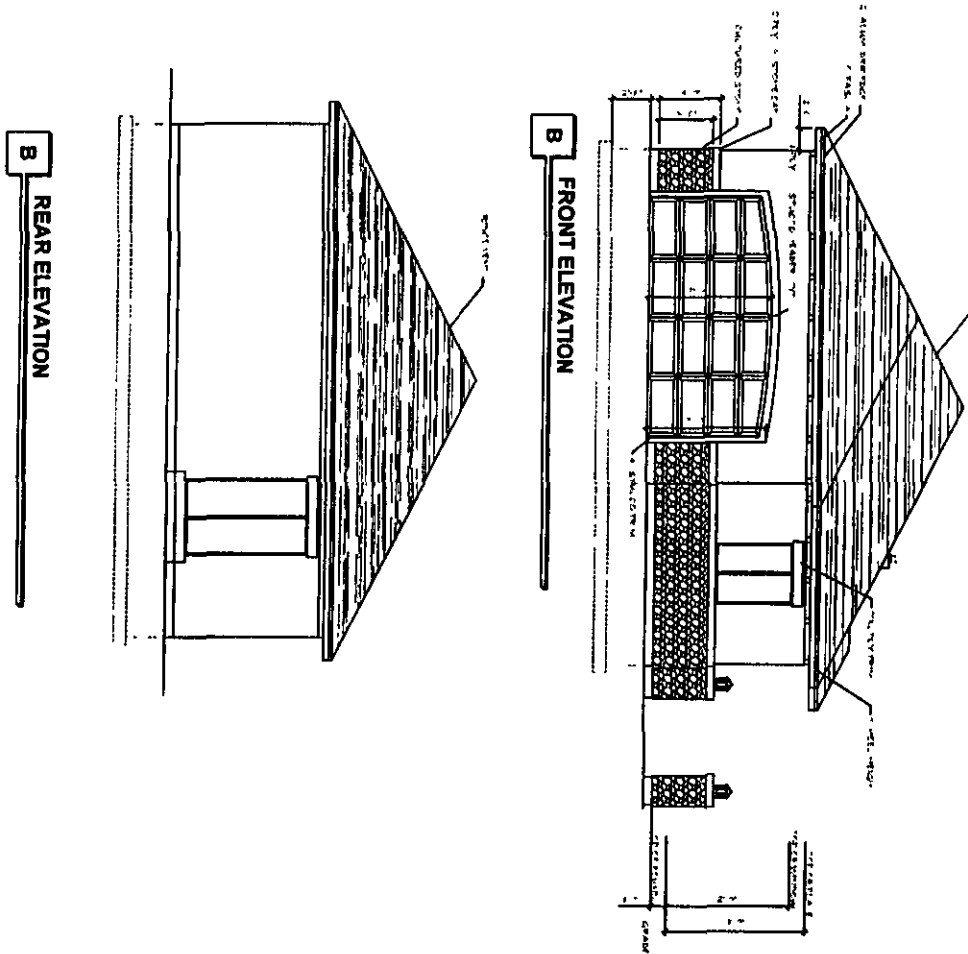
A REAR ELEVATION



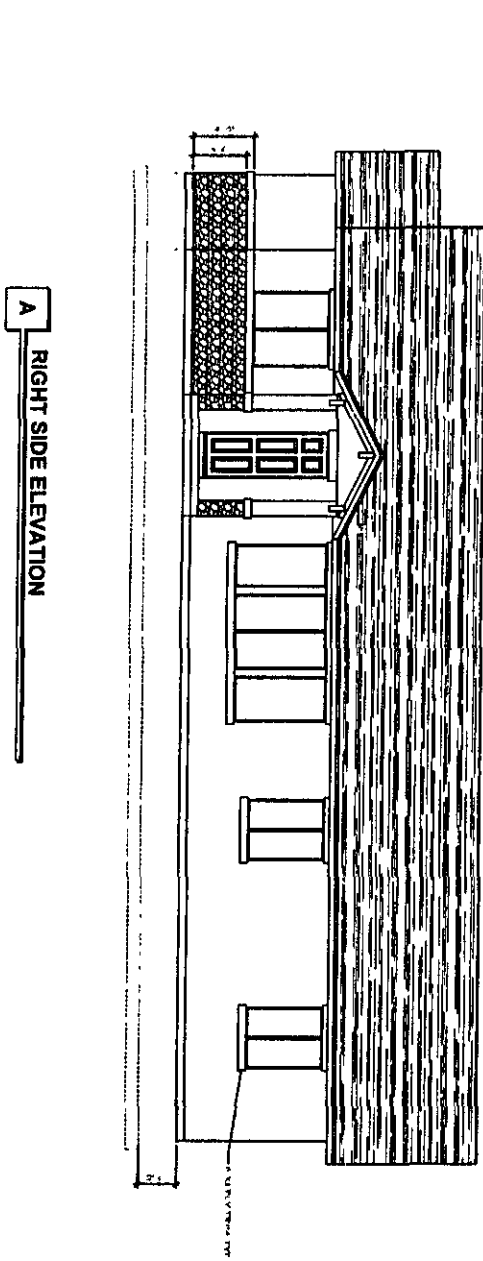
CORBAL DETAIL

PINEAE 2

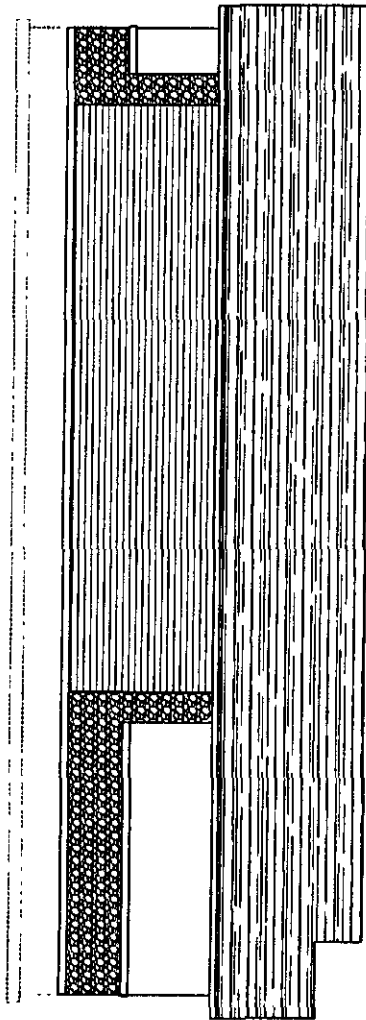
<p>FRONT ELEVATION REAR ELEVATION CORBALS CORBALS</p>		<p>Gold Medallion Homes © 2003 All Rights Reserved</p>	<p>The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or alteration by any method, in whole or in part, is prohibited. Title to the plans remains with Gold Medallion Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.</p>
<p>PLANT 2 PINEAE 2 CRENSHAWVILLE KY 40324</p>			
<p>Gold Medallion Homes 2000 W. WOODBURN AVENUE SUITE #100 MINDACO KY 40348 TEL: 502.564.0115 FAX: 502.564.0266</p>		<p>SA</p>	



<p>FRONT AND REAR ELEVATIONS LAUNCH 1:20 = 1/4"</p>	<p>5B</p>	<p>PINEAE 2</p>	<p>The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or alteration by any method, in whole or in part, is prohibited. Title to the plans remains with Gold Medallion Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.</p> <p>Gold Medallion Homes © 2000 All Rights Reserved</p>
<p>DATE: 12/15/00 DRAWN BY: J. WALLACE CHECKED BY: J. WALLACE APPROVED BY: J. WALLACE</p>		<p>DATE: 12/15/00 DRAWN BY: J. WALLACE CHECKED BY: J. WALLACE APPROVED BY: J. WALLACE</p>	



A RIGHT SIDE ELEVATION



A LEFT SIDE ELEVATION

Gold Medallion Homes
 5800 S. GARDEN WAY, SUITE 100
 MARYVALE, UT 84044
 TEL: 801.569.0213
 FAX: 801.569.0260

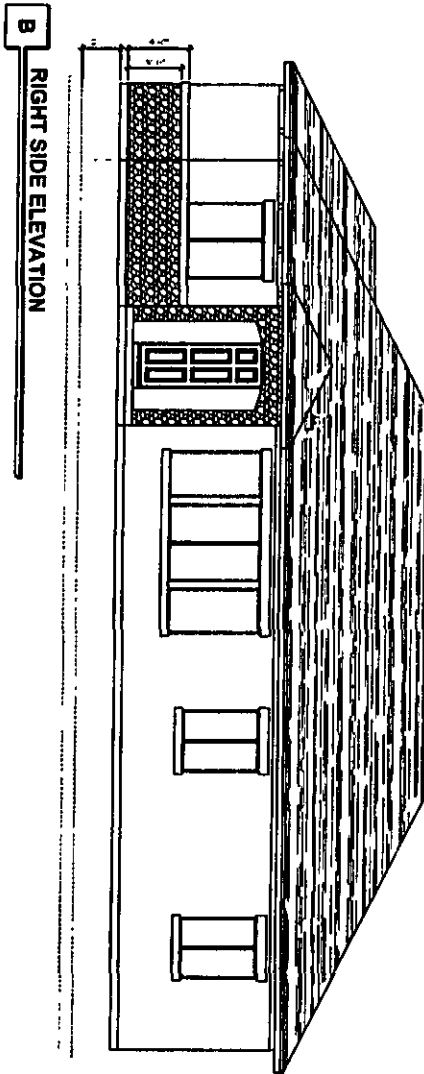
PINEAE 2

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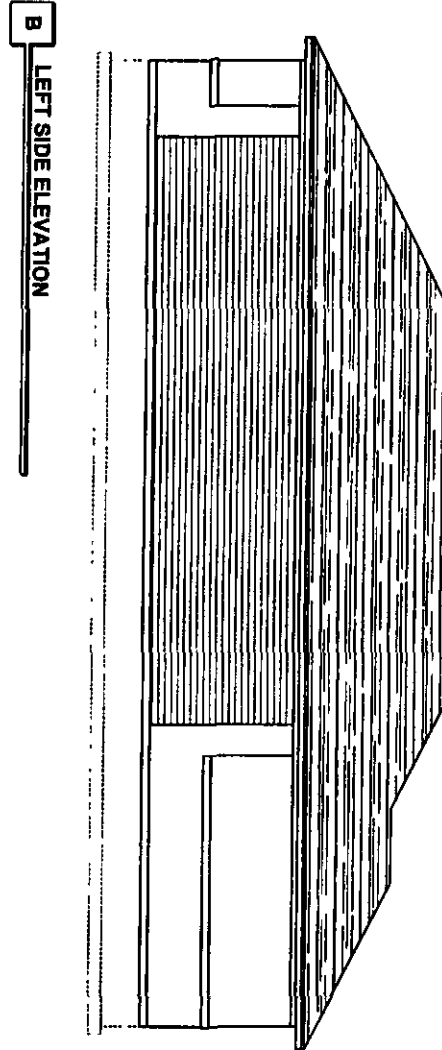
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6A
 SIDE ELEVATIONS
 JAN 03
 TYP. = 1/8"

PLAN 2 BRILLIANT
 CENTREVILLE UT 84014



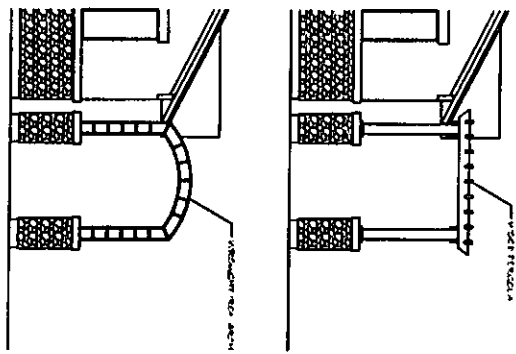
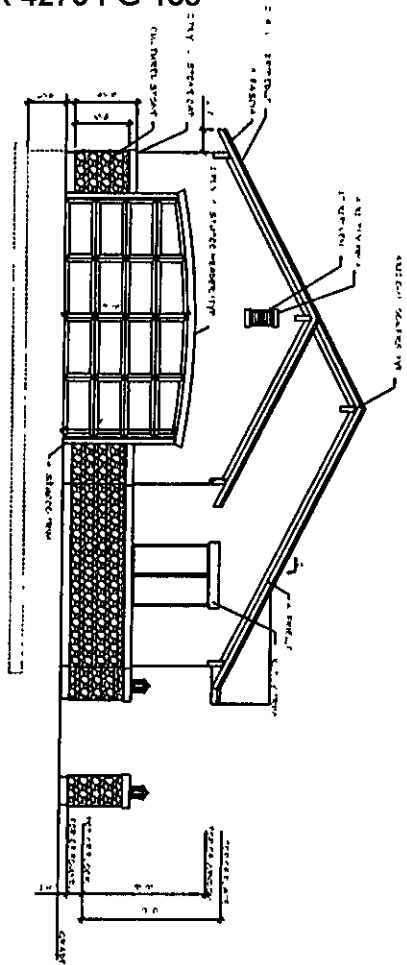
B RIGHT SIDE ELEVATION



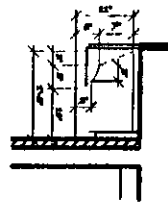
B LEFT SIDE ELEVATION

<p>DATE: 3/27/11 DRAWN BY: J. ANTONI SCALE: 1/8" = 1'-0"</p> <p>6B</p>	<p>PROJECT NAME AND ADDRESS: PINEAE VILLAGE CENTERVILLE UT 84214</p>	<p>DATE: 3/27/11 DRAWN BY: J. ANTONI SCALE: 1/8" = 1'-0"</p>	<p>PINEAE 2</p>	<p>The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. No sale, reproduction, or publication by any method, in whole or in part, is prohibited. Title to the plans remains with Gold Medallion Homes without prejudice. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.</p> <p>Gold Medallion Homes 2011 © 2011 All Rights Reserved</p>
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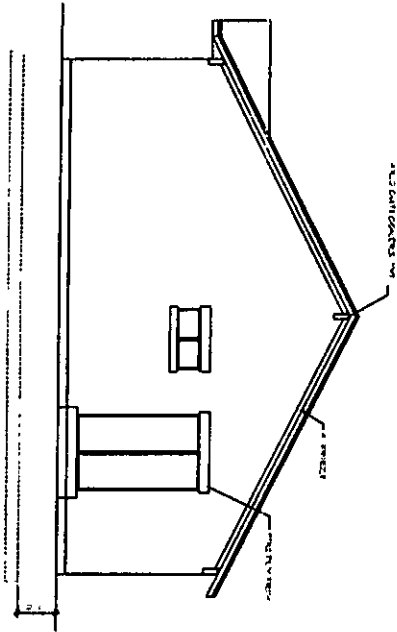
A FRONT ELEVATION



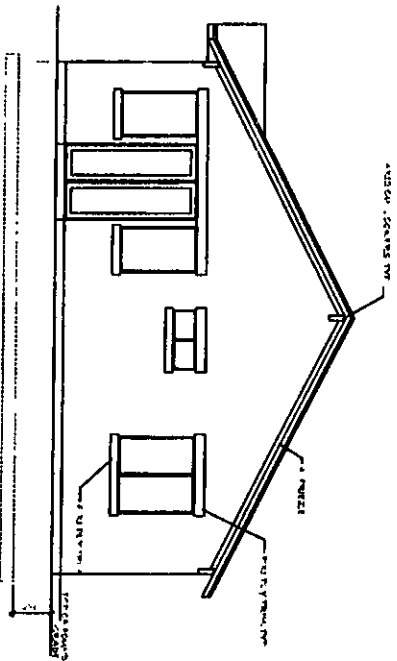
CORBAL DETAIL



A REAR ELEVATION



A OPT. REAR ELEVATION



PINEAE 3

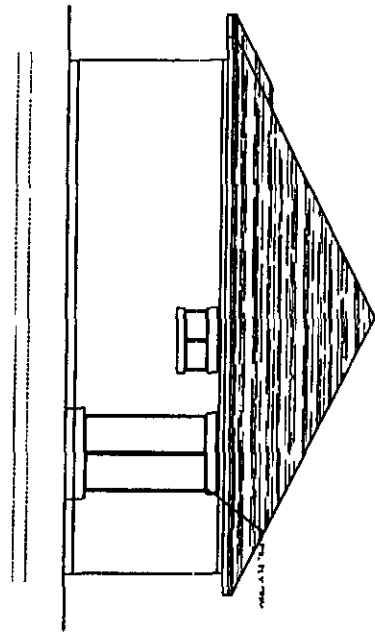
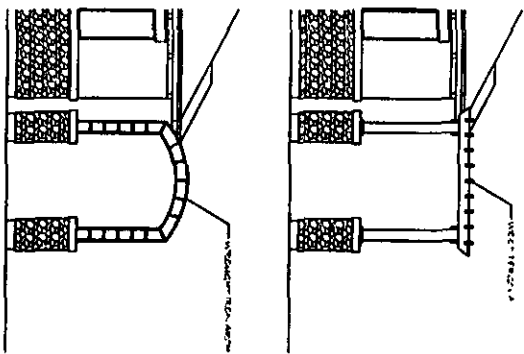
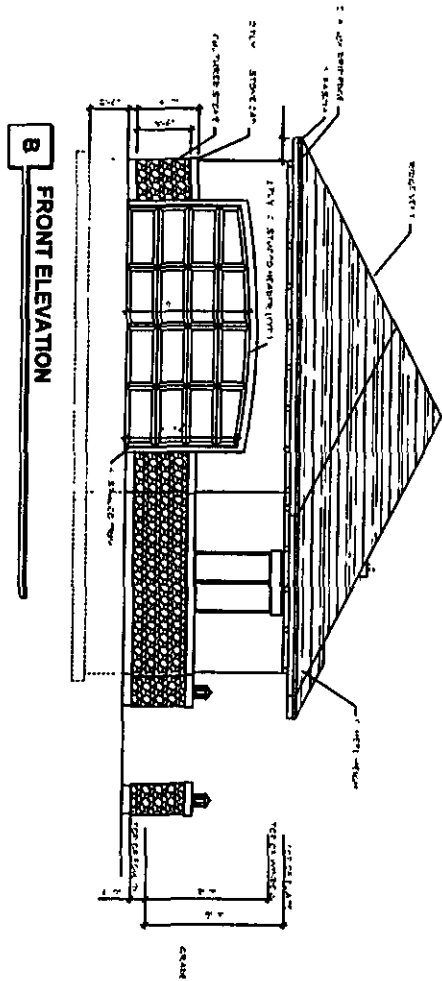
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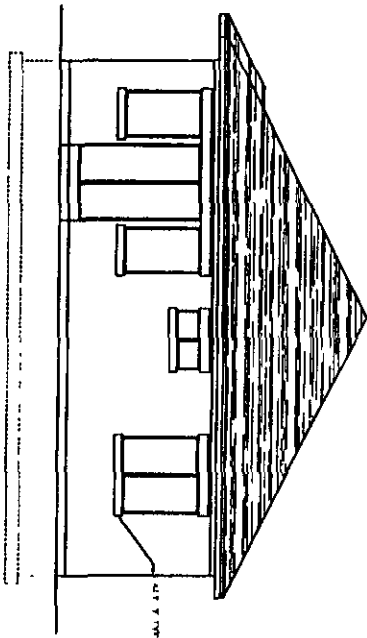
Old Medallion Homes
3300 SOUTH 200 WEST
SALT LAKE CITY, UT 84144
TEL: 801-564-0880
FAX: 801-564-0880

Plan 2
PINEAE VILLAGE
CENTREVILLE, UT 84024

SA



B REAR ELEVATION



B OPT. REAR ELEVATION

PINEAE 3

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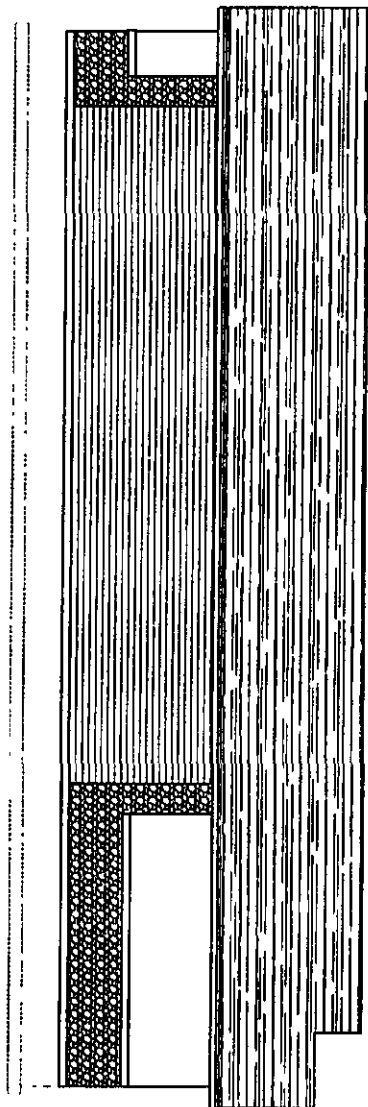
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GOLD MEDALLION HOMES
3500 SOUTH HICKORY WEST
MARIETTA, GA 30067
TEL: 770.595.0015
SALES@GOLDMEDALLION.COM

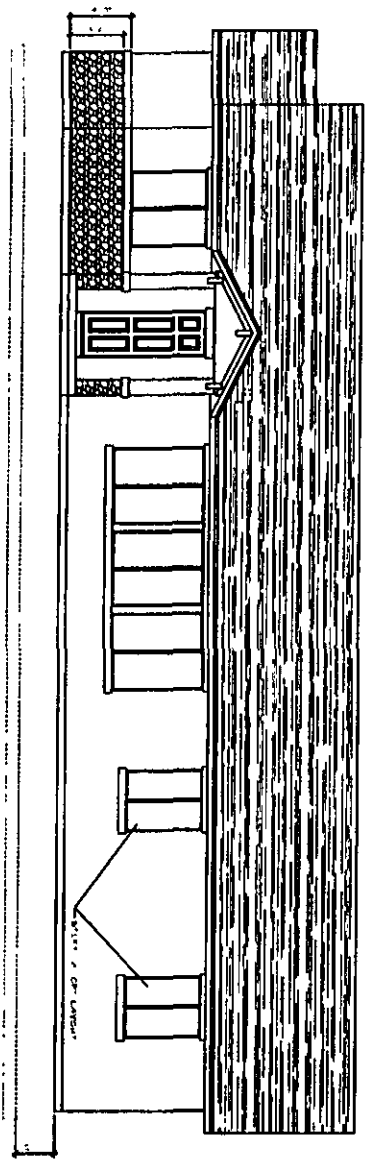
PLAN 2
PINEAE VILLAGE
CENTREVILLE, VA 24124

ESSENTIAL
PLAN ELEVATION
JAN 03
1 1/2 - 1 1/2
5B

A LEFT SIDE ELEVATION



A RIGHT SIDE ELEVATION



PINEAE 3

SHEET NO. 6A
 SCALE 1/4" = 1'-0"
6A

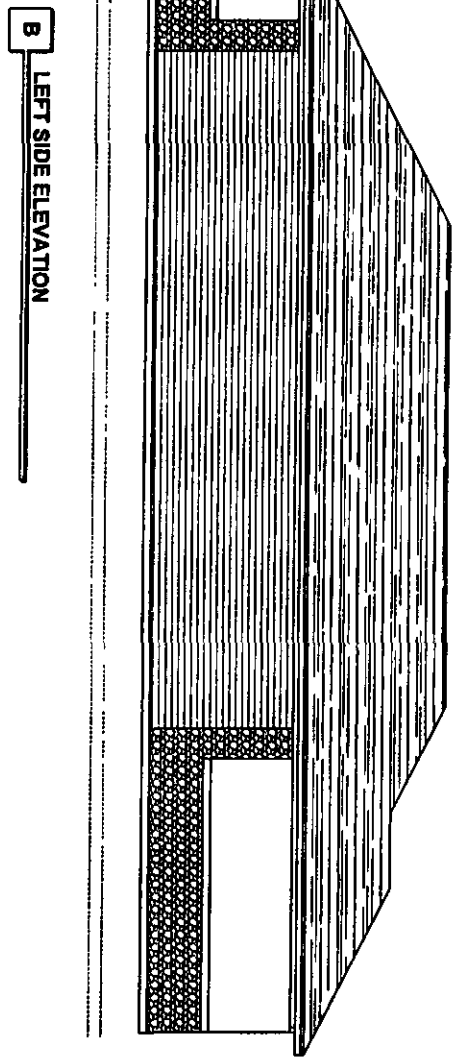
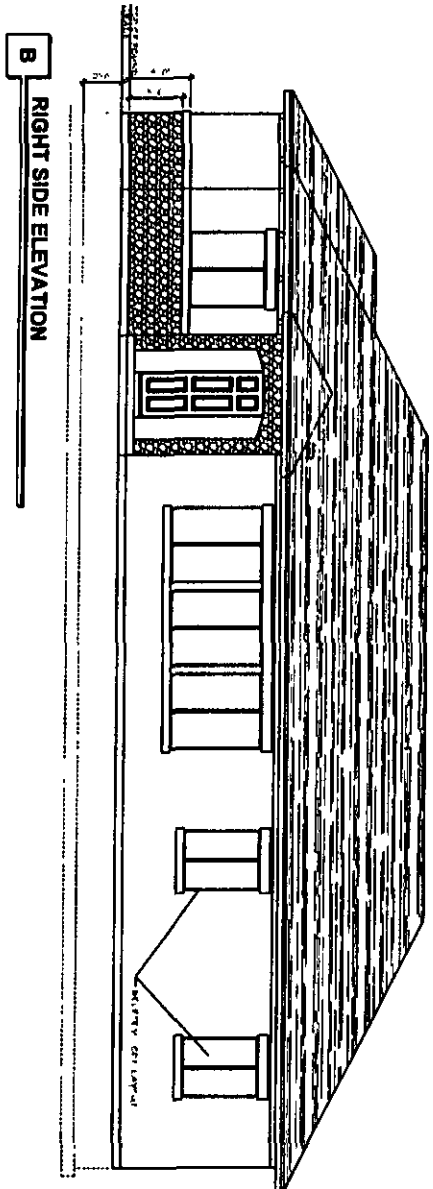
PLAN 1
 PINEA VILLAGE
 CENTREVILLE, VA 20104

Gold Medallion Homes
 5400 SADDLE CREEK DRIVE
 SUITE 200
 MIDVALE, VA 24120
 TEL 804 544 0225
 FAX 804 544 0280

No.	Revisions/Notes	Date

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6B

Project Name and Address
 PINEAE 3
 1000 S. VALLEY
 CENTREVILLE, VA 20104

Architect
 Cold Medication Homes
 1000 S. VALLEY
 CENTREVILLE, VA 20104

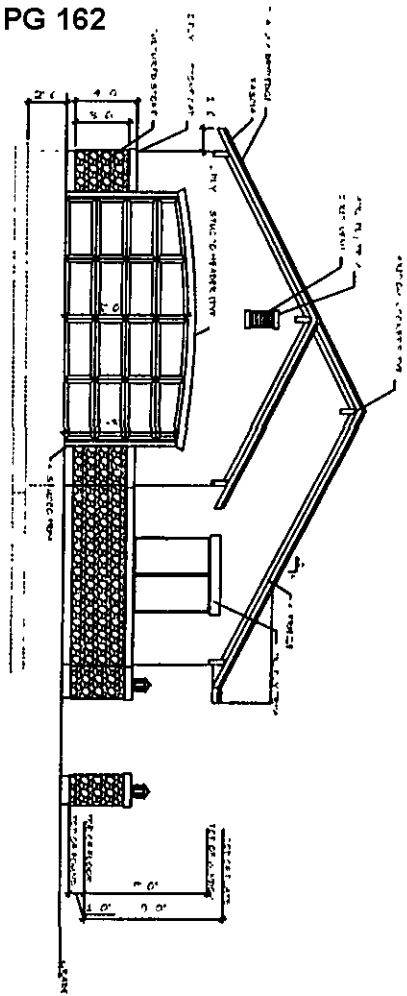
No.	Revision/Notes	Date

PINEAE 3

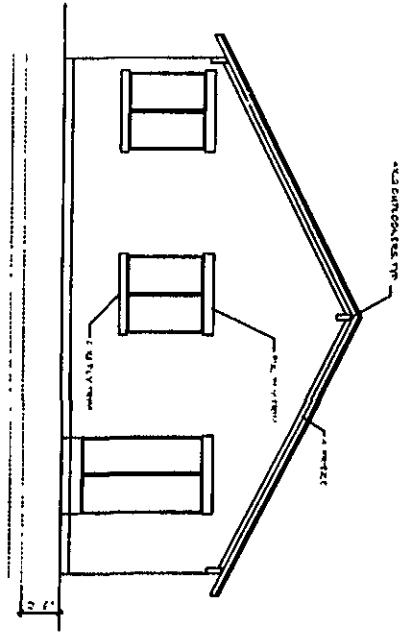
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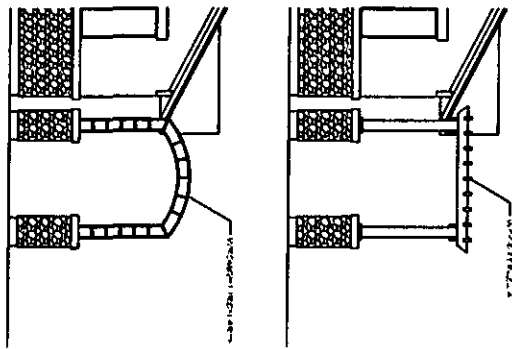
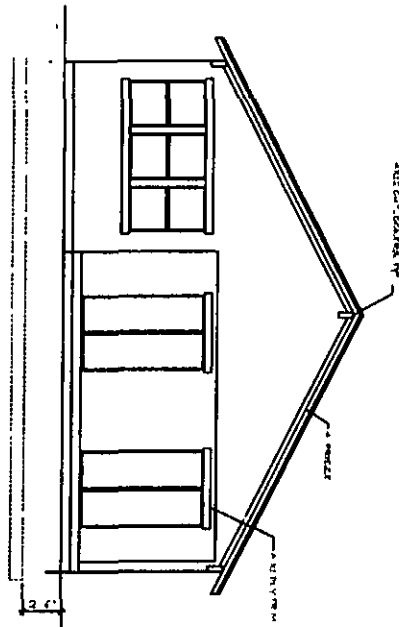
A FRONT ELEVATION



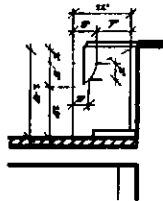
A STANDARD REAR ELEVATION



A OPT. REAR ELEVATION



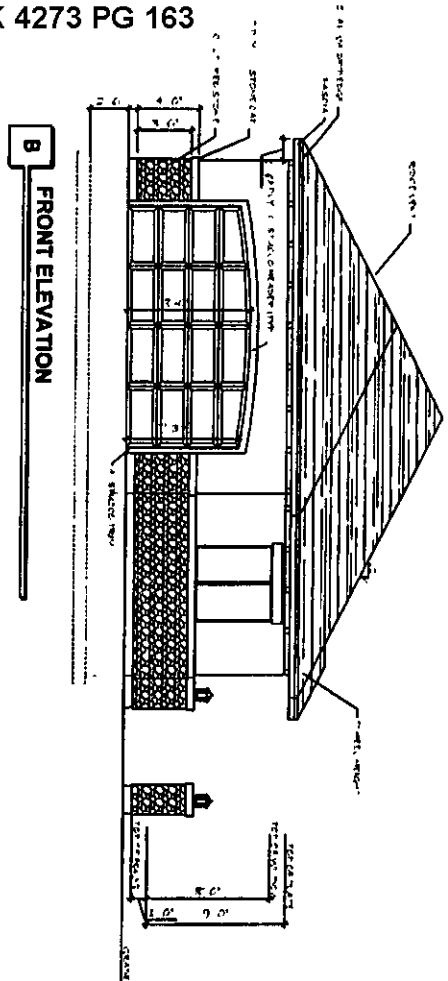
CORBAL DETAIL



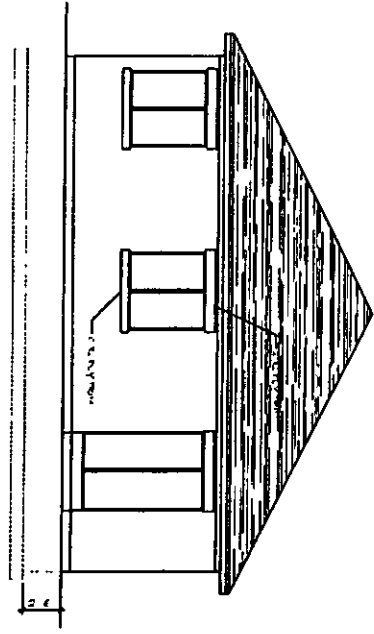
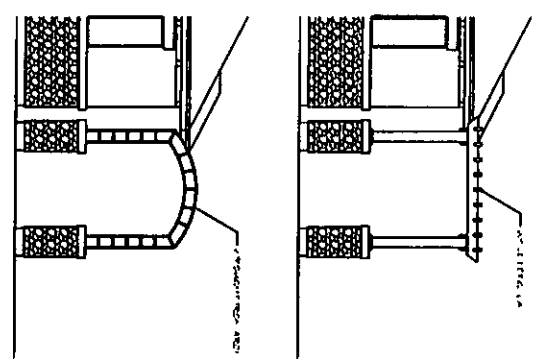
PINEAE 4

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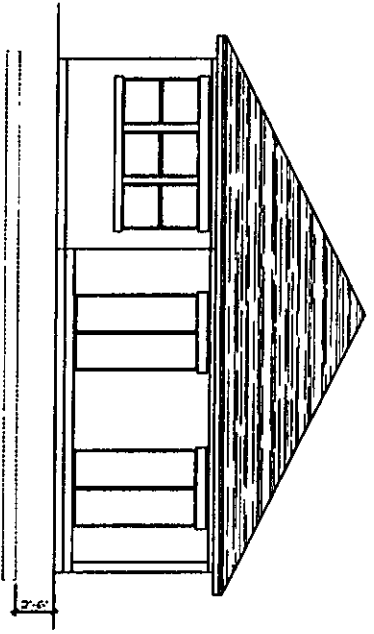
5A



B FRONT ELEVATION



B STANDARD REAR ELEVATION



B OPT. REAR ELEVATION

PINEAE 4

PROJECT NAME	REPORT NUMBER
DATE	SCALE
DESIGNER	DATE
CHECKED	DATE
APPROVED	DATE

5B

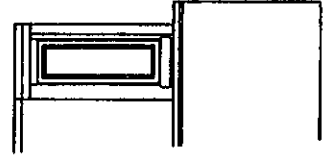
GOLD MEDALLION HOMES
 2000 S. HIGHWAY 100 WEST
 MOUNTAIN VIEW, UT 84040
 TEL: 801.564.0215
 FAX: 801.564.0215

PINEAE VILLAGE
 CENTER TLE UT 84024

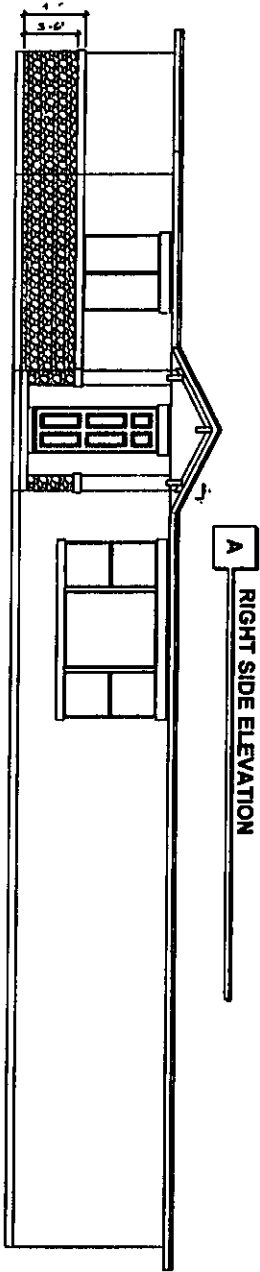
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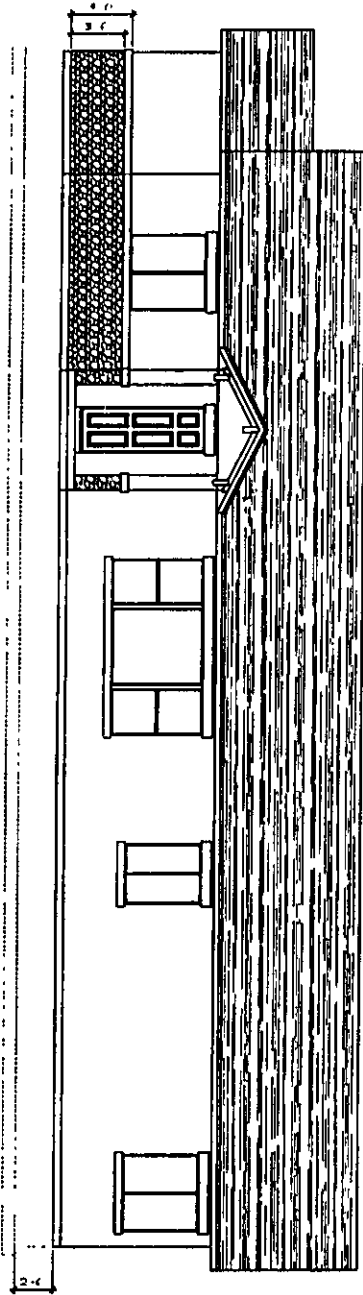
OPT PLAN



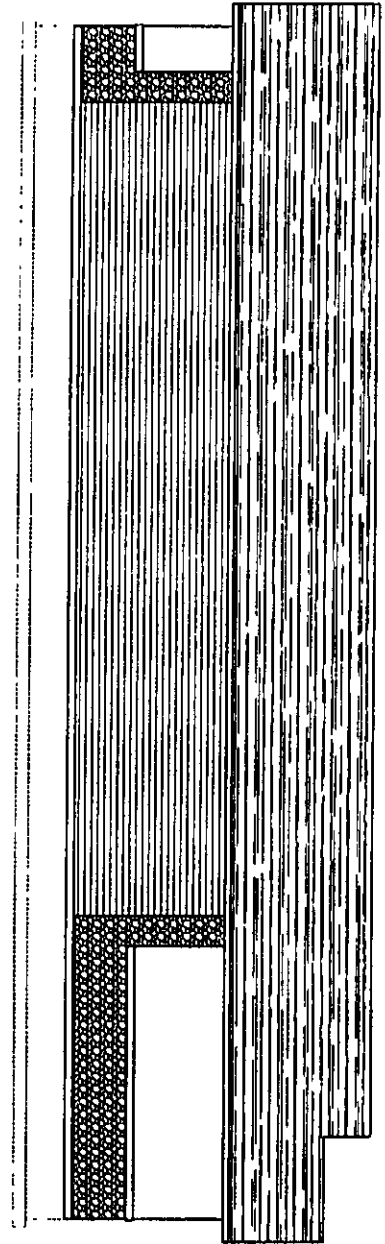
OPT. PLAN



A RIGHT SIDE ELEVATION

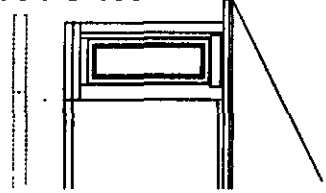


A LEFT SIDE ELEVATION

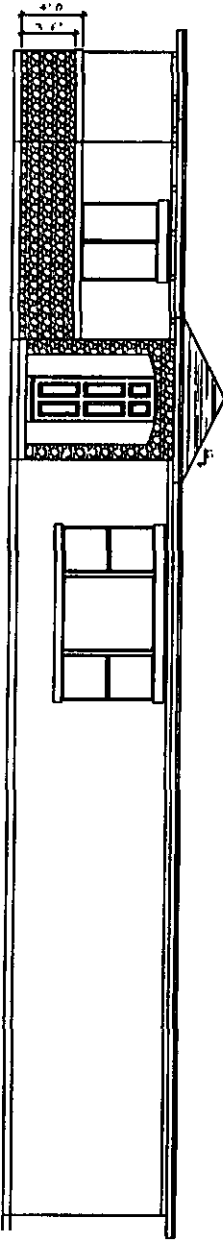


<p>Project Name PINEAE 4</p> <p>Side Elevation A</p> <p>Scale 1/8" = 1'-0"</p> <p>6A</p>	<p>Client Coldwell Banker 3800 SOUTH WISCONSIN ST MIDVALE, UT 84044 TEL: 521 504 2111 FAX: 521 504 2128</p>	<p style="text-align: center; font-size: 2em; font-weight: bold;">PINEAE 4</p>	<p>The use of these plans shall be restricted to the original project site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or utilization by any method, in whole or in part, is prohibited. Title to the plans remains with Coldwell Banker without obligation. Visual contact with these plans shall constitute prima facie evidence of the acceptance of the restrictions.</p> <p>Coldwell Banker © 2003 All Rights Reserved</p>
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OPT PLAN

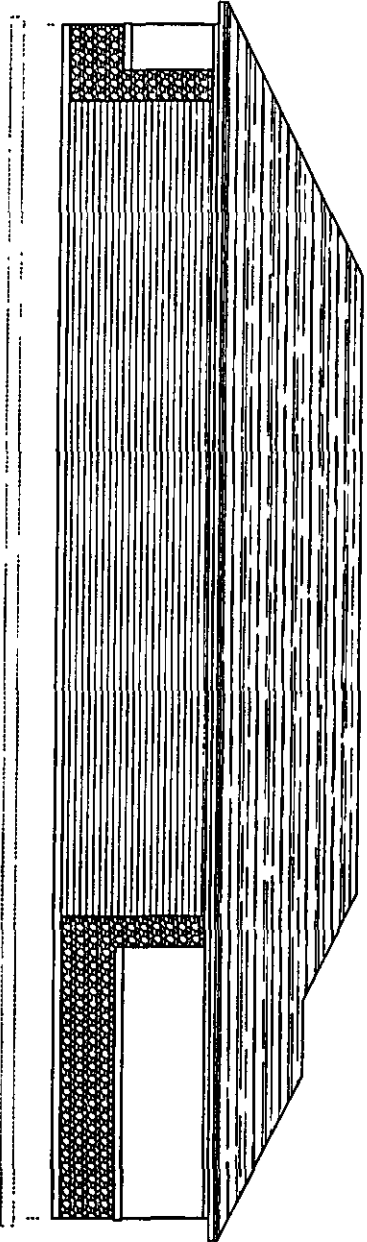
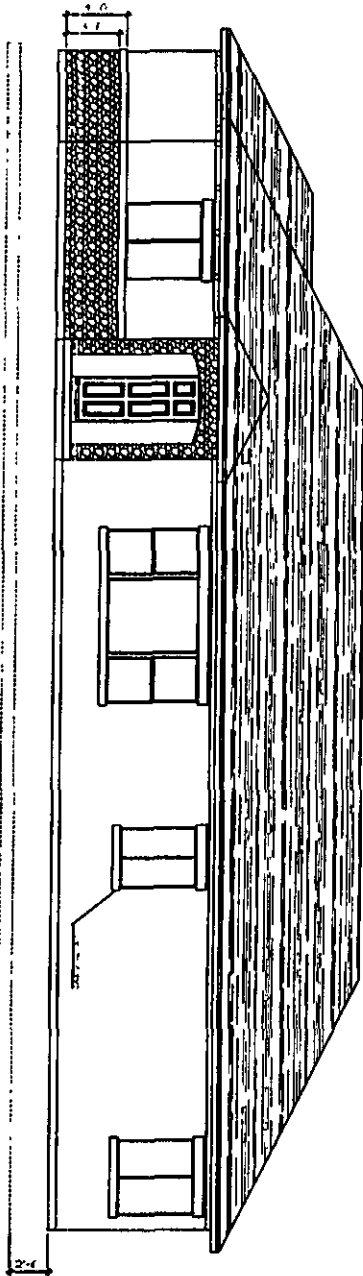


B RIGHT SIDE ELEVATION



OPT PLAN

B LEFT SIDE ELEVATION



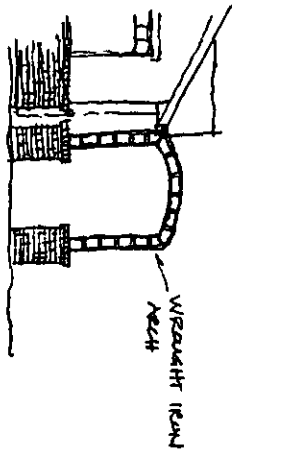
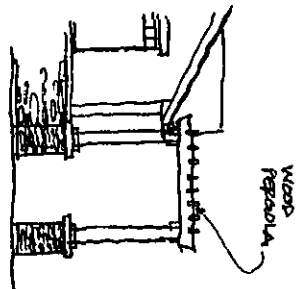
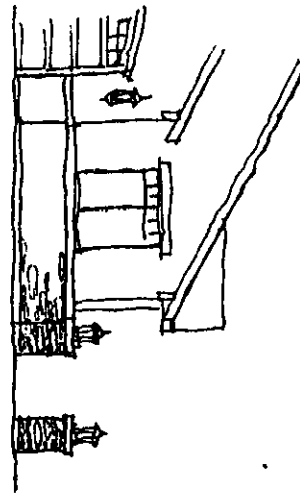
PINEAE 4

Project Name	6B
Project Number	178-415
Project Address	
Project Date	
Project Status	
Project Notes	
Project Designer	
Project Architect	
Project Engineer	
Project Contractor	
Project Subcontractor	
Project Consultant	
Project Inspector	
Project Approver	
Project Reviewer	
Project Signer	
Project Title	
Project Description	
Project Location	
Project Contact	
Project Phone	
Project Fax	
Project Email	
Project Website	
Project Social Media	
Project Other	

GOLD MEDALLION HOMES
 5400 SOUTHWEST 205TH AVENUE
 SUITE #104
 MIAMI, FL 33155
 TEL: 781.553.2115
 FAX: 781.553.2116

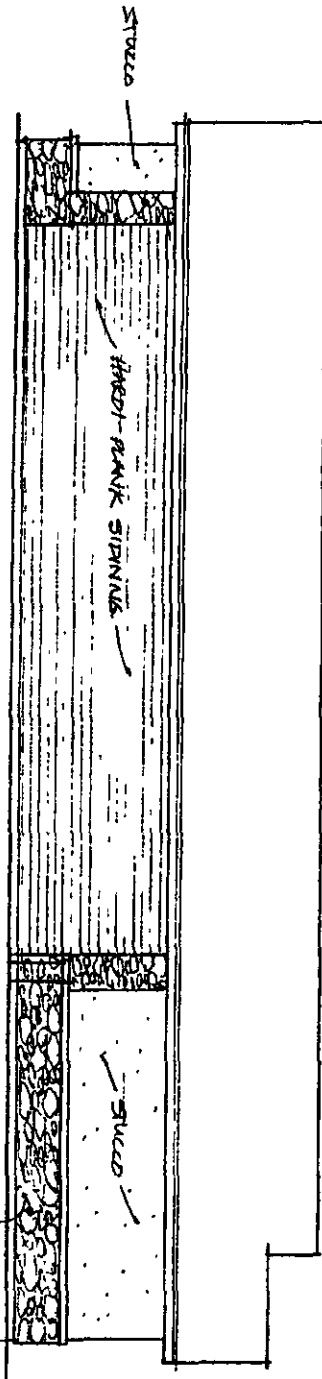
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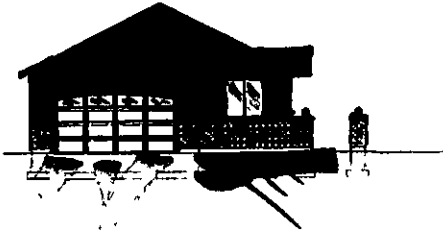
Gold Medallion Homes
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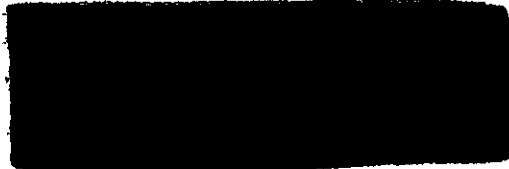
SIDE ELEVATION

1/8" = 1'-0"





ROOF



SOFFIT/FASCIA



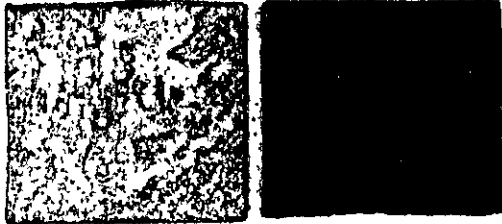
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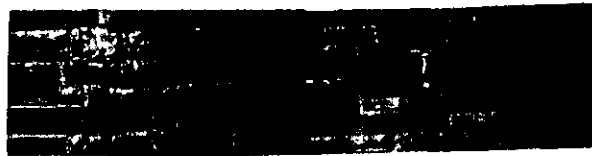
ACCENT



STUCCO



STONE



GARAGE





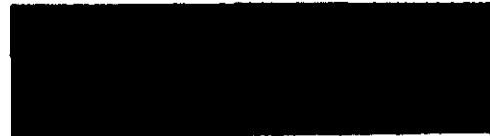
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SOFFIT/FASCIA



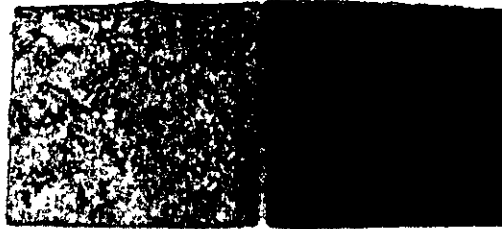
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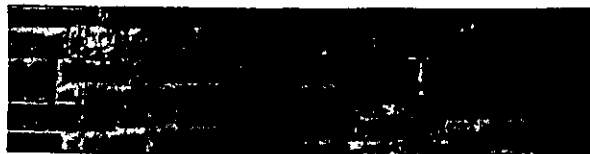
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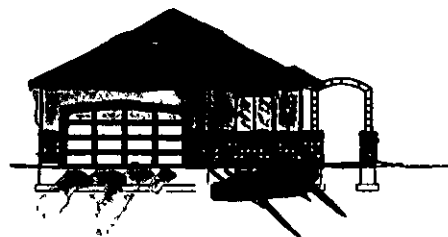
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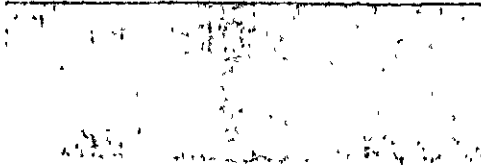
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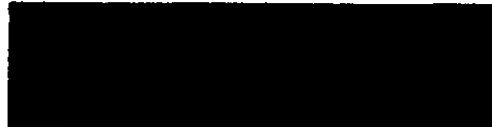
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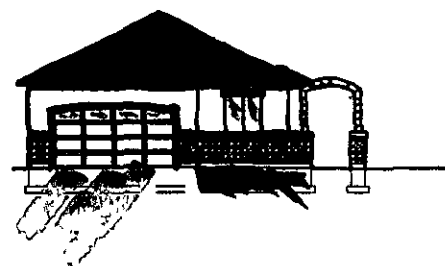
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GARAGE





ROOF



SOFFIT/FASCIA



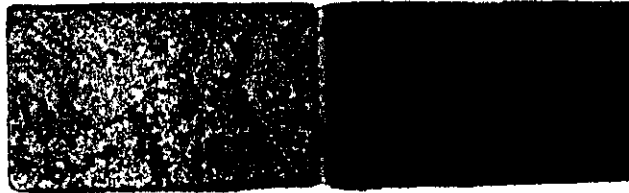
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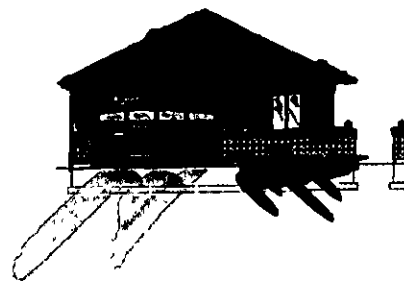
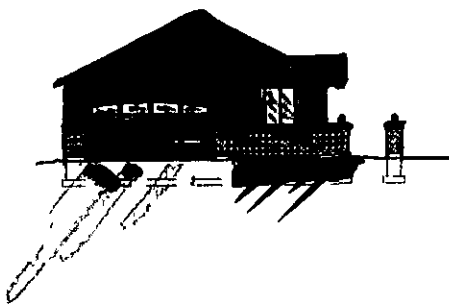
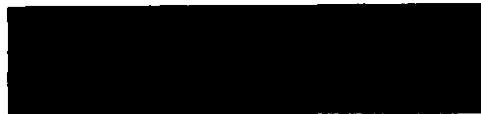
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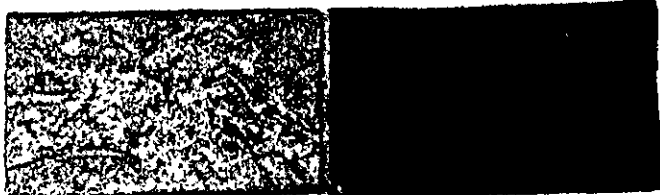
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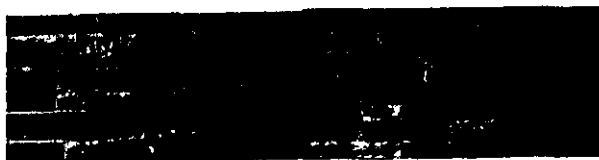
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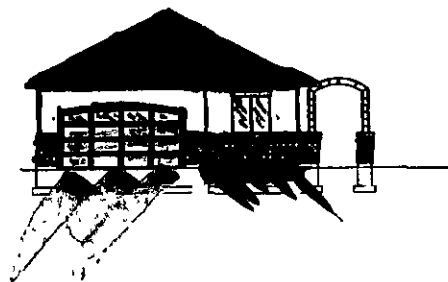
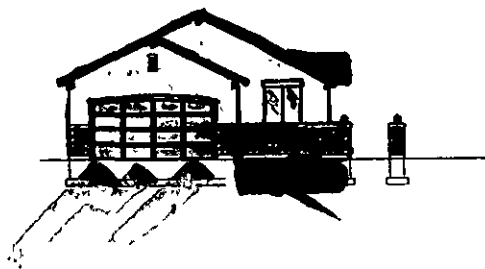
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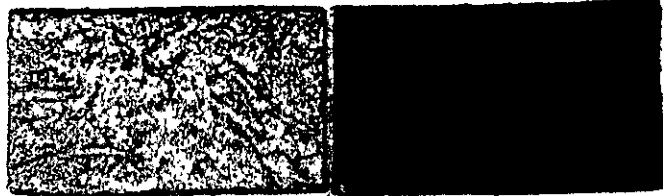
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