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08/10/2023 04:28 PM By: dsalazar Fees: \$0.00
Rashelle Hobbs, Recorder, Salt Lake County, Utah
Return To: HERRIMAN CITY
5355 W HERRIMAN MAIN ST HERRIMAN, UT 84096



When recorded, mail to:

Herriman City Recorder
5355 West Herriman Main Street
Herriman, UT 84096

Affects Parcel No(s): 26-27-226-003-0000

LONG TERM STORMWATER MANAGEMENT AGREEMENT

This Long-Term Stormwater Management Agreement ("Agreement") is made and entered into this 1 day of AUGUST, 2023, by and between Herriman, a Utah municipal corporation ("City"), and EDGE HOMES UTAH, LLC a LIMITED LIABILITY COMPANY ("Owner").

RECITALS

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters within the MS4, as set forth in the Herriman City Stormwater Ordinance, as amended ("Ordinance"), adopted pursuant to the Utah Water Quality Act, as set forth in *Utah Code Ann.* §§ 19-5-101, *et seq.*, as amended ("Act"); and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in Exhibit "A," attached hereto and incorporated herein by this reference ("Property"); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; and

WHEREAS, in order to accommodate and regulate these anticipated changes in existing storm and surface water flow conditions, the Owner is required to build and maintain at Owner's expense a storm and surface water management facility or improvements ("Stormwater Facilities"); and

WHEREAS, the Stormwater Facilities are more particularly described and shown in the final site plan or subdivision approved for the Property and related engineering drawings, and any amendments thereto, which plans and drawings are on file with the City and are hereby incorporated herein by this reference ("Development Plan"); and

WHEREAS, summary description of all Stormwater Facilities, details and all appurtenance draining to and affecting the Stormwater Facilities and establishing the standard operation and routine maintenance procedures for the Stormwater Facilities, and control measures installed on the Property, ("Long Term Stormwater Management Plan") more particularly shown in Exhibit "B" on file with the City Recorder and,

WHEREAS, a condition of Development Plan approval, and as required as part of the City's Small MS4 UPDES General Permit from the State of Utah, Owner is required to enter into this Agreement establishing a means of documenting the execution of the Long-Term Stormwater Management Plan and,

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the City's approval of the Long-Term Stormwater Management Plan, and the mutual covenants contained herein, the parties agree as follows:

Section 1

Construction of Stormwater Facilities. The Owner shall, at its sole cost and expense, construct the Stormwater Facilities in accordance with the Development Plans and specifications, and any amendments thereto which have been approved by the City.

Section 2

Maintenance of Stormwater Facilities. The Owner shall, at its sole cost and expense, adequately maintain the Stormwater Facilities. Owner's maintenance obligations shall include all system and appurtenance built to convey stormwater, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance, for purposes of this Agreement, is defined as good working condition so that the Stormwater Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Stormwater Facilities in good working condition.

Section 3

Annual Maintenance Report of Stormwater Facilities. The Owner shall, at its sole cost and expense, inspect the Stormwater Facilities and submit an inspection report and certification to the MS4 annually. The purpose of the inspection and certification is to assure safe and proper functioning of the Stormwater Facilities. The annual inspection shall cover all aspects of the Stormwater Facilities, including, but not limited to, the parking lots, structural improvements, berms, channels, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification as to whether adequate maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by June 30th of each year and shall be on forms acceptable to the City.

Section 4

City Oversight Inspection Authority. The Owner hereby grants permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Stormwater Facilities upon reasonable notice not less than three business days to the Owner. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Stormwater Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with the Act, the Ordinance, and the Stormwater Facilities Maintenance Plan.

Section 5

Notice of Deficiencies. If the City finds that the Stormwater Facilities contain any defects or are not being maintained adequately, the City shall send Owner written notice of the defects or deficiencies and provide Owner with a reasonable time, but not less than sixty (60) days, to cure such defects or deficiencies. Such notice shall be confirmed delivery to the Owner or sent certified mail to the Owner at the address listed on the County Tax Assessor.

Section 6

Owner to Make Repairs. The Owner shall, at its sole cost and expense, make such repairs, changes or modifications to the Stormwater Facilities as may be determined as reasonably necessary by the City within the required cure period to ensure that the Stormwater Facilities are adequately maintained and continue to operate as designed and approved.

Section 7

City's Corrective Action Authority. In the event the Owner fails to adequately maintain the Stormwater Facilities in good working condition acceptable to the City, after due notice of deficiencies as provided in Section 5 and failure to cure, then, upon Owner's failure to cure or correct within thirty days following a second notice delivered to Owner, the City may issue a Citation punishable as a Misdemeanor in addition to any State or EPA fine. The City may also give written notice that the facility storm drain connection will be disconnected. Any damage resulting from the disconnection is subject to the foregoing cure periods. It is expressly understood and agreed that the City is under no obligation to maintain or repair the Stormwater Facilities, and in no event shall this Agreement be construed to impose any such obligation on the City. The actions described in this Section are in addition to and not in lieu of any and all equitable remedies available to the City as provided by law for Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

Section 8

Reimbursement of Costs. In the event the City, pursuant to this Agreement, incurs any costs, or expends any funds resulting from enforcement or cost for labor, use of equipment, supplies, materials, and the like related to storm drain disconnection from the City system, the Owner shall reimburse the City upon demand, within thirty (30)

days of receipt thereof for all actual costs incurred by the City. After said thirty (30) days, such amount shall be deemed delinquent and shall be subject to interest at the rate of ten percent (10%) per annum. Owner shall also be liable for any collection costs, including attorneys' fees and court costs, incurred by the City in collection of delinquent payments.

Section 9

Successor and Assigns. This Agreement shall be recorded in the County Recorder's Office and the covenants and agreements contained herein shall run with the land and whenever the Property shall be held, sold, conveyed or otherwise transferred, it shall be subject to the covenants, stipulations, agreements and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property described herein.

Section 10

Severability Clause. The provisions of this Agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Covenant shall not be affected thereby.

Section 11

Utah Law and Venue. This Agreement shall be interpreted under the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Salt Lake County, Utah.

Section 12

Indemnification. This Agreement imposes no liability of any kind whatsoever on the City, and the Owner agrees to hold the City harmless from any liability in the event the Stormwater Facilities fail to operate properly. The Owner shall indemnify and hold the City harmless for any and all damages, accidents, casualties, occurrences, or claims which might arise or be asserted against the City from failure of Owner to comply with its obligations under this agreement relating to the Stormwater Facilities.

Section 13

Amendments. This Agreement shall not be modified except by written instrument executed by the City and the Owner of the Property at the time of modification, and no modification shall be effective until recorded in the Salt Lake County Recorder's Office.

Section 14

Subordination Requirement. If there is a lien, trust deed or other property interest recorded against the Property, the trustee, lien holder, etc., shall be required to execute

a subordination agreement or other acceptable recorded document agreeing to subordinate their interest to the Agreement.

Section 15

Exhibit B. The Long-Term Stormwater Management Plan (LTSWMP) must adapt to change in good judgment when site conditions and operations change and when existing programs are ineffective. Exhibit B will not be filed with the agreement at County Recorder but is included by reference and kept on file with the City Recorder. Revision applications must be filed with Herriman City and amended into the LTSWMP on file with the Herriman City recorder.

LONG TERM STORMWATER MANAGEMENT PLAN AGREEMENT

SO AGREED this 1 day of August 2023.

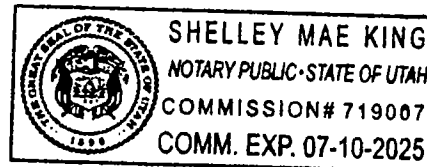
PROPERTY OWNER

By: Steve Maddox Title: Manager
By: _____ Title: _____

STATE OF UTAH)
:SS.
COUNTY OF SALT LAKE)

The above instrument was acknowledged before me by Steve Maddox, this 26 day of July, 2023.

Shelley Mae King
Notary Public
Residing in: Utah
My commission expires: 7-10-2025



HERRIMAN CITY

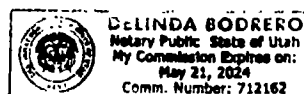
By: Blake Thomas 8/1/2023
City Engineer
Attest: [Signature]
City Recorder



STATE OF UTAH)
:SS.
COUNTY OF SALT LAKE)

The above instrument was acknowledged before me by Blake Thomas, this 1 day of August, 2023.

Delinda Bodrero
Notary Public
Residing in: Herriman UT
My commission expires: May 21, 2024



pcmp_____

Attachments:

Exhibit A: Legal Description

Exhibit B: Long Term Stormwater Management Plan; Filed with Herriman City Recorder

Exhibit A

A parcel of land located in the South ½ of Section 27, T3S, R2W, Salt Lake Base & Meridian more particularly described as follows:

Beginning at a point located at a point located N00°00'23"W along the Section line 1,215.29 feet and West 120.11 feet from the Southeast Corner of said Section 27 and running thence; S89°55'19"W along the Northerly boundary of Herriman Boulevard as set forth by the recorded plats of Creek Ridge Estates Subdivision Phase 1, Phase 3 and Creek Ridge West Backbone Subdivision on file at the Office of the Salt Lake County Recorder 2,539.54 feet to the ¼ Section Line; thence N00°12'25"E along said ¼ Section Line 123.56 feet to the North line of the South ½ of the Southwest ¼ of Section 27; thence N89°46'30"W along said North line 238.48 feet; thence N40°25'26"E 299.39 feet; thence N61°02'28"E 314.12 feet; thence N62°55'31"E 636.04 feet; thence N75°12'54"E 311.68 feet; thence N84°26'45"E 225.85 feet; thence N89°59'58"E 405.82 feet; thence S73°42'11"E 329.85 feet; thence S81°20'47"E 255.53 feet; thence N89°59'58"E 241.00 feet to the Westerly line of that property conveyed as Entry No. 8160216 in Book 8550 at Page 6633 in the Office of the Salt Lake County Recorder; thence S00°00'17"E along said Westerly line 760.93 feet to the point of beginning.

Contains: 45.05 acres+/-

Exhibit B

Introduction

This Long-Term Stormwater Management Plan (LTSMP) is being implemented in order to protect water quality. Post construction Stormwater controls are required to be installed and maintained under the Utah Pollution Discharge Elimination System and the Clean Water Act to keep water clean. Installing post construction controls will prevent the discharge of pollutants into the local streams, rivers, and lakes. In recent years, contaminated Stormwater from various construction sites and commercial facilities has been polluting water bodies throughout the state of Utah. By properly installing and maintaining post construction Stormwater controls pollutants will be contained and water quality will be improved.

This management plan is designed to prevent pollutants from entering the storm drain system and polluting our waters. This facility is responsible for ensuring that any water discharged from the facility is free of harmful pollutants, thereby assisting in the health and protection of waters in our community. This plan will address Stormwater controls at this facility. These controls will be monitored, maintained, and improved if needed to prevent pollutants from being discharged from this facility into the storm drain system or local waters. Additionally, the patrons or employees of this facility will be trained or made aware of the aforementioned issues and controls.

General Site Use and Description

The Copper Fields at Creek Ridge is a single-family housing development consisting of 257 lots, landscaped common areas and park strips, playground area, walking trails, and detention pond.

TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage the property. Report any variances to the LTSMP contact listed on the Facility Map. File all training records in Exhibit C.

RECORDKEEPING

Maintain records of operation activities in accordance with SOPs. File all recordkeeping documents in Appendix A.

Mail a copy of the record to the city stormwater division annually.

Facility Maps

Include the overview of the facility with the location of all Long-Term Stormwater BMPs

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







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




-  2"-4" Stone Mulch (1)
-  Lawn and Trees (14)
-  1.5" Palomino Cobble (1)
-  Asphalt road or parking (1)
-  Property Boundary (1)
-  Storm drain Inlet (6)

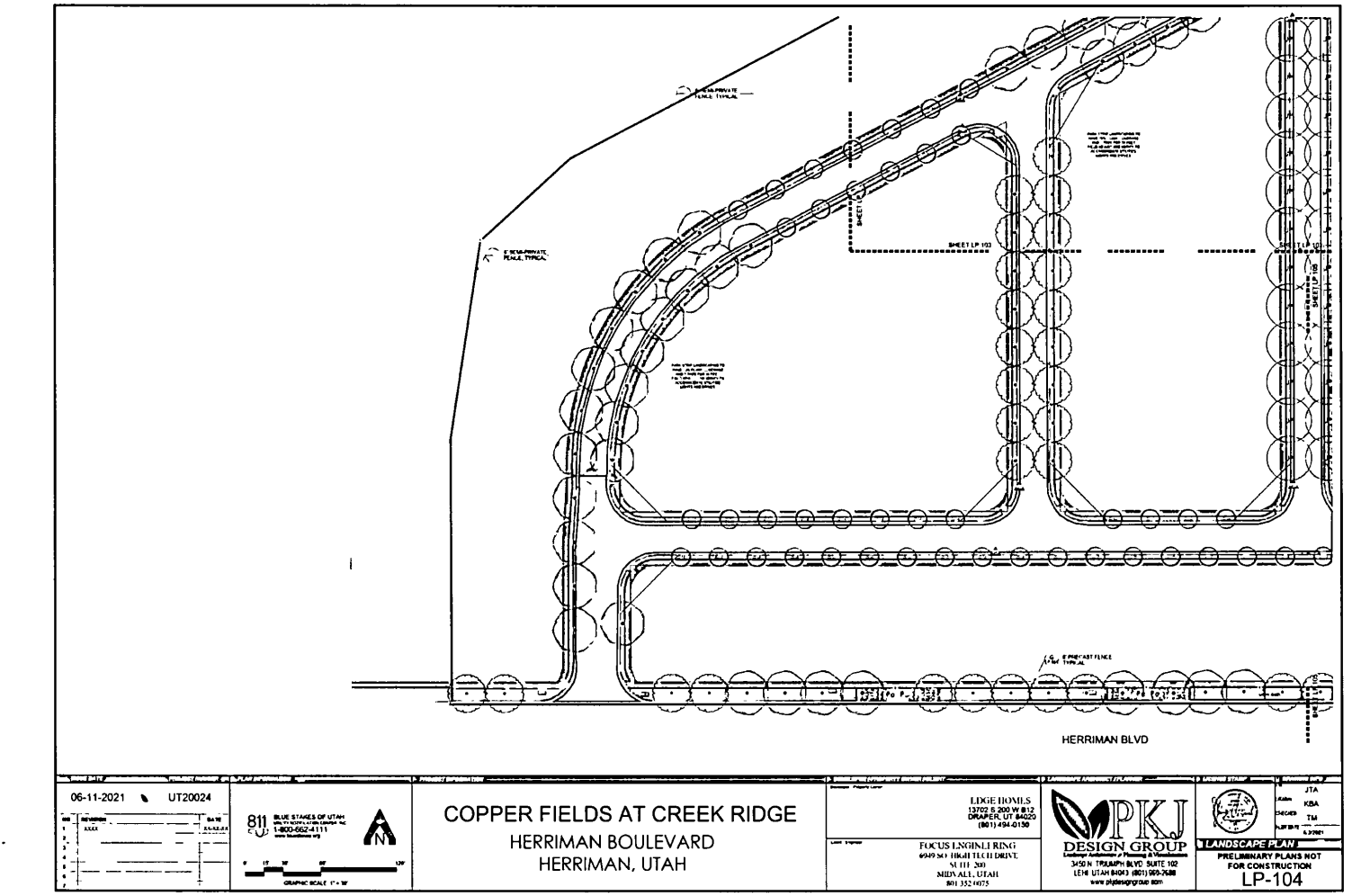
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



-  Lawn and Trees (11)
-  Asphalt road or parking (1)
-  Trail (1)
-  Property Boundary (1)
-  Storm drain Inlet (8)

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-  Lawn and Trees (15)
-  1.5" Palomino Cobble (2)
-  Asphalt road or parking (2)
-  Property Boundary (2)
-  Storm drain Inlet (6)

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






-  Asphalt road or parking (2)
-  Lawn and Trees (17)
-  1.5" Palomino Cobble (4)
-  Storm drain Inlet (6)

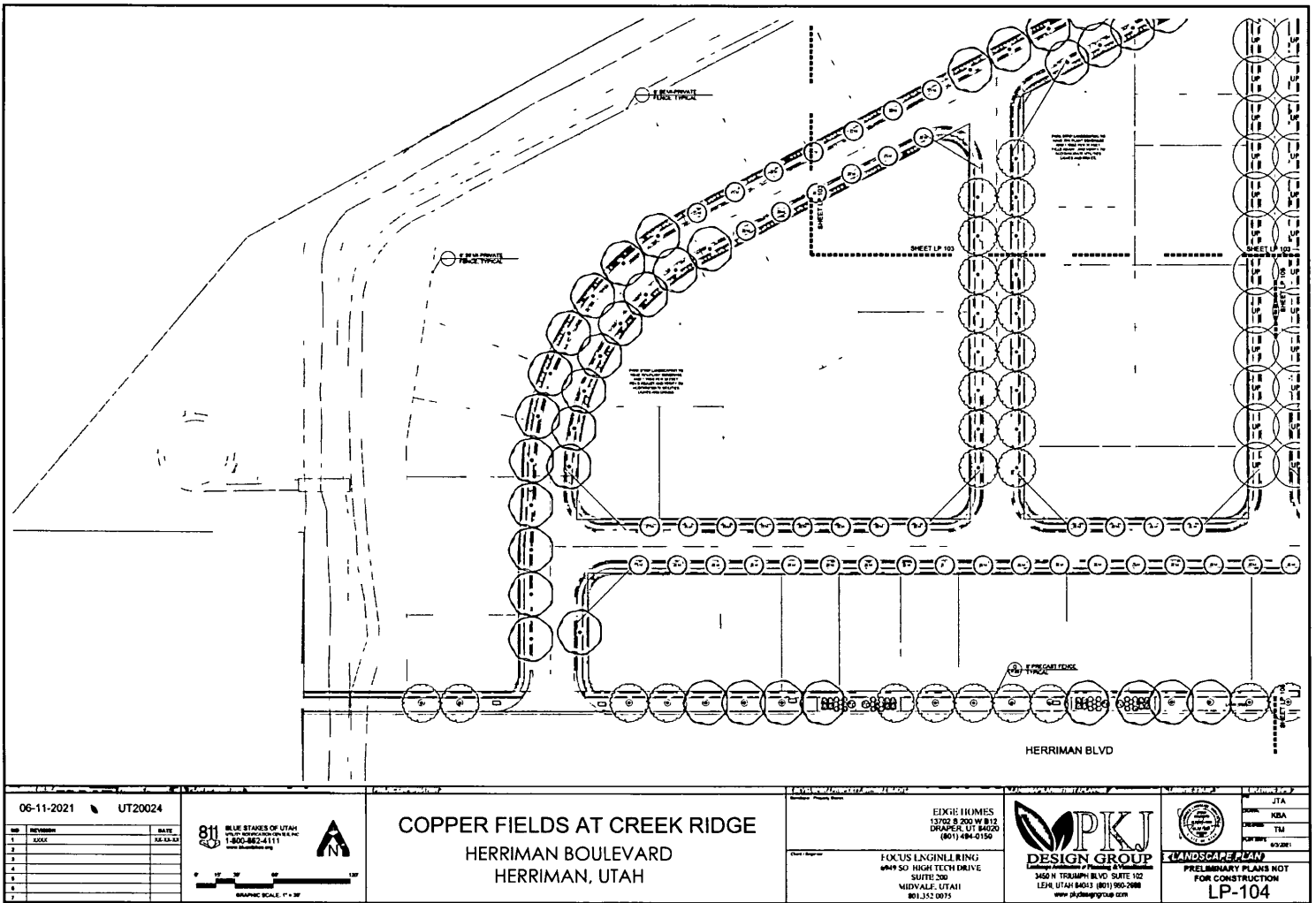
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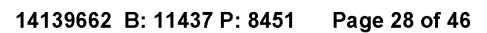
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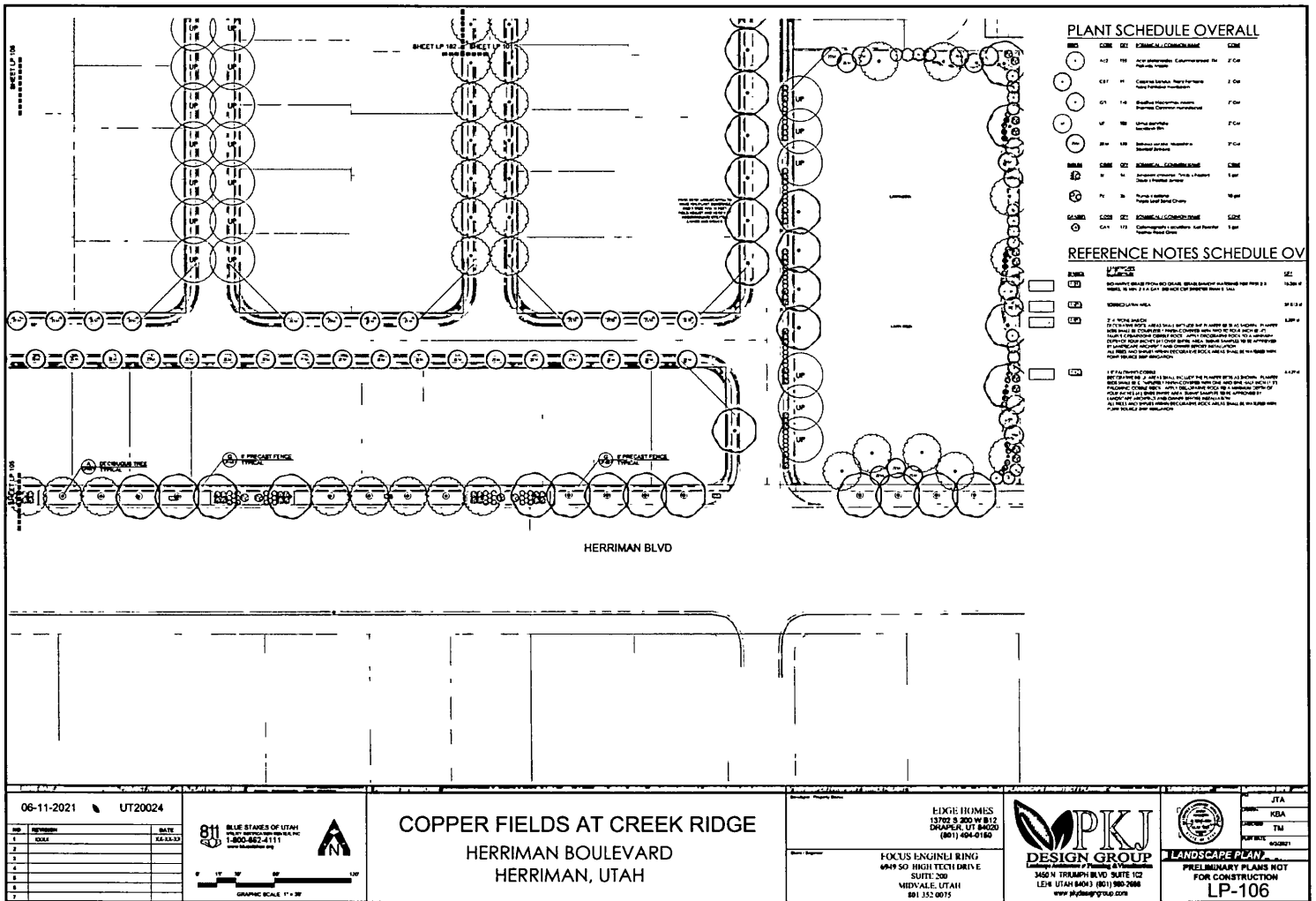


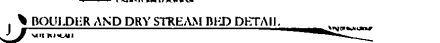
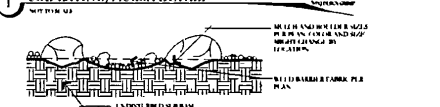
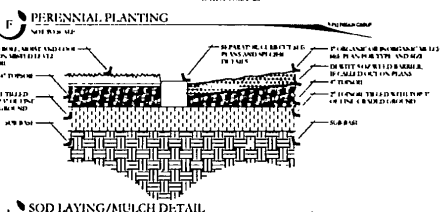
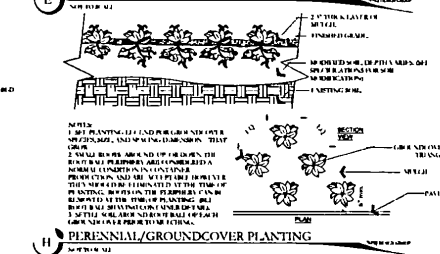
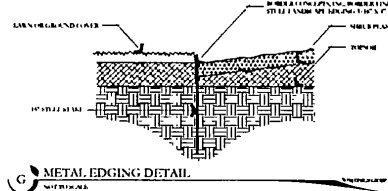
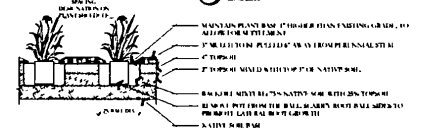
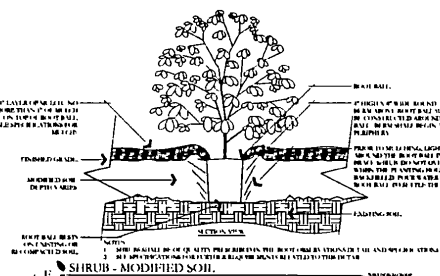
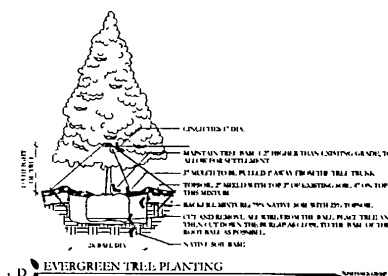
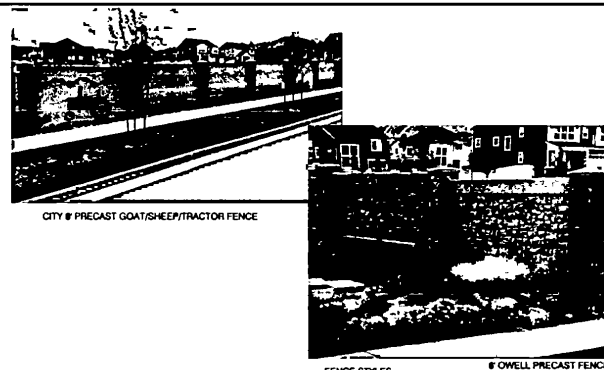
-  Retention Basin (1)
-  2"-4" Stone Mulch (1)
-  Lawn and Trees (15)
-  1.5" Palomino Cobble (4)
-  Storm drain Inlet (12)





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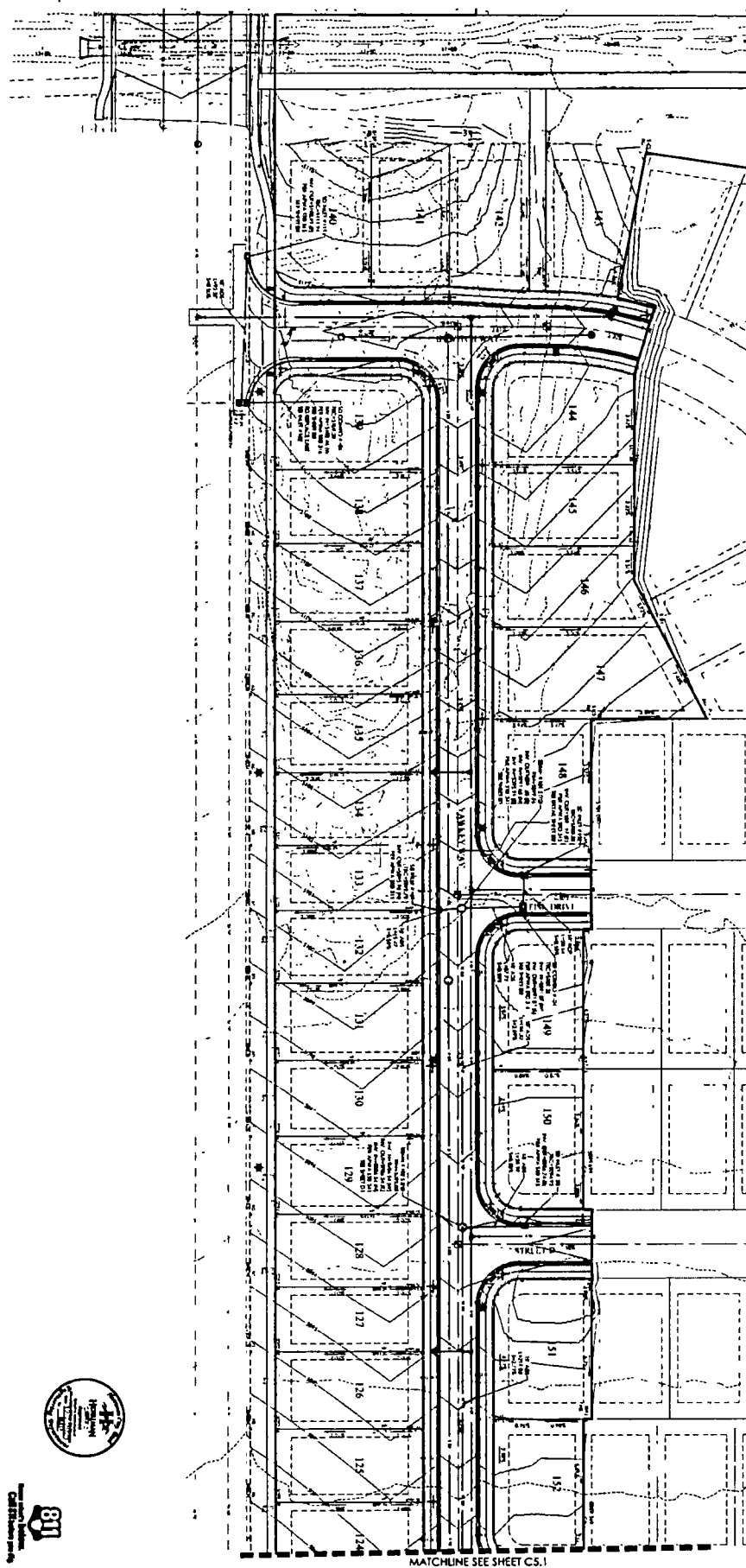


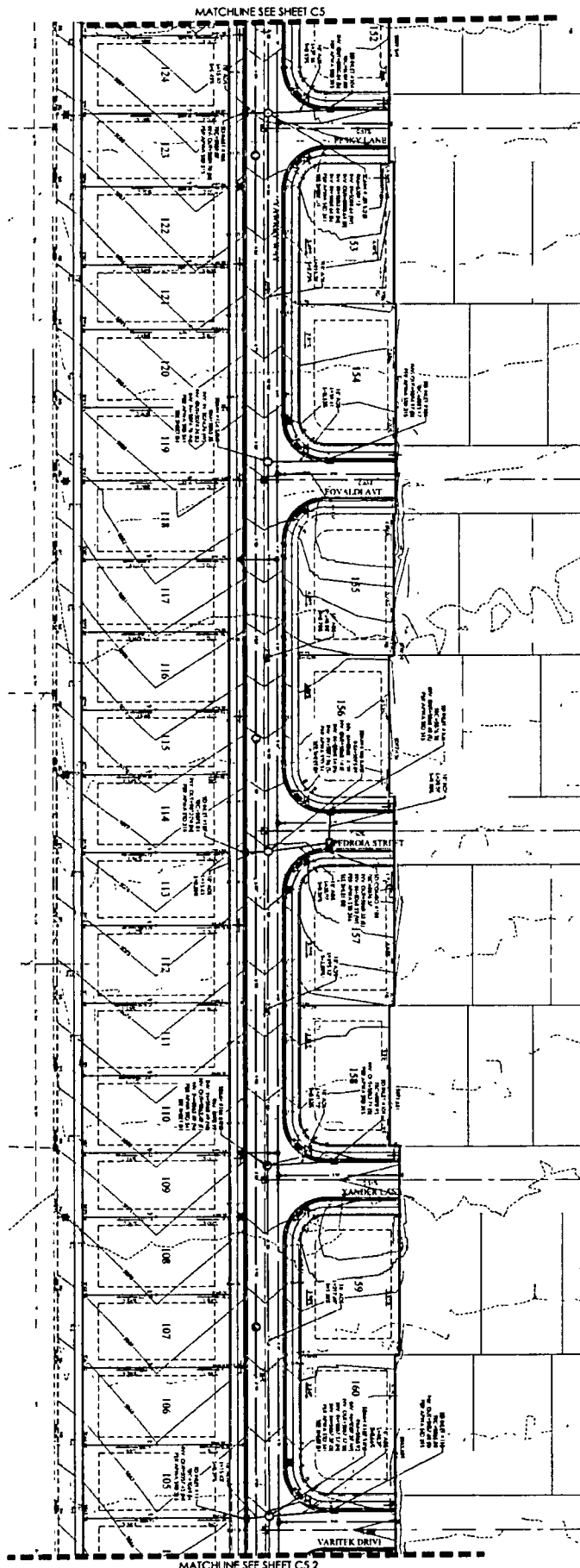




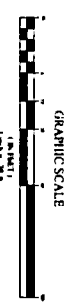
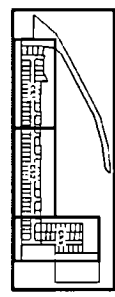


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| 06-11-2021 | | UT20024 | |  BLUE STAGES OF UTAH 1310 W 200 N BLVD SUITE 200 MIDVALE, UT 84002 (801) 484-1111 | | COPPER FIELDS AT CREEK RIDGE HERRIMAN BOULEVARD HERRIMAN, UTAH | |  FOCUS ENGINEERING 1310 W 200 N BLVD SUITE 200 MIDVALE, UT 84002 (801) 484-1111 | |  PKJ DESIGN GROUP 1480 N TERRY BLVD SUITE 102 LEHI, UTAH 84043 (801) 962-7888 www.pkjdesigngroup.com | |  LANDSCAPES & ESTATES PRELIMINARY PLANS NOT FOR CONSTRUCTION LP-501 | |
|------------|--|---------|--|---|--|---|--|---|--|--|--|---|--|





KEY MAP



LEGEND

| | |
|-----|--------------------|
| 1 | EXISTING LOT LINES |
| 2 | PROPOSED LOT LINES |
| 3 | PROPOSED DRIVEWAY |
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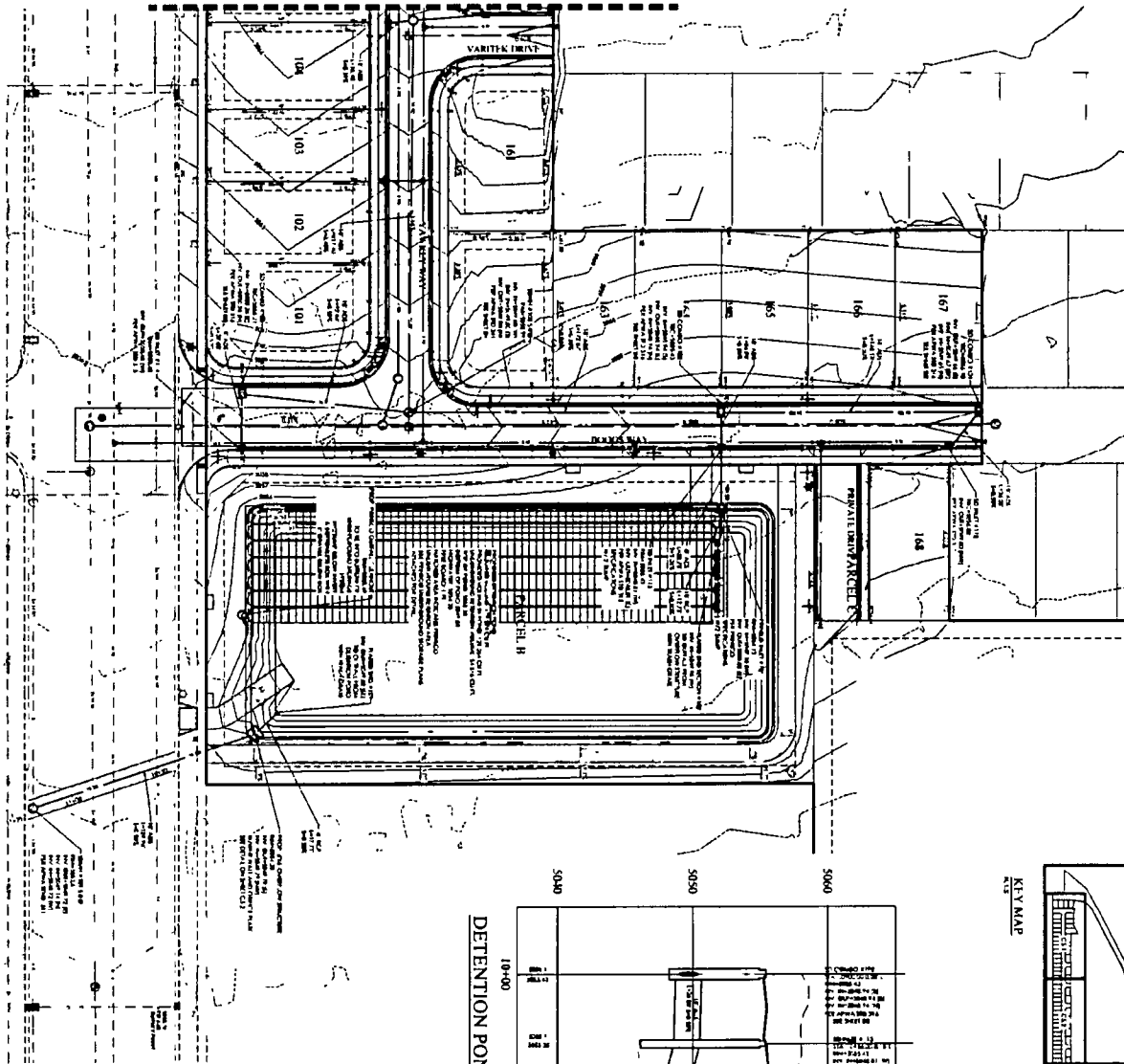
DRAINAGE PLAN

COPPER FIELDS AT CREEK RIDGE PHASE 1

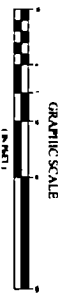
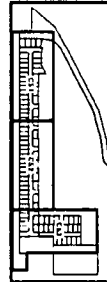
HERRIMAN CITY

DRAINAGE PLAN

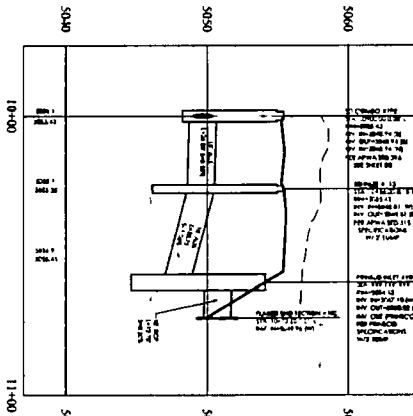
MATCHLINE SEE SHEET C5.1



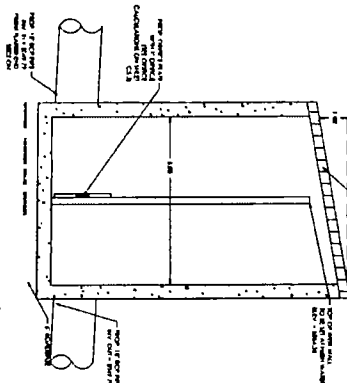
KEY MAP



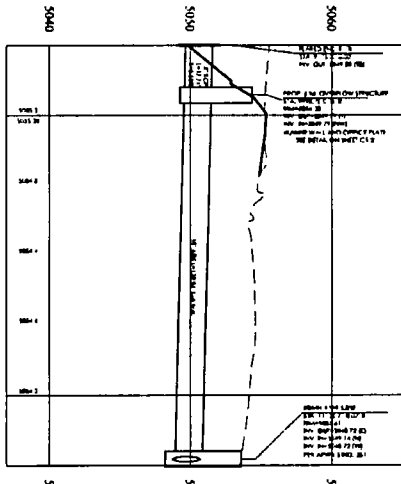
DEFENTION POND INLET PROFILE



6x6 OVERFLOW STRUCTURE DETAIL



OFFSITE STORM DRAIN OUTFALL PROFILE



11-GRND

| NO. | DESCRIPTION | DATE | BY | CHECKED | APPROVED |
|-----|--------------------|----------|-------------|-------------|-------------|
| 1 | ISSUED FOR PERMIT | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 2 | FOR CONSTRUCTION | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 3 | FOR RECORD | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 4 | FOR AS-BUILT | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 5 | FOR FINAL REVIEW | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 6 | FOR CLOSURE | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 7 | FOR ARCHIVE | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 8 | FOR DESTRUCTION | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 9 | FOR REMEDIATION | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 10 | FOR RECONSTRUCTION | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |



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|-----|--------------------|----------|-------------|-------------|-------------|
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| 9 | FOR REMEDIATION | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |
| 10 | FOR RECONSTRUCTION | 11/11/11 | J. HERRIMAN | J. HERRIMAN | J. HERRIMAN |

COPPER FIELDS AT CREEK RIDGE PHASE 1 HERRIMAN CITY DRAINAGE PLAN







FOCUS
ENGINEERING AND SURVEYING, LLC
4444 S. HIGH TECH DRIVE SUITE 200
MESA AZ 85207-1100
PH: (602) 312-1075
WWW.FOCUSAZ.COM


FOCUS
INHERITANCE TRAINING

1. **Case** _____
 2. **Referral** _____
 3. **Referral Date** _____
 4. **Referral Source** _____
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 100. **Referral Referral** _____


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| <div style="text-align: center;">  DRAINAGE CALCULATION </div> | <div style="text-align: center;">  REVISION BLOCK </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">#</th> <th style="width: 40%;">DATE</th> <th style="width: 50%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td></tr> <tr><td>10</td><td></td><td></td></tr> </tbody> </table> | # | DATE | DESCRIPTION | 1 | | | 2 | | | 3 | | | 4 | | | 5 | | | 6 | | | 7 | | | 8 | | | 9 | | | 10 | | | <h2 style="margin: 0;">COPPER FIELDS AT CREEK RIDGE PHASE I</h2> <h3 style="margin: 0;">HERRIMAN CITY</h3> <h2 style="margin: 0;">DRAINAGE CALCULATIONS</h2> |  |  |
|--|--|-------------|------|-------------|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|---|--|--|----|--|--|--|---|---|
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CS3




**DRAINAGE
CALCULATION**

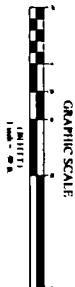
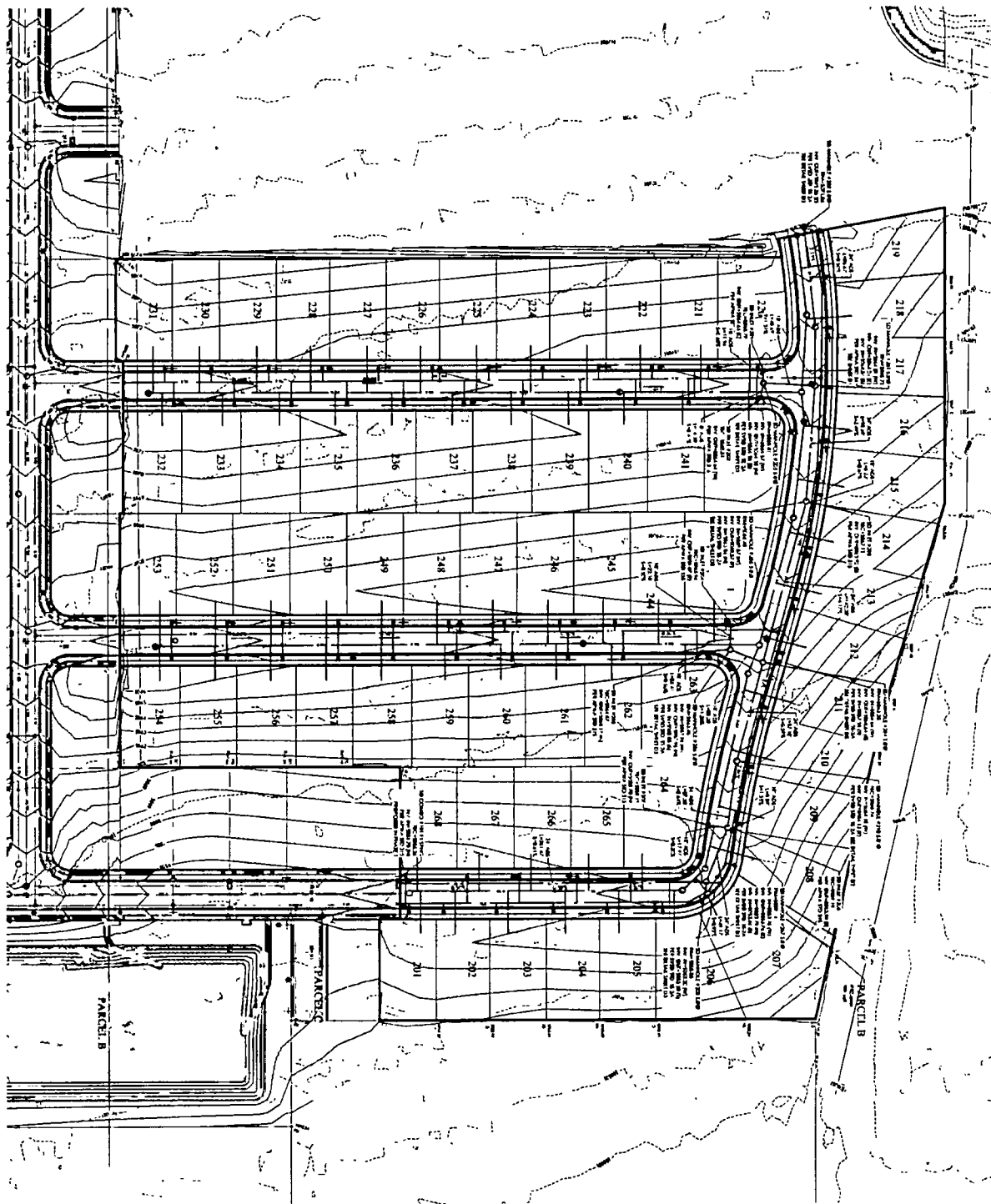


CS3



**DRAINAGE
CALCULATION**





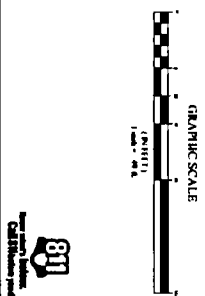
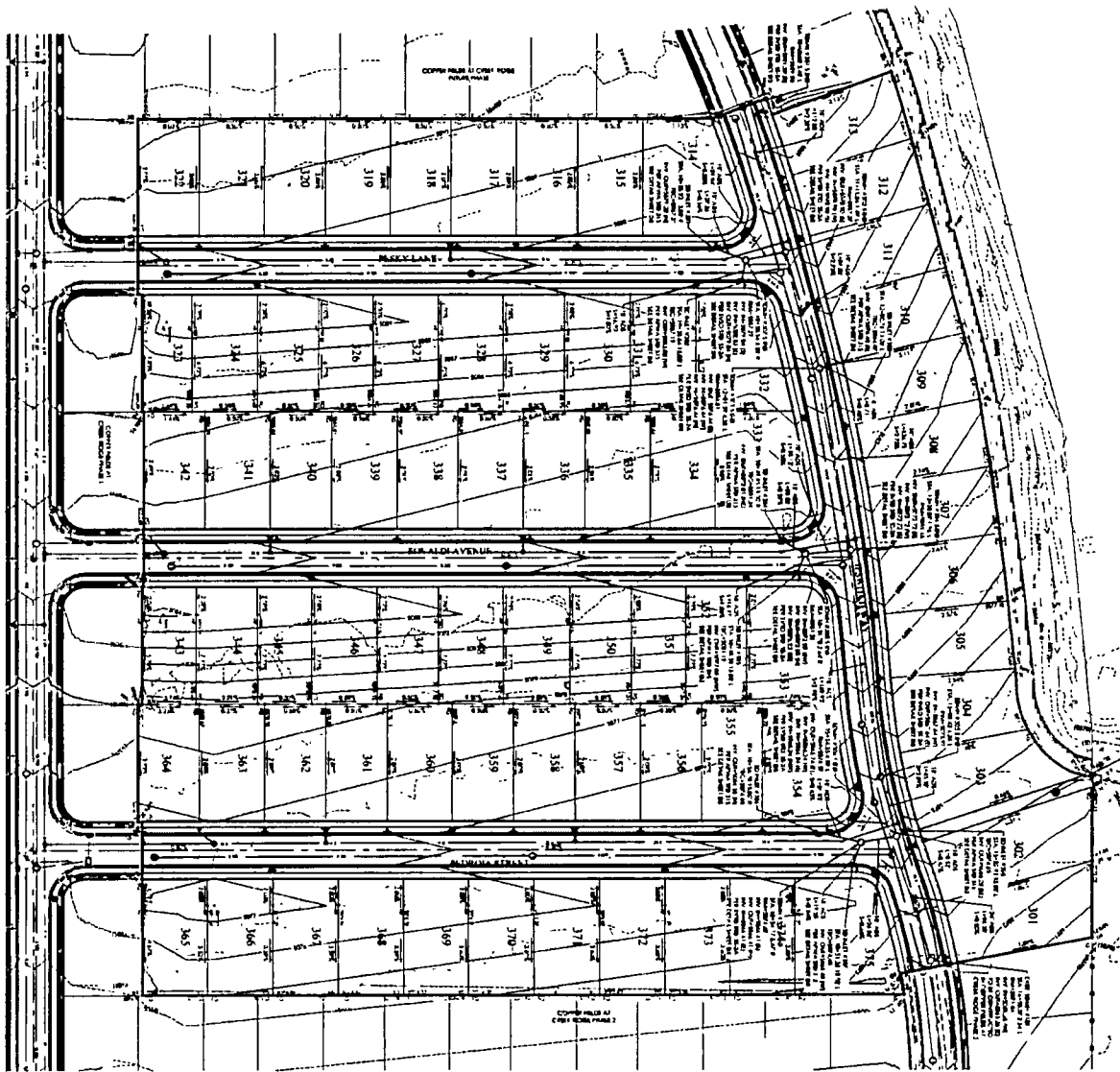
LEGEND

| SYMBOL | DESCRIPTION |
|----------|---------------------------|
| (Symbol) | 1" = 10' SCALE |
| (Symbol) | EXISTING TOPOGRAPHY |
| (Symbol) | PROPOSED DRAINAGE |
| (Symbol) | PROPOSED LOT LINES |
| (Symbol) | PROPOSED DRIVEWAY |
| (Symbol) | PROPOSED SIDEWALK |
| (Symbol) | PROPOSED FENCE |
| (Symbol) | PROPOSED UTILITY |
| (Symbol) | PROPOSED EROSION CONTROL |
| (Symbol) | PROPOSED LANDSCAPE |
| (Symbol) | PROPOSED TREES |
| (Symbol) | PROPOSED SHRUBS |
| (Symbol) | PROPOSED GRASS |
| (Symbol) | PROPOSED ROCK |
| (Symbol) | PROPOSED SAND |
| (Symbol) | PROPOSED SILT |
| (Symbol) | PROPOSED CLAY |
| (Symbol) | PROPOSED GROUNDWATER |
| (Symbol) | PROPOSED SURFACE WATER |
| (Symbol) | PROPOSED SUBSURFACE WATER |
| (Symbol) | PROPOSED SOIL |
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| (Symbol) | PROPOSED STRUCTURES |
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| (Symbol) | PROPOSED UTILITIES |

| NO. | REVISION | DATE | BY | CHKD. |
|-----|----------------------|----------|----|-------|
| 1 | ISSUED FOR PERMIT | 08/15/21 | JD | JD |
| 2 | REVISED FOR COMMENTS | 08/15/21 | JD | JD |
| 3 | REVISED FOR COMMENTS | 08/15/21 | JD | JD |
| 4 | REVISED FOR COMMENTS | 08/15/21 | JD | JD |
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| 8 | REVISED FOR COMMENTS | 08/15/21 | JD | JD |
| 9 | REVISED FOR COMMENTS | 08/15/21 | JD | JD |
| 10 | REVISED FOR COMMENTS | 08/15/21 | JD | JD |

COPPER FIELDS AT CREEK RIDGE PHASE 2
HERRIMAN CITY
DRAINAGE PLAN

FOCUS
ENGINEERING AND SURVEYING, LLC
4040 S. 1100TH TRAIL DRIVE SUITE 200
SALT LAKE CITY, UT 84147 PH: (801) 512-0075
www.focus-engineering.com



LEGEND

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| 1 | 1" = 10' SCALE |
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| 6 | 6" = 10' SCALE |
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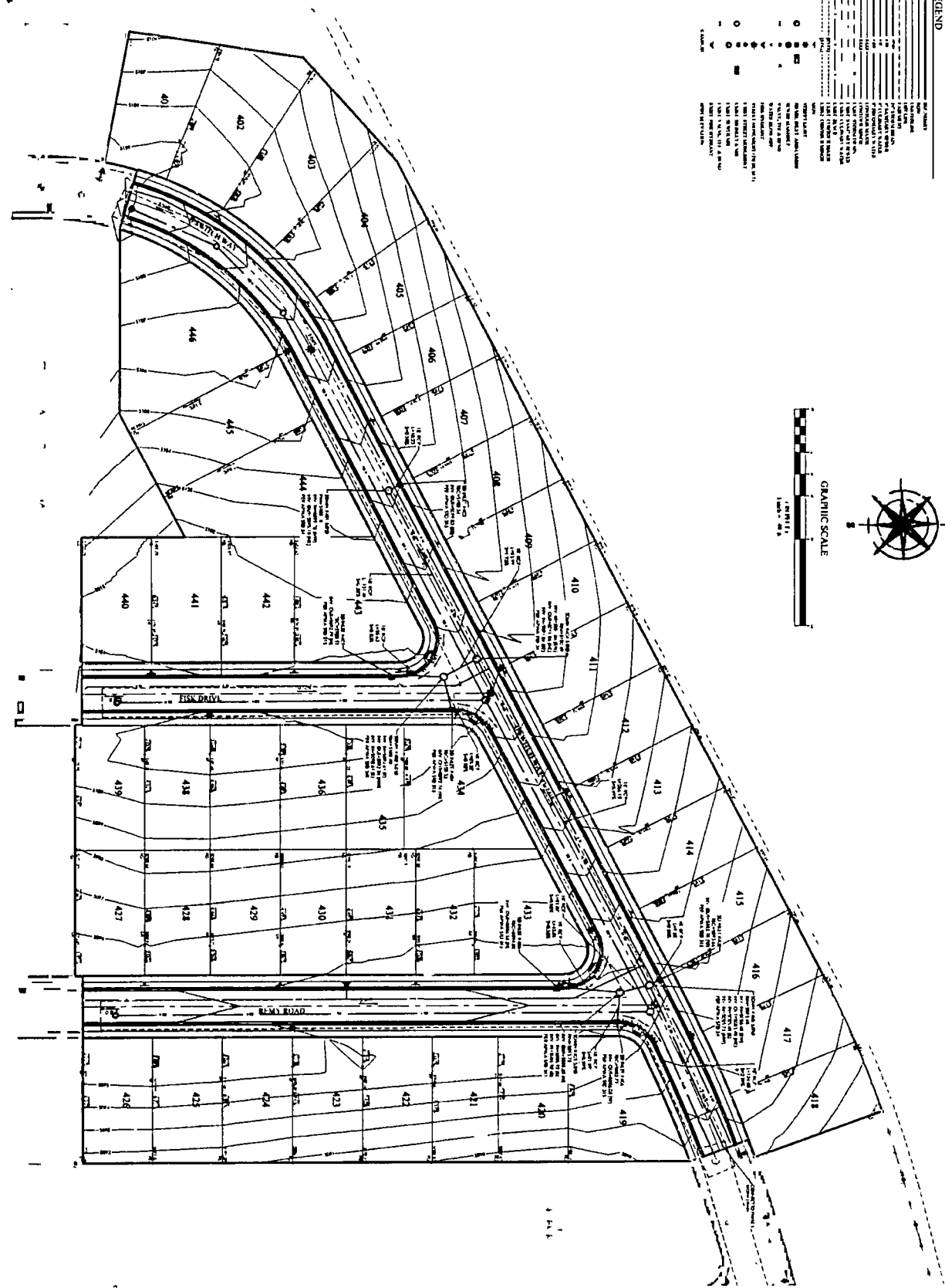
REVISIONS

| NO. | DATE | DESCRIPTION |
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| 4 | 11/15/11 | ISSUED FOR PERMIT |
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| 10 | 11/15/11 | ISSUED FOR PERMIT |

COPPER FIELDS AT CREEK RIDGE PHASE 3
 HERRIMAN CITY, UT
DRAINAGE PLAN



FOCUS
 ENGINEERING AND SURVEYING, LLC
 4000 S. HIGH TECH DRIVE SUITE 200
 MURRAY, UT 84123
 (801) 552-4075
 www.focus-engineering.com

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| REVISIONS BY C.R.A. | |
|---------------------|----------|
| # | DATE |
| 1 | 11-11-81 |
| 2 | 11-11-81 |
| 3 | 11-11-81 |
| 4 | 11-11-81 |
| 5 | 11-11-81 |

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|------|----------|--------|--------|
| DATE | 11-10-81 | ISSUED | 8/1/81 |
| BY | W.B.22 | DATE | 7/1/81 |

**DRAINAGE
PLAN**

C5

COPPER FIELDS AT CREEK RIDGE PHASE 4
HERRIMAN CITY
DRAINAGE PLAN



Long Term Stormwater BMP Details

Include all details of the Long-Term Stormwater BMPs

SOPs: Facility Long Term Stormwater BMPs Information

Include descriptions of the Long-Term Stormwater SOPs

Click on the link for access to these SOPs: <https://tinyurl.com/y77dpz4h>

Not all SOPs found at the link above will apply to this facility. See map for BMPs used at this location.

Exhibit C: Inspections/Maintenance

Inspection documentation will be located in Appendix A

The Owner listed below will be responsible for the inspections and maintenance.

Owner Company: EDGE Construction
 Owner Address: 13702 South 200 West
 Draper, UT 84020
 Owner Contact Person: Mitch Hilburn
 Title: SWPPP Manager
 Telephone Number: 385-232-0245
 Email: mitchell@edgehomes.com

1. Long Term Stormwater BMPs need to be inspected by a qualified person during installation to ensure the control is properly installed. This will be performed by a qualified person from the city or the design engineer.
2. List below the schedule for inspections of each of the BMPs listed in Exhibit B:

| List of BMPs | Describe the inspection and maintenance schedule |
|---|--|
| Parking Lots Cleaning and Maintenance | Weekly walk-through and twice annual comprehensive |
| Winter Snow and Ice Controls and Salt Storage | Weekly during winter months, and once annually in the spring during cleanup (after termination of snow conditions) |
| Trash and Debris | Twice Annually |
| Mulches and Soils | Twice Annually |
| Mowing and Trimming | Walkthrough and cleanup following regular maintenance |
| Leaves – Autumn Cleanup | Once annually, in the fall (prior to cold weather conditions) |
| Fertilizer | Walkthrough and cleanup following each application |
| Storm Inlets | Twice Annually |
| Roof Drains | Twice Annually |
| HVAC | Twice Annually |

Inspection Report

| | | | | | | |
|---|--------------------------|--------------------|-----------------------|--|------------------------------------|--------------------------|
| Site Name: | | Date of Evaluation | | | | |
| Site Address: | | | | | | |
| Facility Contact Information | | | | | | |
| | NAME and MAILING ADDRESS | | Phone | | E- MAIL ADDRESS | |
| SITE CONTACT: | | | | | | |
| INSPECTOR CONTACT: | | | | | | |
| Controls Inspected: | | | | | | |
| Are SOP's for Stormwater Post Construction Inspections implemented and available for review? YES NO | | | | | | |
| Circle Answer | | | | | | |
| Orifice Required for site YES NO | | Orifice Size: | | Hooded outlet cover (snout) Required for site YES NO | | |
| Circle Answers | | | | | | |
| Items Inspected | Checked | | Maintenance Required? | | Is there excessive accumulation of | Observations and Remarks |
| | Yes | No | Yes | No | Yes | No |
| 1. Dumping Evidence | | | | | | |
| 2. Spill Evidence | | | | | | |
| 3. General Site Exposure | | | | | | |
| 4. Other Pollution Sources | | | | | | |
| 5. Stormwater Storage condition and capacity (detention/retention ponds) | | | | | | |
| 6. Inlets and catch basins | | | | | | |
| 7. Conveyance System | | | | | | |
| 8. Manholes | | | | | | |
| 9. Parking | | | | | | |
| 10. Waste Collection | | | | | | |
| 11. Landscaping | | | | | | |
| 12. Pre-Treatment devices | | | | | | |
| 13. Sumps | | | | | | |
| 14. Flow Control devices | | | | | | |
| 15. Site Specific SOP Items | | | | | | |
| 16. Other | | | | | | |
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| Notes: | | | | | | |
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| | | | | | | |
| Print Name: | | | | | Date: | |
| Signature: | | | | | Title or Position | |

BMP Measurement Log

These logs are for BMPs that depend on measurement for cleanout and for Stormwater capacity.

| <u>Control Name and Number</u> | <u>Date</u> | <u>Inspection Method</u> | <u>Result</u> |
|--------------------------------|-------------|--------------------------|---------------|
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Common Pollutants from Stormwater Discharges

| Pollutants | Sources | Consequences of Pollutant |
|---|---|---|
| Sediment | Erosion or soils that are not stabilized. | Destruction of aquatic habitat for fish and plants, transportation of attached oils, nutrients and other chemical contamination, increased flooding. Sediment can transport other pollutants that are attached to it including nutrients, trace metals, and hydrocarbons. Sediment is the primary component of total suspended solids (TSS), a common water quality analytical parameter. |
| Nutrients (Phosphorus, Nitrogen Potassium, Ammonia) | Fertilizers; Plant Debris (grass clippings, leaves); Animal Waste; Sediment | Harmful algal blooms, reduced oxygen in the water, changes in water chemistry and pH. Nutrients can result in excessive or accelerated growth of vegetation, resulting in impaired use of water in lakes and other receiving waters. |
| Hydrocarbons (Petroleum Products, Benzene, Toluene, Ethyl benzene, Xylene) | Oils; Gasoline; Diesel Fuel; Antifreeze; Plant and Animal Oils; | These pollutants are toxic to humans and wildlife at very low levels. Carcinogenic. Teratogenic. |
| Heavy Metals | Manufacturing; Industrial Wastes; Vehicles and Equipment; Storage; Batteries; Paints | Metals including lead, zinc, cadmium, copper, chromium and nickel are commonly found in storm water. Metals are of concern because they are toxic to all life at very low levels. Carcinogenic. Teratogenic |
| Toxic Chemicals (Chlorides) – including Pesticides & Herbicides, Detergents, Soaps | Industrial Chemicals; Pesticides; Herbicides; Detergents; Soaps; | Chemicals are of concern because they are toxic to all life at very low levels. Carcinogenic. Teratogenic. |
| Trash, Debris, Solids | Wastes | Aesthetically unpleasant. Risk of decay product toxicity. Risk of aquatic animal entrapment or ingestion and death. |
| Pathogens – Bacteria and Viruses | Animal Waste; Human Waste | Human health risks due to disease and toxic contamination of aquatic life. |
| Salt | Salt Piles; Car Washing; Snow Removal | Salt can infiltrate into groundwater and contaminate it. Vegetation is damage or killed by salt causing oxygen to be taken out of the water. Aquatic life can be killed or have stunted growth due to salt. Salt also traps food and nutrients preventing fish and animal life from accessing those nutrients |
| Temperature (Thermal Pollution) | Industrial Waste Water; Removal of Vegetation near streams; lack of vegetation surrounding roads and parking lots | High water temperatures can kill or harm cold water fish. This occurs by slowing of metabolism in fish which causes malnutrition; oxygen depletion in the water; forced migration of the aquatic life |

Amendment Log

| Date | Description of the Amendment | PCMP Section | Amendment Prepared by |
|-------------|-------------------------------------|---------------------|------------------------------|
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Training Log

| Date | Description of the Training | Attendees Name |
|-------------|------------------------------------|-----------------------|
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Exhibit D: Annual report

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|---|----------------------------|--|----------------------------|----------------------------|
| Site Name: | | Annual Report for Dates: | | |
| Site Address: | | | | |
| Facility Contact Information | | | | |
| | NAME and MAILING ADDRESS | Phone | E-MAIL ADDRESS | |
| SITE CONTACT: | | | | |
| INSPECTOR CONTACT: | | | | |
| Inspection Dates: | | | | |
| 1 st Inspection | 2 nd Inspection | 3 rd Inspection | 4 th Inspection | 5 th Inspection |
| Pollutants Found: | Found During Inspection #: | How were Pollutants controlled/disposed? | | |
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| Are Controls Functioning Properly? | | Yes | No | |
| Notes: | | | | |
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| | | | | |
| | | | | |
| Print Name: | | Date: | | |
| Signature: | | Title or Position | | |
| *Include Training Logs and Inspection Reports with Annual Report when submitting. | | | | |

Appendix A: Recordkeeping Documents

Include documents/records in this section
