

When Recorded, Mail To:

The Church of Jesus Christ of Latter-day Saints  
c/o: Property Reserve, Inc.  
Attn: Aaron Weight  
51 S. Main Street, Suite 301  
Salt Lake City, UT 84111

With a Copy to:

Blue Spring Business Park, LLC  
Attn: Jason Larsen  
1075 North Main Street, Suite 120  
Logan, UT 84341

PN: 05-050-0005  
PN: 05-050-0008; 05-050-0019; 05-050-0006

(space above for Recorder's use only)

**FIRST AMENDMENT TO POST-CLOSING IMPROVEMENT AND ESCROW  
AGREEMENT**

THIS FIRST AMENDMENT TO POST-CLOSING IMPROVEMENT AND ESCROW AGREEMENT (this "Amendment") is made and entered into to be effective as of the 3<sup>rd</sup> day of March 2022, by and between **THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**, a Utah corporation sole, f/k/a Corporation of the Presiding Bishop of The Church of Jesus Christ of Latter-day Saints, a Utah corporation sole ("CHC"), and **BLUE SPRING BUSINESS PARK, LLC**, a Utah limited liability company ("BSBP"). CHC and BSBP are at times referred to herein individually as "Party" and collectively as "Parties."

**RECITALS**

A. The Parties entered into that certain Post-Closing Improvement and Escrow Agreement dated September 1, 2021, and recorded September 2, 2021, as Entry No. 1297856 in Book 2282, Page 1083 of the Official Records of the Cache County Recorder's Office (the "Improvement Agreement").

B. The Parties now desire to amend the Improvement Agreement as set forth in this Amendment.

**AGREEMENT**

NOW THEREFORE, in consideration of the mutual covenants contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. **Defined Terms.** Capitalized terms used in this Amendment which are not otherwise defined herein shall have the same meanings given to such terms in the Improvement Agreement.

2. **Revised Site Plan of Improvements; Additional Improvements and Construction Obligations.** The Improvement Agreement is hereby amended such that Exhibit C to the Improvement Agreement is deleted in its entirety and replaced with Exhibit C-1 attached to this

Amendment (“Revised Site Plan of Improvements”). The Parties acknowledge and agree that the Revised Site Plan of Improvements is only a general depiction of the layout and site plan of the Improvements to be installed by BSBP, and that the complete and final Revised Site Plan of Improvements shall be submitted by BSBP to CHC for CHC’s review and approval, in CHC’s sole and absolute discretion, prior to any construction or installation work performed by BSBP in connection therewith. Without limiting or nullifying the terms and obligations contained in the Improvement Agreement, the Parties agree that BSBP, at BSBP’s sole cost and expense, shall design, construct, and install the full and entire width of the right of way spanning from 1000 W. to 800 W. and all related improvements associated therewith (the “Roadway”), as set forth on the Revised Site Plan of Improvements. In connection with the construction of the Roadway, CHC hereby agrees to dedicate the portion of the property that is owned by CHC, as depicted on Schedule 1 attached hereto and incorporated herein (“Roadway Property”), for the construction and use of the Roadway and any other portions of its property required by a Governmental Entity in connection with the installation of the Roadway. BSBP, at BSBP’s sole cost and expense, shall also (a) design, construct, and install the curb cut driveway access points to the CHC Property depicted on the Revised Site Plan of Improvements and/or as otherwise determined by CHC in its sole discretion, and (b) provide CHC with any and all appropriate utility stubs in locations reasonably desired and designated by CHC. All Improvements required under the Improvement Agreement or this Amendment shall be constructed and installed in (a) in a good and workmanlike manner; and (b) in accordance with the requirements, approvals, regulations, ordinances, specifications, standards, and all other governing documents established by the Governmental Entity and the final, approved version of the Revised Site Plan of Improvements.

**3. Additional Compensation.** The Parties acknowledge and agree that the Improvement Agreement—and those certain other and related agreements entered into by and between the Parties—contemplated the future construction of a Costco Membership Warehouse and related improvements (“Costco”) on certain portions of the BSBP Property. In consideration of this contemplation, the Improvement Agreement is hereby amended to the extent necessary such that in the event BSBP fails to construct and open the Costco on the BSBP Property on or before September 1, 2024, then the greater of (a) the Escrowed Funds currently held by Escrow Agent, or (b) an amount equal to Thirty-Six Thousand Four Hundred Sixty-Five and 75/100 Dollars (\$36,465.75) shall be paid to CHC as additional compensation. The Improvement Agreement is further amended such that the Escrowed Funds shall not be released to BSBP upon completion and approval of the Improvements by CHC; provided, however that upon (1) completion and approval of the Improvements by CHC, as set forth in the Improvement Agreement, and (2) the construction and opening of the Costco on the BSBP Property to the satisfaction of CHC, as evidenced by written notice to Escrow Agent, then Escrow Agent shall release to BSBP the Escrowed Funds.

**4. Binding Effect; Full Force.** The terms and conditions of this Amendment shall be binding upon and inure to the benefit of CHC and BSBP and their respective successors, transferees and assigns. Except as specifically provided herein, the terms and conditions of the Improvement Agreement shall remain in full force and effect. If any provision of the Improvement Agreement is in conflict with any provisions of this Amendment, the terms of the Amendment shall control.

**5. Counterparts.** This Amendment may be executed in multiple counterparts, each of which shall be deemed an original, and all of which taken together shall constitute one and the same document and agreement.

*[Signatures and Notary Acknowledgements to Follow]*

IN WITNESS WHEREOF the Parties have caused this Amendment to be signed the day and year first above written by themselves or their respective duly authorized officers.

CHC:

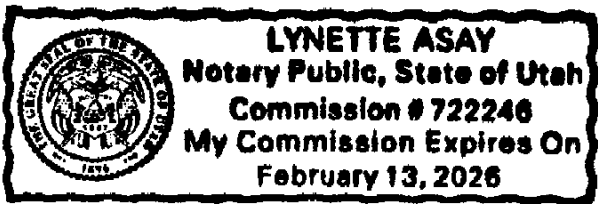
**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**, a Utah corporation sole, f/k/a Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints, a Utah corporation sole

By: Ashley Powell  
Name: Ashley Powell  
Its: Authorized Agent

STATE OF UTAH                    )  
  :SS  
COUNTY OF SALT LAKE    )

On the 3rd day of March, 2022 personally appeared before me Ashley Powell, personally known to me to be an Authorized Agent of **THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**, a Utah corporation sole, f/k/a Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints, a Utah corporation sole, who acknowledged before me that he signed the foregoing instrument as Authorized Agent for said corporation, and that said instrument is the free and voluntary act of said corporation, for the uses and purposes therein mentioned, and an oath stated that he was authorized to execute said instrument on behalf of said corporation and that said corporation executed the same.

WITNESS my hand and official seal,



Lynette Asay  
NOTARY PUBLIC FOR THE  
STATE OF UTAH

[Signatures and Notary Acknowledgements to Follow]

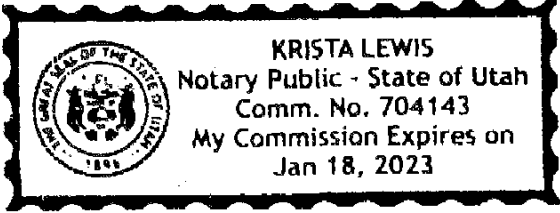
**BSBP:**

**BLUE SPRING BUSINESS PARK, LLC,**  
a Utah limited liability company

By: *Jason Larsen*  
Name: Jason Larsen  
Its. Manager

STATE OF UTAH            )  
  :SS  
COUNTY OF CACHE        )

On the 2nd day of March, 2022, personally appeared before me Jason Larsen, known to me, or proved to me on the basis of satisfactory evidence, to be the Manager of **BLUE SPRING BUSINESS PARK, LLC**, a Utah limited liability company, and who acknowledged to me that said entity executed it.



*Krista Lewis*  
NOTARY PUBLIC  
My commission expires: 1/18/23

**EXHIBIT A**

(Legal Description of BSBP Property)

**PARCEL 05-050-0005**

A portion of Lots 2 & 3, Block 4, Plat "D", LOGAN FARM SURVEY located in a portion of the NE1/4 of Section 29, Township 12 North, Range 1 East, Salt Lake Base & Meridian, Logan, Utah, more particularly described as follows:

Beginning at a point on the northerly line of 1000 North Street located N89°16'17"W along the Block line 501.12 feet from the Southeast Corner of Lot 2, Block 4, Plat "D", LOGAN FARM SURVEY, said point is also located West 449.57 feet and North 52.77 feet from Logan City GIS Monument LC-344 (Basis of Bearing: S88°58'12"E along the monument line between Logan City GIS Monuments LC-344 & LC-267); thence N0°45'00"E 963.69 feet; thence S88°59'00"E 473.22 feet to the northwesterly corner of 800 West Street, defined and described as a part of 1000 NORTH & 800 WEST ROADWAY & EASEMENT DEDICATION, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence along said Plat the following 5 (five) courses and distances: S1°17'10"W 651.88 feet; thence S0°45'00"W 251.48 feet; thence along the arc of a 40.00 foot radius curve to the right 62.82 feet through a central angle of 89°58'43" (chord: S45°44'22"W 56.56 feet); thence N89°16'17"W 425.13 feet; thence S0°45'00"W 18.00 feet to the south line of said Block; thence N89°16'17"W along the south line of said Block 2.00 feet to the point of beginning.

Contains: 10.17+/- acres

**PARCEL 05-050-0006**

A portion of Lots 2, 3, & 4, Block 4, Plat "D", LOGAN FARM SURVEY located in a portion of the NE1/4 of Section 29, Township 12 North, Range 1 East, Salt Lake Base & Meridian, Logan, Utah, more particularly described as follows:

Beginning at a point on the northerly line of 1000 North Street located N89°16'17"W along the Block line 501.12 feet from the Southeast Corner of Lot 2, Block 4, Plat "D", LOGAN FARM SURVEY, said point is also located West 449.57 feet and North 52.77 feet from Logan City GIS Monument LC-344 (Basis of Bearing: S88°58'12"E along the monument line between Logan City GIS Monuments LC-344 & LC-267); thence N89°16'17"W the northerly line of said street 725.43 feet to that Real Property described in Deed Book 1631 Page 70 of the Official Records of Cache County; thence N43°57'52"W along said deed 49.15 feet to the easterly line of 1000 West Street (State Highway 252) at a point 49.20 feet perpendicular distance easterly from the control line of said Highway at Engineer Station 296+42.50; thence along said easterly line the following 7 (seven) courses and distances: N1°13'42"E 932.57 feet; thence S88°59'00"E 14.87 feet; thence N1°11'04"E 207.54 feet; thence N31°13'00"E 30.22 feet; thence N1°11'04"E 34.16 feet; thence N9°49'49"W 78.10 feet; thence N1°11'04"E 74.49 feet; thence S44°05'09"E 25.84 feet; thence S89°13'05"E 211.72 feet; thence S87°18'28"E 533.58 feet; thence S0°19'27"W 9.71 feet; thence N89°13'05"W 29.32 feet; thence S0°45'00"W 1,339.90 feet to the point of beginning.

Contains: 23.43+/- acres

*Cked by JJB 31 August 2021***PARCEL 05-050-0019**

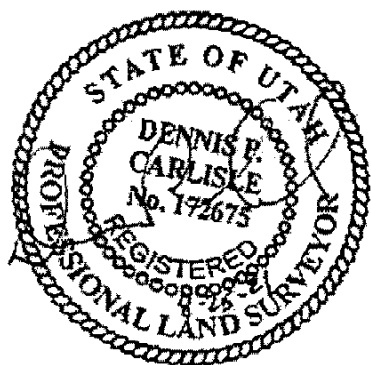
A portion of Lots 3, 4, & 8, Block 4, Plat "D", LOGAN FARM SURVEY located in the NW1/4 of Section 28 and the NE1/4 of Section 29, Township 12 North, Range 1 East, Salt Lake Base & Meridian, Logan, Utah, more particularly described as follows:

Beginning at the southeast corner of Lot 8, Block 4, Plat "D", LOGAN FARM SURVEY, located by Survey as N88°58'12"W 84.76 feet along the monument line between Logan City GIS Monuments LC-267 & LC-344 and North 719.16 feet from Logan City GIS Monument LC-267, said corner is also defined and described as the southeast corner of Remainder Parcel 05-050-0019, CACHE HIGH Subdivision, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence N89°17'12"W along the south line of said lot 1,330.25 feet to the

east line of 800 West Street, defined and described as a part of 1000 NORTH & 800 WEST ROADWAY & EASEMENT DEDICATION, according to the Official Plat thereof on file in the Office of the Cache County Recorder; thence N1°17'10"E along said Plat 296.79 feet; thence N88°59'00"W 510.12 feet; thence N0°45'00"E 376.21 feet; thence S89°13'05"E 179.45 feet to the westerly line of that Real Property described in Deed Book 1911 Page 1578 of the Official Records of Cache County; thence S1°25'28"W (record: South) along said westerly line 13.50 feet to the north line of Lot 3 of said Block 4; thence S89°13'05"E 334.25 feet (record: East 330') along the north line of Lot 3 to the northwest corner of said Lot 8 and the northwest corner of Parcel 05-050-0019 as described in a Boundary Line Adjustment recorded in Deed Book 1920 Page 1980 of the Official Records of Cache County, said point is also the northwest corner of said CACHE HIGH Subdivision; thence S89°13'05"E along the north line of said Lot 8 and also said Subdivision 690.09 feet to the northwest corner of Parcel 05-050-0022 as described in said Boundary Line Adjustment; thence S89°13'05"E along the north line of said Lot 8 and also said Subdivision 86.39 feet; thence along the extension of, and along a chain link fence line the following 2 (two) courses and distances: S1°23'16"W 221.77 feet; thence S88°53'00"E 131.43 feet to the westerly line of Lot 1 of said CACHE HIGH Subdivision; thence S1°23'16"W along said westerly line 77.46 feet to the southwest corner of said lot; thence S89°13'05"E along said lot and extension thereof 423.50 to the east line of Lot 8 of said Block; thence S1°23'16"W along the easterly line of said Block 360.01 feet to the point of beginning.

*Cked by JJB 31 August 2021*

Contains: 20.93+/- acres



**EXHIBIT B**

(Legal Description of CHC Property)

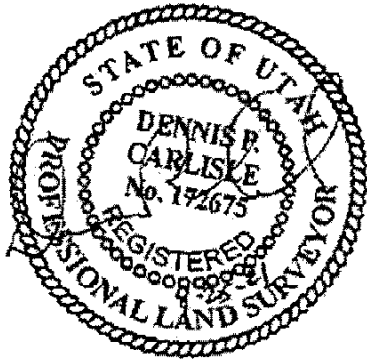
**PARCEL 05-050-0008**

A portion of Lots 4 & 5, Block 4, Plat "D", LOGAN FARM SURVEY located in the NW1/4 of Section 28 and the NE1/4 of Section 29, Township 12 North, Range 1 East, Salt Lake Base & Meridian, Logan, Utah, more particularly described as follows:

Beginning at a point located N89°13'05"W along the lot line 334.25 feet and N1°25'28"E 13.50 feet from the southeast corner of Lot 4, Block 4, Plat "D", LOGAN FARM SURVEY, said southeast corner also being the northwest corner of the Remainder Parcel described as part of CACHE HIGH Subdivision, according to the Official Plat thereof on file in the Office of the Cache County Recorder, said southeast corner is also located by Survey as S88°58'12"E 50.46 feet along the monument line between Logan City GIS Monuments LC-344 & LC-267 and N1°17'10"E 1,373.30 feet from Logan City GIS Monument LC-344; thence N89°13'05"W 150.13 feet; thence N0°19'27"E 9.71 feet; thence N87°18'28"W 533.58 feet; thence N89°13'05"W 211.72 feet; thence N44°05'09"W 25.84 feet to the easterly right-of-way line of 1000 West Street (State Road 252) described in Deed Book 1743 Page 336 of the Official Records of Cache County; thence along said right-of-way line the following 3 (three) courses and distances: N1°11'04"E 419.48 feet; thence N31°09'43"E 20.06 feet; thence N1°11'04"E 215.20 feet to a boundary fence on the southerly line of that Real Property described in Deed Book 1982 Page 739 of the Official Records of Cache County; thence S89°06'00"E (deed: N89°54'22"E) along a fence line 906.64 feet to a rebar (found) at a fence corner on the westerly line of that Real Property described in Deed Book 1911 Page 1578 of the Official Records of Cache County; thence S1°25'28"W (record: South 704') along said westerly line 695.96 feet to the point of beginning.

Contains: 14.21+/- acres

*Cked by JJB 31 August 2021*





**EXHIBIT C-1**

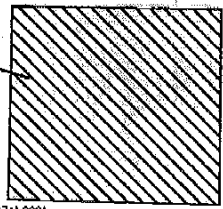
(Revised Site Plan of Improvements)

# BLUE SPRING SUBDIVISION CONSTRUCTION DOCUMENTS

1/13/2022

1200 NORTH

PROJECT LOCATION



## GENERAL NOTES:

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF LOGAN DOES NOT AUTHORIZE THE OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A SURVEYOR SHALL FIELD LOCATE, REPAIR, AND/OR REPLACE ALL DISTURBED OR DESTROYED MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "BLUE STAKES" PRIOR TO START OF CONSTRUCTION ACTIVITIES BY CALLING 811 OR SUBMITTING AN ONLINE UTILITY LOCATION REQUEST AT: [WWW.BLUESTAKES.ORG](http://WWW.BLUESTAKES.ORG).
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND LOGAN CITY.
- PUBLIC IMPROVEMENT SUBJECT TO DEDUCTIBLE OR DAMAGE TO PUBLIC UTILITY MARKERS AND SURVEYING. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF LOGAN.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEMS AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE LOGAN CITY STANDARDS AND SPECIFICATIONS.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARKERS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF LOGAN.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER.

## STANDARD SPECIFICATIONS:

- LOGAN CITY CORPORATION DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS MANUAL (SEE LOGAN CITY WEBSITE FOR REFERENCE).
- THE SPECIFICATIONS MENTIONED IN ITEMS ONE AND TWO SHALL SUPERSEDE ANY CONFLICTING SPECIFICATIONS CONTAINED WITHIN THESE PLANS.
- UTAH DEPARTMENT OF TRANSPORTATION (UDOT) STANDARD SPECIFICATIONS.

## STANDARD DRAWINGS:

- LOGAN CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARD DRAWINGS (SEE LOGAN CITY WEBSITE FOR REFERENCE)
- UTAH DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS.

## UDOT GENERAL NOTES:

- ALL CONSTRUCTION WITHIN THE UDOT ROW SHALL CONFORM TO THE MOST CURRENT UDOT STANDARD (INCLUDING SUPPLEMENTAL) DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE UDOT REGION PERMIT OFFICE PRIOR TO COMMENCING WORK WITHIN UDOT ROW. WORKING HOUR LIMITATIONS WILL BE LISTED IN THE LIMITATIONS SECTION OF THE ENCROACHMENT PERMIT.
- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS OF A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- OWNER, DEVELOPER, AND CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGES DIRECTLY OR INDIRECTLY WITHIN THE UDOT ROW AS A RESULT OF DEVELOPMENT ACTIVITIES.
- OWNER, DEVELOPER, AND CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT ROW.
- ALL SIGNS INSTALLED ON THE UDOT ROW MUST BE HIGH INTENSITY GRADE (TYPE XI SHEETING) WITH A 6x6 SLIP BASE. INSTALL ALL SIGNS PER UDOT 301 SERIES STANDARD DRAWINGS.
- COMPLY WITH THE REQUIREMENTS OF UTAH CODE 17-20-14 (DISTURBED CORNERS-COUNTY SURVEYOR TO BE NOTIFIED-COORDINATION WITH CERTAIN STATE AGENCIES).

## Sheet List Table

Sheet Number	Sheet Title
C001	COVER
C002	LEGEND
C101	DEMOLITION PLAN
C102	DEMOLITION PLAN (UDOT)
C201	ROADWAY SECTIONS - OVERVIEW
C202	ROAD STRIPING
C203	ROAD STRIPING (1000 W)
C204	1000 W ROADWAY PLAN (UDOT)
C205	1000 W ROADWAY PLAN (UDOT)
C206	1000 W ROADWAY PLAN (UDOT)
C207	1000 N ROADWAY PLAN
C208	1200 N ROADWAY PLAN
C209	1200 N ROADWAY PLAN
C210	800 W ROADWAY PLAN
C211	800 W ROADWAY PLAN
C301	SUBDIVISION UTILITY PLAN
C401	SANITARY SEWER PROFILE (6 LOTS)
C501	EROSION CONTROL PLAN
C502	DETAILS
C503	DETAILS
C504	DETAILS (UDOT)
C505	DETAILS (UDOT)

## PROJECT CONTACTS:

- CIVIL ENGINEER  
MICHAEL TAYLOR  
CIVIL SOLUTIONS GROUP, INC.  
240 WEST GOLF COURSE ROAD SUITE B1  
PROVIDENCE, UT 84303  
P: 801.216.3192  
P: 801.216.3192 EXT. 2
- SURVEYOR  
CORY E. HEERINGS  
CIVIL SOLUTIONS GROUP, INC.  
240 WEST GOLF COURSE ROAD SUITE B1  
PROVIDENCE, UT 84303  
P: 801.216.3192
- LOGAN CITY ENGINEER  
BILL YOUNG  
200 N 100 W  
LOGAN, UT 84321  
BILL.YOUNG@LOGAN.UTAH.GOV  
P: 435.763.9180
- LOGAN CITY PUBLIC WORKS DIRECTOR  
PAUL LINOHART  
200 N 100 W  
LOGAN, UT 84321  
PAUL.LINOHART@LOGAN.UTAH.GOV  
P: 435.763.9181
- LOGAN FIRE DEPARTMENT  
ARON WALKER  
233 NORTH MAIN  
LOGAN, UT 84321  
P: 435.763.9156
- LOGAN CITY LIGHT AND POWER  
MARK MONTGOMERY  
200 N 100 W  
LOGAN, UT 84321  
MARK.MONTGOMERY@LOGAN.UTAH.GOV  
P: 435.763.9194
- UTAH STORM WATER PERMIT  
UTAH DEPARTMENT OF WATER QUALITY  
SALT LAKE CITY, UT 84141-44870  
P: 801.536.5148  
<http://www.waterquality.utah.gov/UPDES/submitwalk.htm>
- QUESTAR GAS  
CREDIT FIEDL  
635 WEST 800 NORTH  
LOGAN, UT 84321  
P: 435.762.7751



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC.

Civil Solutions Group, Inc.  
CACHÉ VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net

BLUE SPRING SUBDIVISION  
1000 NORTH 1000 WEST  
LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

PROJECT #: 21-128  
DRAWN BY: T. ARUNK  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 1/13/2022



COVER

C001

**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

PROJECT #: 21-128  
 DRAWN BY: TADRIK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 11/26/22




**LEGEND**  
**C002**

**LEGEND EXISTING**

- ADJACENT PROPERTY BOUNDARY
- CULINARY WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- IRRIGATION LINE
- GAS LINE
- UNDERGROUND POWER LINE
- AERIAL POWER LINE
- UNDERGROUND COMMUNICATION LINE
- CONTOUR MINOR
- CONTOUR MAJOR
- FENCE
- ASPHALT PAVEMENT
- CURB AND GUTTER
- CONCRETE PAVEMENT
- EXISTING TO BE REMOVED
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN
- POWER POLE
- DECIDUOUS TREE
- CONIFEROUS TREE

**LEGEND PROPOSED**

- PROPERTY BOUNDARY
- CULINARY WATER LINE (SIZE SHOWN ON PLAN)
- SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
- STORM DRAIN LINE (SIZE SHOWN ON PLAN)
- IRRIGATION LINE (SIZE SHOWN ON PLAN)
- GAS LINE
- UNDERGROUND POWER LINE
- AERIAL POWER LINE
- UNDERGROUND COMMUNICATION LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- FENCE
- BUILDING SETBACK
- ASPHALT PAVEMENT
- CATCH CURB & GUTTER
- SPILL CURB & GUTTER
- CURB & GUTTER TRANSITION
- CONCRETE PAVEMENT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SEWER MANHOLE
- STORM DRAIN BOX
- STORM WATER CATCH BASIN
- ROAD SIGN


**Know what's below.**  
**Call 811 before you dig.**  
 BLUE STARTS OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestarts.com  
 1-800-662-4111

THESE AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP INC. AND SHALL NOT BE REPRODUCED, RE-DRAWN, OR USED ON ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP INC. ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE PLANS ARE DRAWN TO SCALE UNLESS OTHERWISE NOTED AND SHOULD BE PLOTTED AS SUCH.

**BLUE SPRING SUBDIVISION**
  
 1000 NORTH 1000 WEST
   
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION


PROJECT #: 214138
   
 DRAWN BY: T. JANK
   
 PROJECT MANAGER: M. TAYLOR
   
 ISSUED: 6/15/2022



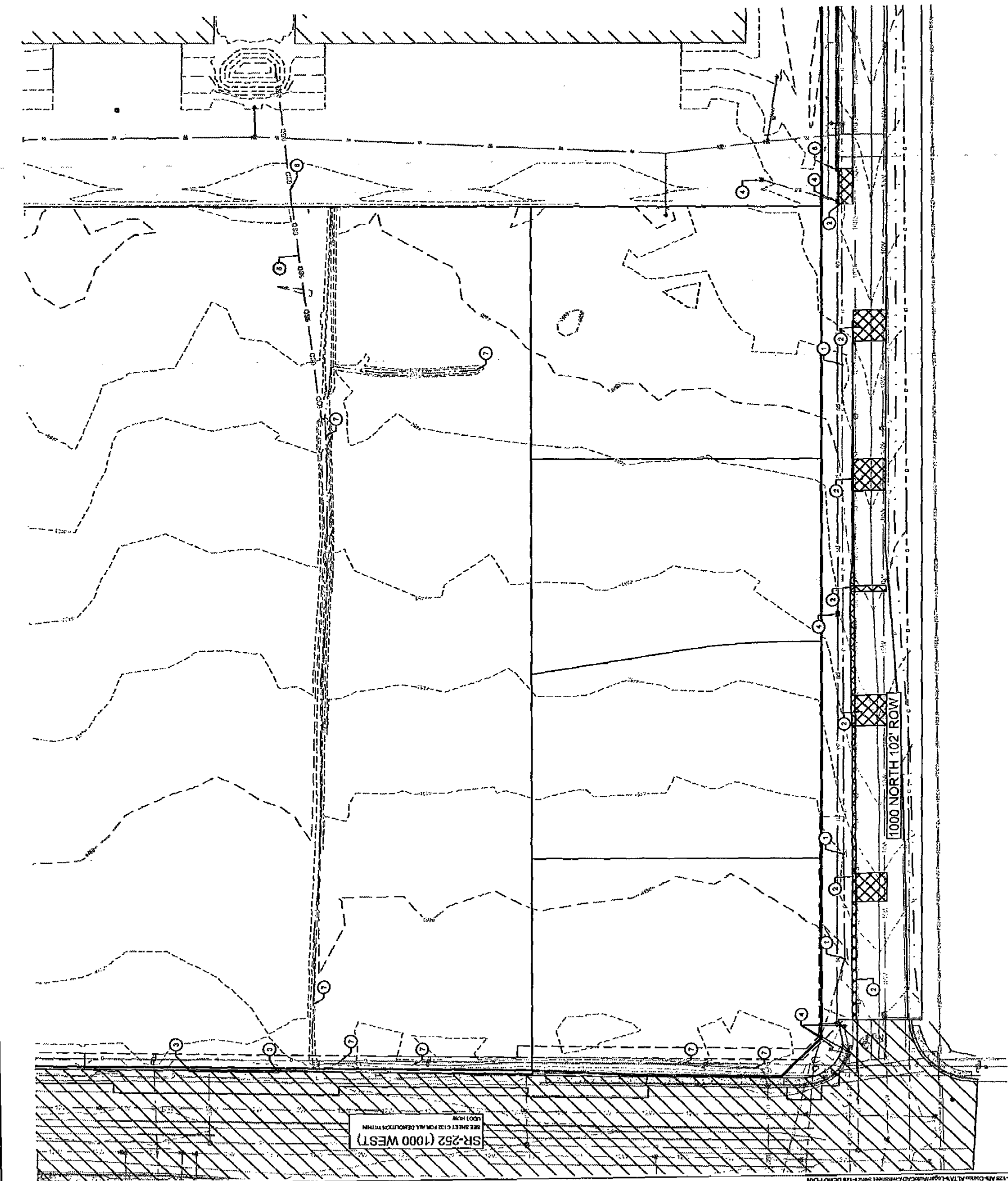
**DEMOLITION**
  
**PLAN**
  
**C101**

- DEMOLITION PLAN SHEET KEY NOTES:**
1. ALL ITEMS LISTED TO BE REMOVED SHALL BE DEMOLISHED IN AN APPROPRIATE MANNER AND LOCATION.
  2. RELOCATE COMMUNICATION LINES, COORDINATE WITH UTILITY OWNER.
  3. DEMOLITION SHALL BE ACCORDING TO IBC PARAGRAPH 1607 APPROACH PRESERVE & PROTECT EXISTING STRUCTURE.
  4. PRESERVE EXISTING STRUCTURE & EXTERIOR FINISHES TO REMAIN.
  5. ALL DEMOLITION SHALL BE COMPLETED WITHIN THE PROPERTY LINE.
  6. REMOVE CONCRETE CURB & BUTTER.



**Know what's below. Call 811 before you dig.**
  

  
**BLUES STATES OF UTAH**
  
 UTILITY INFORMATION CENTER, INC.
   
 www.bluestatesofutah.com
   
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP INC. AND SHALL NOT BE REPRODUCED, REBUILT, OR USED ON ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP INC. ANY DISCREPANCY BETWEEN THESE PLANS AND THE DESIGN THEORICAL WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE FOLLOWS AS SHOWN.



**Civil Solutions Group, Inc.**

CACHE VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net

**BLUE SPRING SUBDIVISION**

1000 NORTH 1000 WEST  
LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

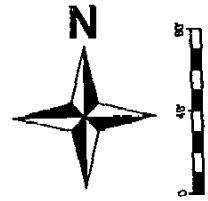
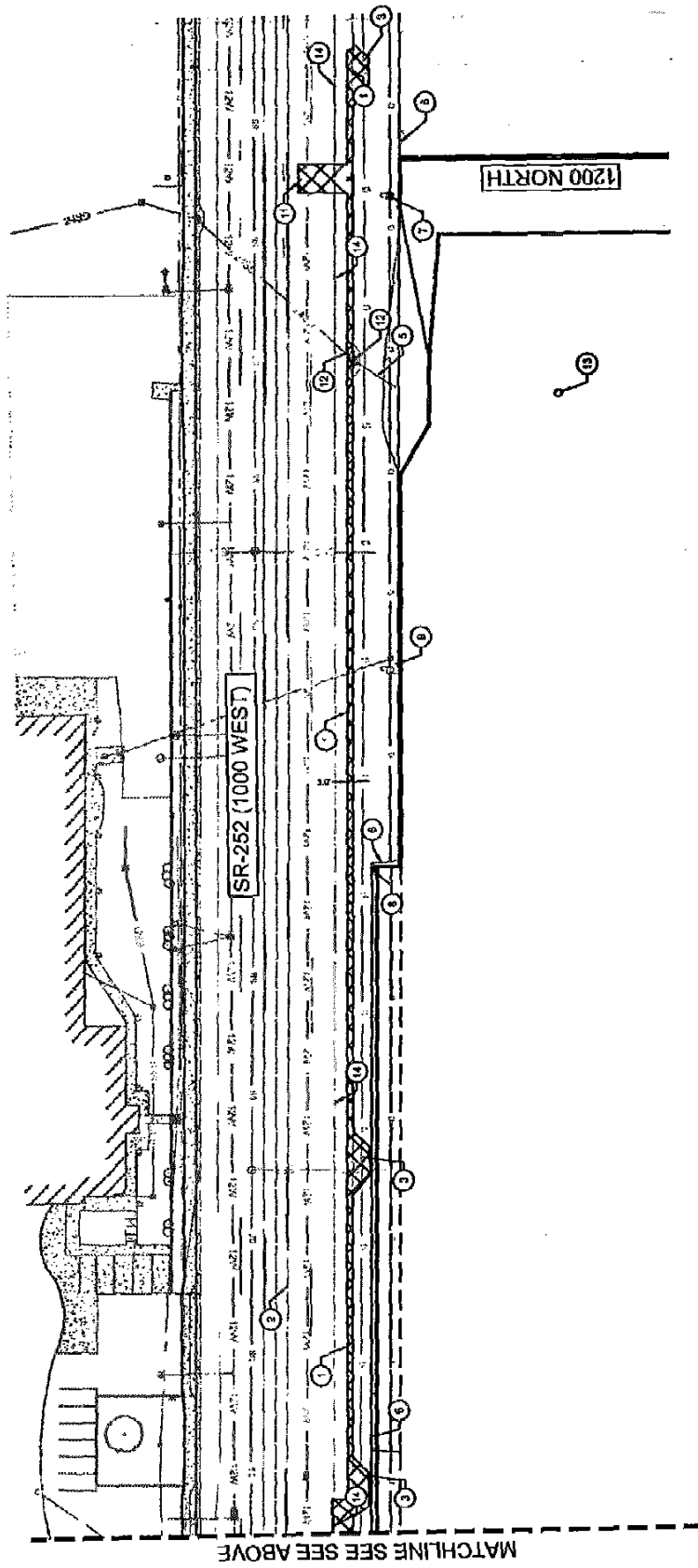
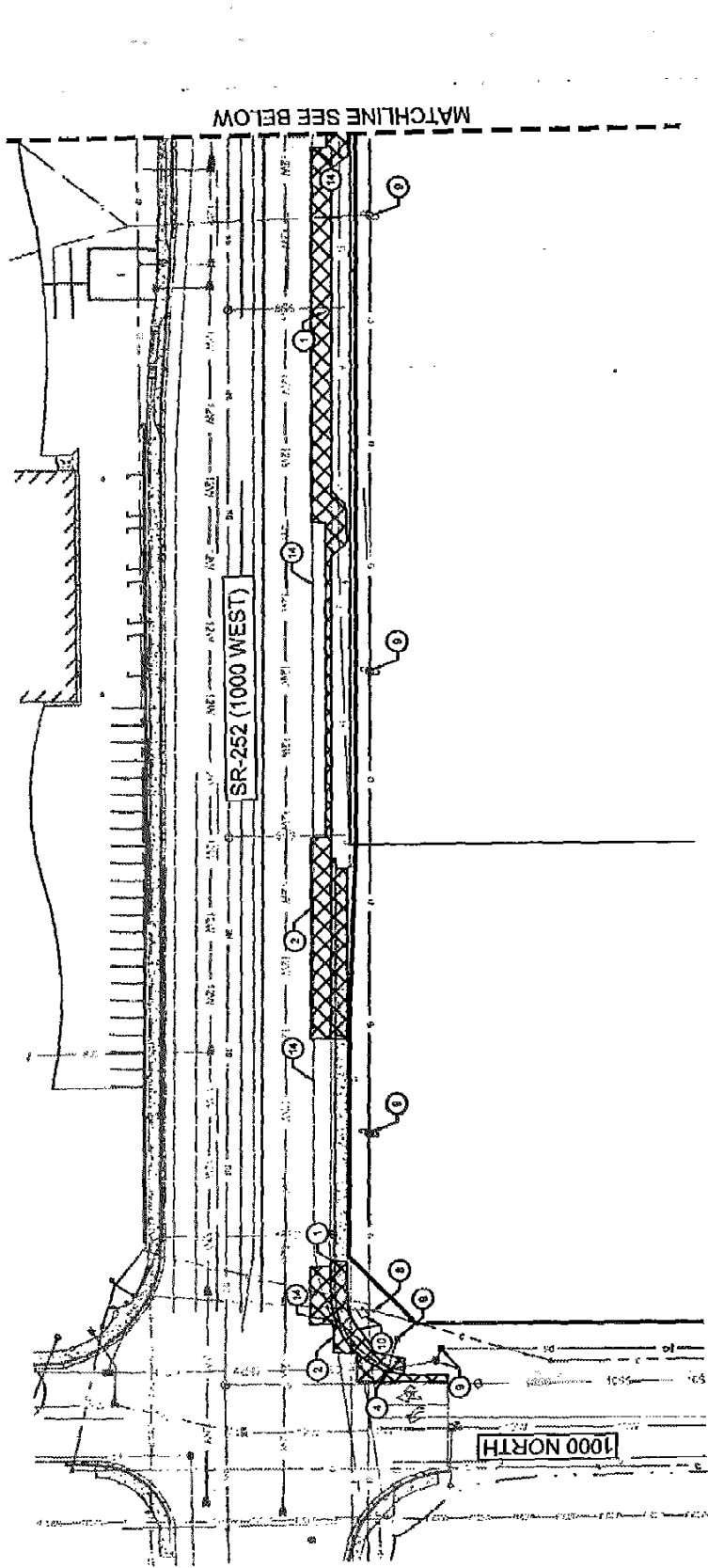
PROJECT #: 21-28  
DRAWN BY: T.MUNK  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 1/13/2022



**DEMOLITION PLAN (UDOT)**

C102

- DEMOLITION PLAN SHEET KEY NOTES:**
1. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  2. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  3. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  4. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  5. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  6. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  7. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  8. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  9. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  10. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  11. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  12. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  13. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  14. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  15. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  16. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  17. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  18. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  19. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.
  20. DEMOLITION SHALL BE ACCORDING TO UDOT STANDARD SPECIFICATIONS SECTION 905.



**Know what's below.**  
Call 811 before you dig.  
BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. THESE PLANS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. THESE PLANS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. THESE PLANS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC.

**civil solutions group inc.**  
 CACHE VALLEY | P: 435.213.3762  
 SALT LAKE | P: 801.216.3192  
 UTAH VALLEY | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

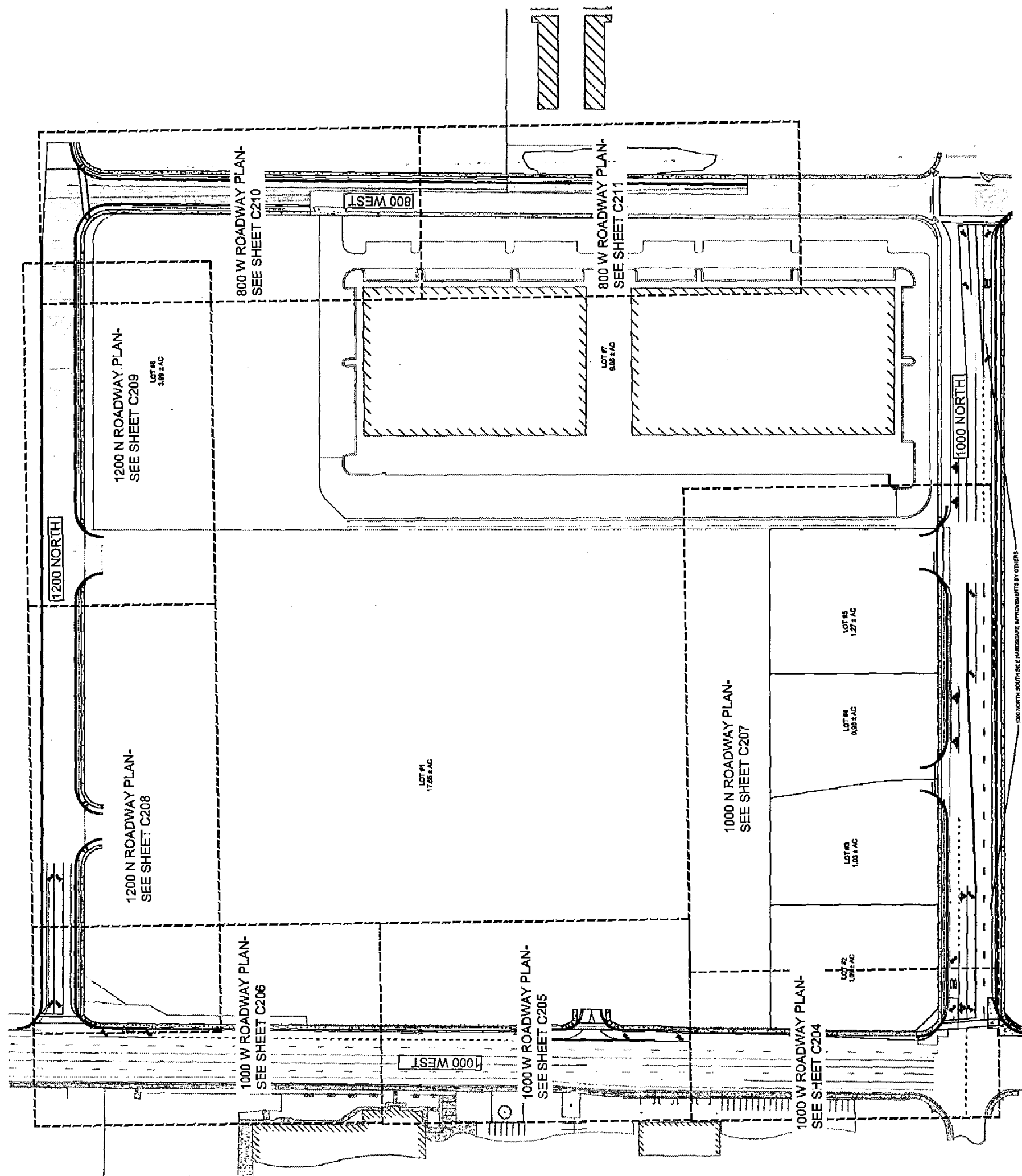
PROJECT #: 21-128  
 DRAWN BY: T. MAJAK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 11/15/2022




**ROADWAY SECTIONS - OVERVIEW**  
**C201**

**Know what's below. Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 DISTRICT OFFICE: CANTON, UTAH  
 www.bluestakes.com  
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON. ANY OTHER USE OF THESE PLANS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP IS STRICTLY PROHIBITED. ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN HEREON WITHOUT THEIR COMMENT, THESE PLANS ARE VOID. THESE PLANS AND SPECIFICATIONS SHOULD BE READ IN ENTIRETY AND SHOULD BE REPRODUCED AS SUCH.





**Civil Solutions Group, Inc.**  
 CACHE VALLEY | P: 435.213.3762  
 SALT LAKE | P: 801.216.3192  
 UTAH VALLEY | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

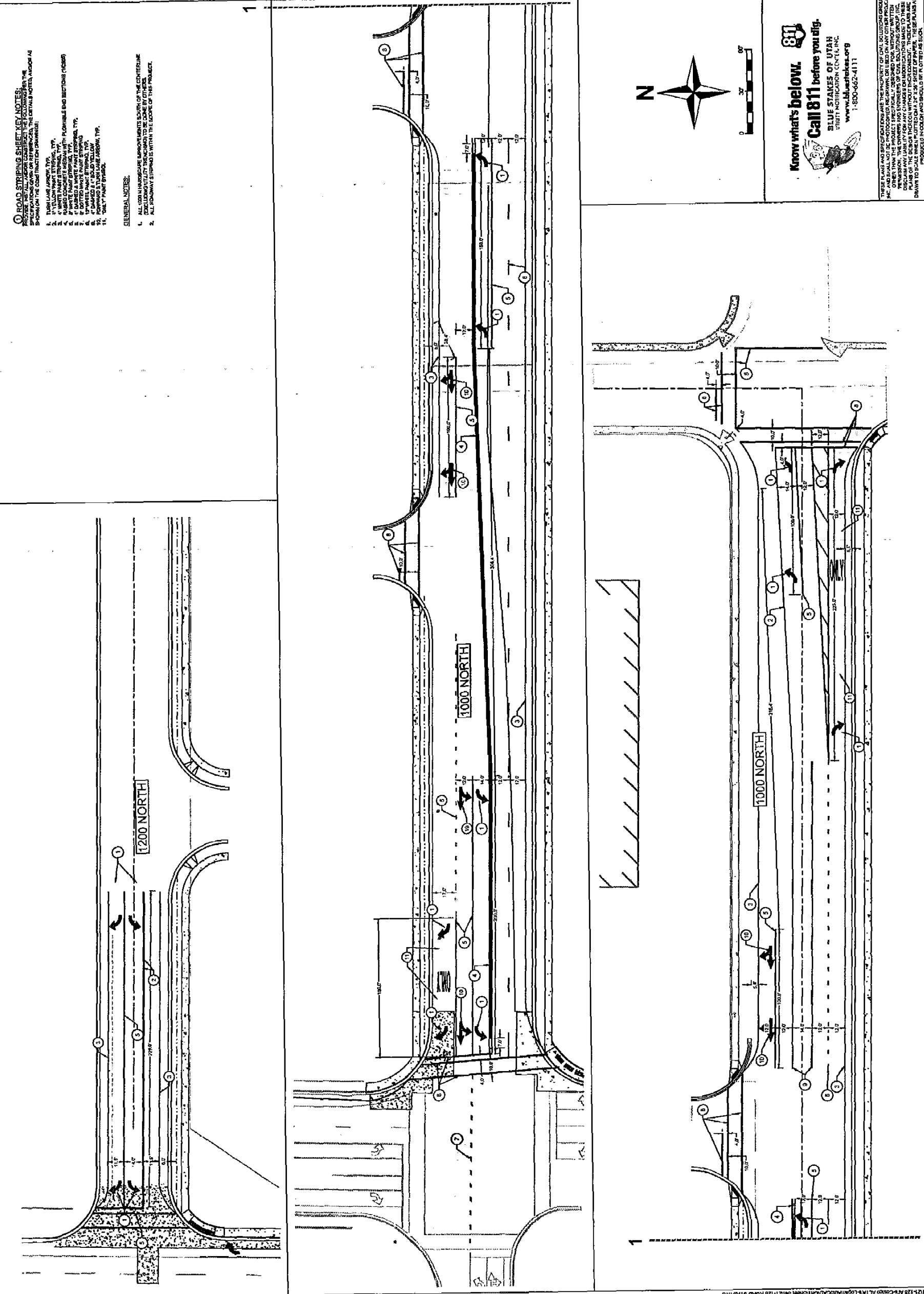
MARK	DATE	DESCRIPTION

PROJECT #: 21-128  
 DRAWN BY: T. J. JUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 1/15/22



**ROAD STRIPING**  
**C202**

- ROAD STRIPING SHEET KEY NOTES:**  
 PROVIDE FOR ALL ABOVE CONSTRUCTION TO BE ACCORDANCE WITH THE SPECIFICATIONS OF THE UTAH DEPARTMENT OF TRANSPORTATION, DETAIL NO. 1020 AND 404 FROM THE STANDARD SPECIFICATIONS.
1. YELLOW PAINT STRIPING, TYP.
  2. WHITE PAINT STRIPING, TYP.
  3. WHITE PAINT STRIPING, TYP.
  4. WHITE PAINT STRIPING, TYP.
  5. WHITE PAINT STRIPING, TYP.
  6. DASHED & WHITE PAINT STRIPING, TYP.
  7. WHITE PAINT STRIPING, TYP.
  8. WHITE PAINT STRIPING, TYP.
  9. WHITE PAINT STRIPING, TYP.
  10. WHITE PAINT STRIPING, TYP.
  11. WHITE PAINT STRIPING, TYP.
- GENERAL NOTES:**
1. ALL CONSTRUCTION IMPROVEMENTS SOUTH OF THE CENTERLINE EXCLUDING UTILITY TRENCHING TO BE DONE BY OTHERS.
  2. ALL ROADWAY STRIPING IS WITHIN THE SCOPE OF THIS PROJECT.



**Know what's below. Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR ADDITIONS MADE TO THESE PLANS AND SPECIFICATIONS AFTER THE DATE OF ISSUANCE. THE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.

DESIGNING OUR FUTURE

**civil solutions group inc.**  
 CACHE VALLEY | P: 435.213.3762  
 SALT LAKE | P: 801.216.3192  
 UTAH VALLEY | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

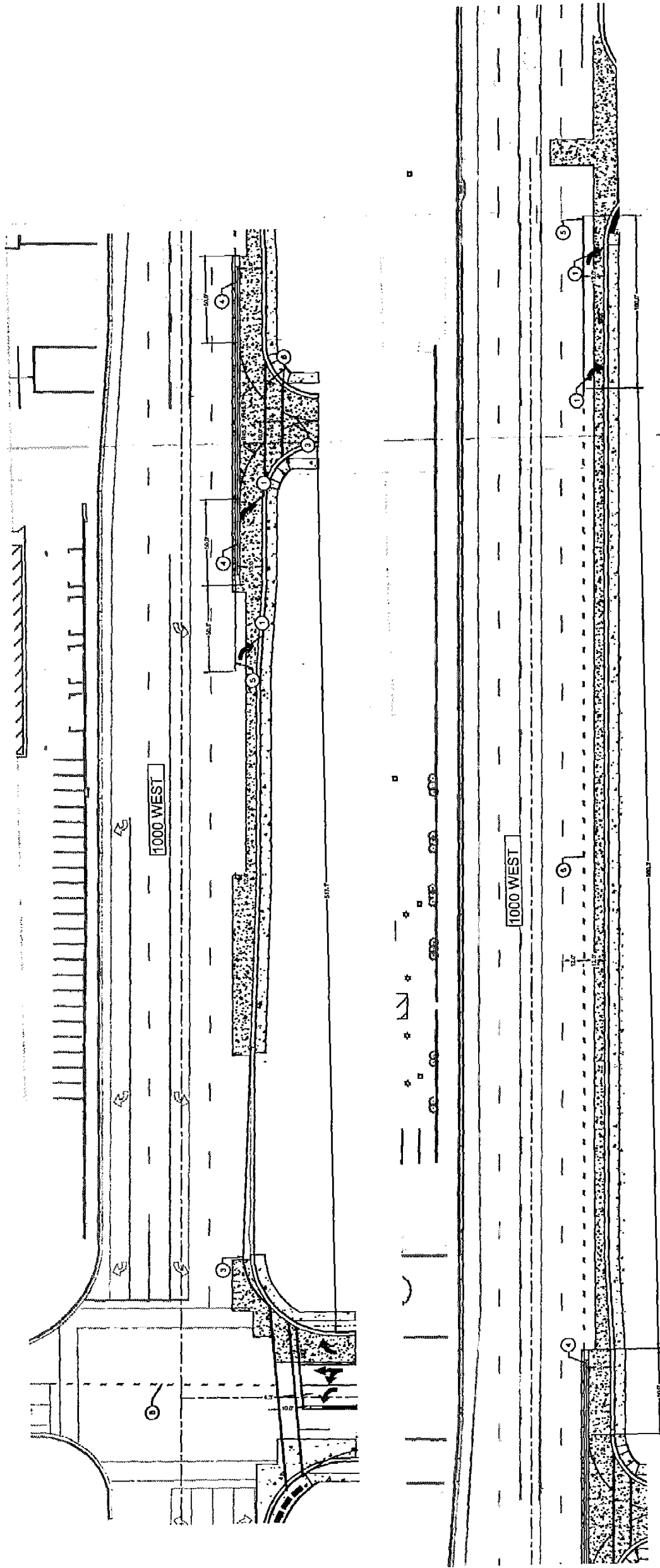
**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

PROJECT #: 21-103  
 DRAWN BY: T.MUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 11/13/22



**ROAD STRIPING (1000 W)**  
**C203**



**Know what's below. Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 BRITT HOBBS@BLUESTAKES.COM  
 www.bluestakes.org  
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND ARE TO BE USED ONLY FOR THE PROJECT SPECIFICALLY NOTED FOR. WITHOUT WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. SHALL NOT BE HELD RESPONSIBLE FOR ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE PLANS. THESE PLANS ARE DRAWN TO SCALE AND PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED IN COLOR.

- ROAD STRIPING SHEET KEY NOTES:**  
 PROVIDE DETAILS AND/OR CONSTRUCTION DETAILS NOTED. ANNOTATIONS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. TURN LANE STRIPING, TYP.
  2. YELLOW PAINT STRIPING, TYP.
  3. WHITE PAINT STRIPING, TYP.
  4. WHITE PAINT STRIPING WITH VARIABLE END SECTIONS (VES), TYP.
  5. DASHED & WHITE PAINT STRIPING, TYP.
  6. DASHED & WHITE PAINT STRIPING, TYP.
  7. WHITE PAINT STRIPING, TYP.
  8. STRIPED & SOLID YELLOW, TYP.
  9. SOLID YELLOW, TYP.
  10. SOLID PAINT STRIPING, TYP.



**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

PROJECT #: 21-128  
 DRAWN BY: T.MUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 1/13/2022

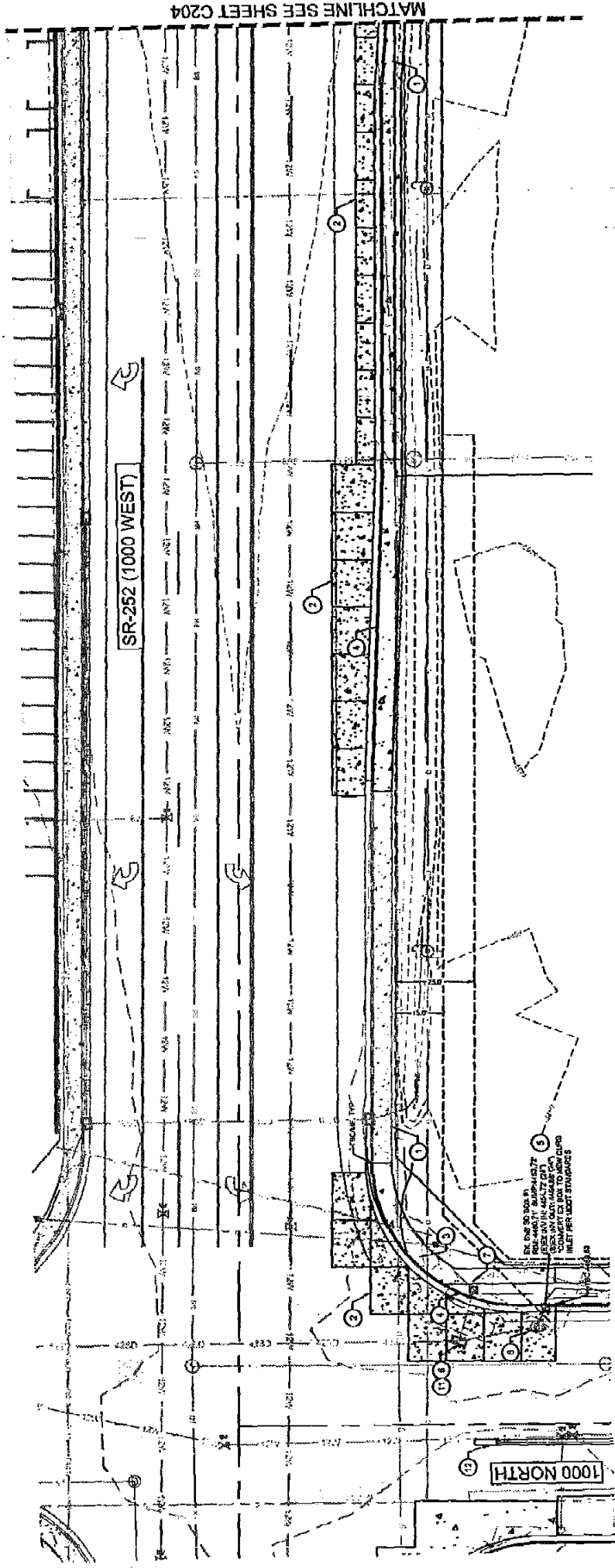


1000 W  
 ROADWAY  
 PLAN (UDOT)  
 C204

**Know what's below. Call 811 before you dig.**

**BLUR STAKES OF UTAH**  
 URBAN INSTRUMENT CONTROL, INC.  
 www.blurstakes.org  
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE PLANS OR THE DESIGN INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. SHALL BE SUBJECT TO LEGAL ACTION. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET. THE PLOT SCALE SHALL BE AS SHOWN ON THE DRAWING.



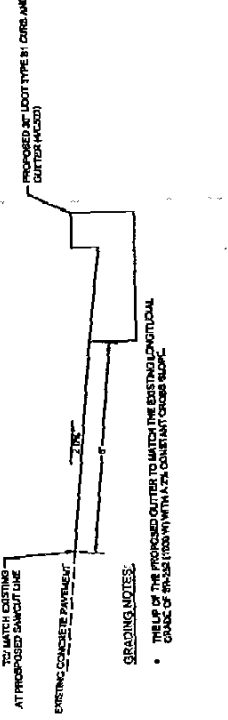
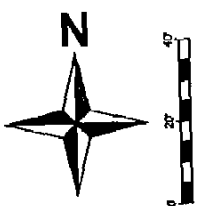
MATCHLINE SEE SHEET C204

**GENERAL NOTES:**

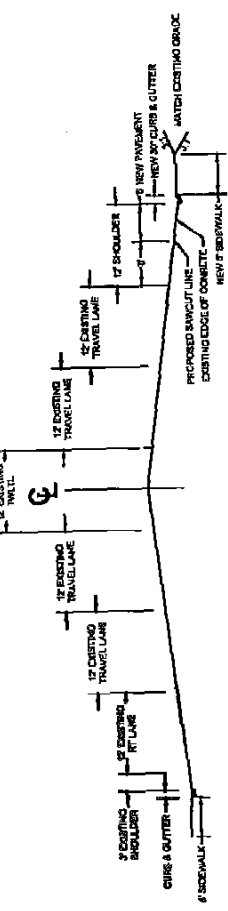
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM LOCAL AGENCIES. ALL UTILITIES TO BE MAINTAINED AT ALL TIMES. ALL UTILITIES TO BE MAINTAINED AT ALL TIMES.
- ALL UTILITIES TO BE MAINTAINED AT ALL TIMES.
- MAINTAIN A MINIMUM 2% CROSS SLOPE ON SIDEWALK.

**SHEET KEY NOTES:**

- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.
- CONCRETE SHALL BE 3000 PSI WITH 4% AIR ENTRAINMENT.



SR-252 CURB AND GUTTER GRADING



SR-252 CROSS SECTION



**civil solutions group inc.**  
 CACHE VALLEY | P: 435.213.3762  
 SALT LAKE | P: 801.216.3192  
 UTAH VALLEY | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

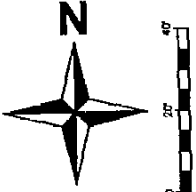
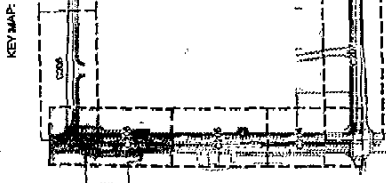
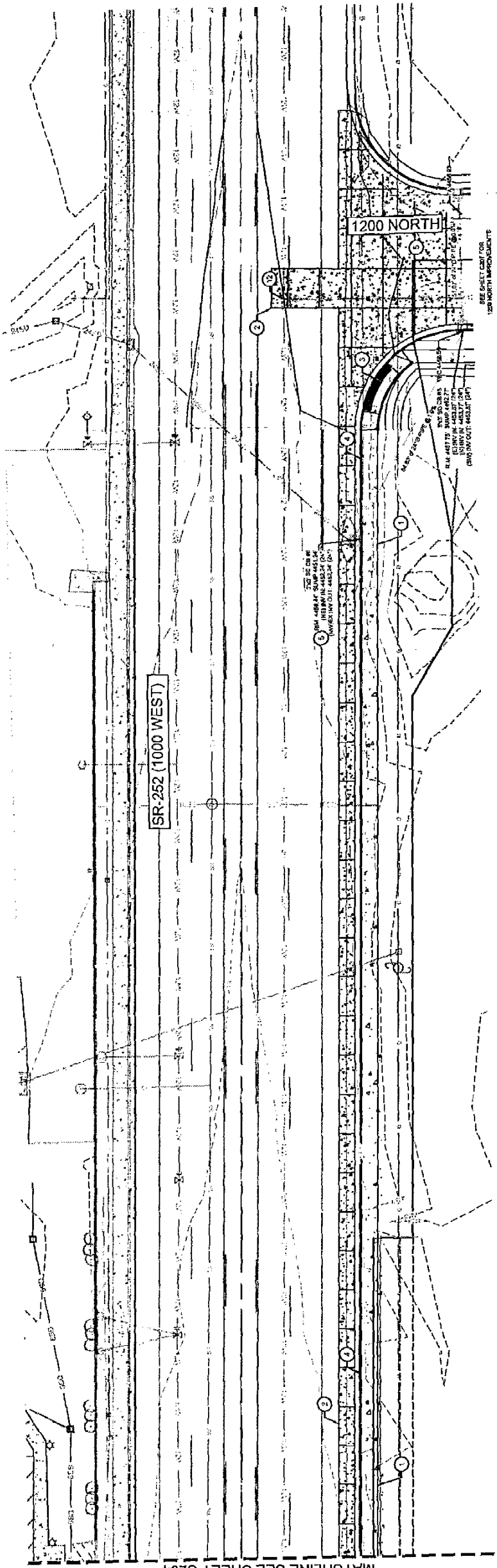
**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

PROJECT #: 24-036  
 DRAWN BY: T.MUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 1/13/2022



1000 W  
 ROADWAY  
 PLAN (UDOT)  
 C206



TO MATCH EXISTING  
 AT PROPOSED SAWTOOTH LINE

EXISTING CONCRETE PAVEMENT

GRADING NOTES:

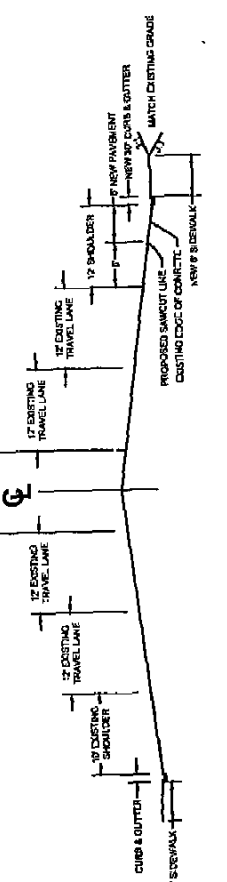
- SLOPE OF THE PROPOSED GUTTER TO MATCH THE EXISTING LONGITUDINAL GRADE OF SR-252 TO BE 1% WITH A 1% CONSTANT CROSS SLOPE.

**Know what's below. Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 UTILITY LOCATION SERVICE, INC.  
 www.bluestakes.org  
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. (CIVIL SOLUTIONS GROUP) AND ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. ANY REVISIONS OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN IN ACCORDANCE WITH YOUR CONSULTANT'S RECOMMENDATIONS SHALL BE DRAWN TO SCALE WHEN NOTED ON THE ORIGINAL PLANS. THESE PLANS ARE PRODUCED FOR YOUR USE ONLY AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT.

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS. CONTRACTOR TO VERIFY THE EXISTING GUTTER ELEVATION AND MATCH TO THE PROPOSED GUTTER ON THIS SHEET.
  - ALL THE ELEVATIONS ARE TO FULL HEIGHT OF CURB.
  - MAINTAIN A MINIMUM 2% CROSS SLOPE ON SIDEWALK.

- SHEET KEY NOTES:**
- REMOVE EXISTING GUTTER AND CURB.
  - PAVEMENT PANELS: REPAIR EXISTING PANELS TO MATCH EXISTING CONDITION.
  - CONCRETE SIDEWALK (RCP).
  - CONCRETE CURB (RCP).
  - 30" UDOT TYPE #1 CURB AND GUTTER (RCP).
  - NEW CONCRETE SIDEWALK TO REMAIN.
  - EXISTING STRUCTURE TO REMAIN.
  - CONCRETE SIDEWALK (RCP).
  - CONCRETE WATER SERVICE STUB, CAP AND MARK FOR FUTURE CONNECTION (RCP).
  - 30" UDOT TYPE #1 CURB AND GUTTER FOR FUTURE CONNECTION (RCP).
  - REMOVE EXISTING CURB AND GUTTER AND INSTALL NEW 30" UDOT TYPE #1 CURB AND GUTTER (RCP).
  - REMOVE EXISTING WATER MAIN CONNECTION TO EXISTING MAIN (RCP).
  - 30" UDOT TYPE #1 CURB AND GUTTER (RCP).
  - REMOVE EXISTING SIDEWALK AND REPAIR TO MATCH EXISTING CONDITION (RCP).



SR-252 CROSS SECTION  
 NOT TO SCALE

DESIGNING OUR FUTURE

**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

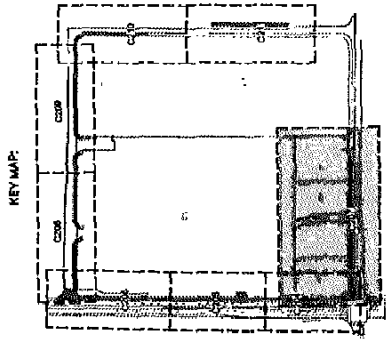
PROJECT #: 21-123  
 DRAWN BY: T. MURK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 01/30/22



**1000 N  
 ROADWAY  
 PLAN  
 C207**

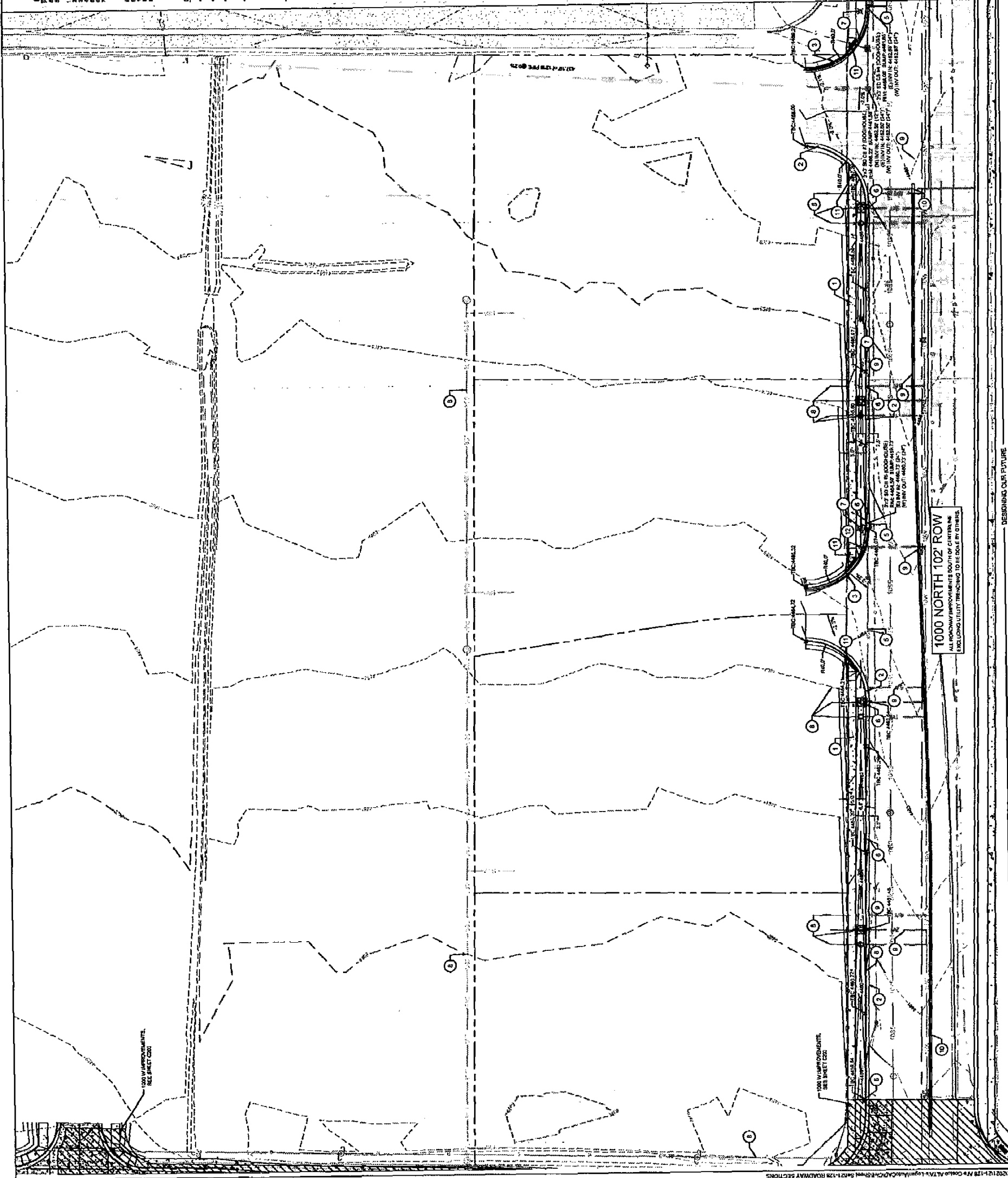
- © SITE SHEET KEY NOTES:**  
 1. PAVED DRIVE SHALL BE CONSTRUCTED TO FOLLOW THE FOLLOWING: THE FOLLOWING ARE THE...  
 2. PAVEMENT SHALL BE CONSTRUCTED TO THE PERMANENT GRADE, INCLUDING...  
 3. FINISH GRADE SHALL BE CONFORM TO THE CITY SPECIFICATIONS...  
 4. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 5. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 6. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 7. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 8. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 9. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 10. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 11. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...  
 12. SPILL CURBS & GUTTERS SHALL BE CONSTRUCTED TO THE PERMANENT GRADE...

- GRADING NOTES:**
- MAINTAIN A MINIMUM OF 3% LONGITUDINAL SLOPE IN ALL...  
 GUTTERS AND A MINIMUM OF 2% CROSS-SLOPE ON ALL...  
 STALLS AND LANDSCAPE AREAS.
  - MAINTAIN A MAXIMUM CROSS-SLOPE OF 4% ON ALL...  
 DRIVEWAYS AND ALL BUILDING FOOTPRINTS AND...  
 ENTRANCES.
  - ALL TOP BACKS OF CURB DALLS ARE SHOWN TO FULL...  
 HEIGHT.
- GRADING LEGEND:**
- FINISH GRADE
  - TOP OF ASPHALT
  - TOP OF CONCRETE
  - EXISTING ELEVATION
  - PROPOSED ELEVATION



**Know what's below. Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-452-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE REPRODUCED, RE-DRAWN, OR USED ON ANY PROJECT WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. THE ENGINEER AND SURVEYOR OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM LIABILITY FOR ANY ERRORS OR OMISSIONS ON THESE PLANS. THESE PLANS ARE DRAWN TO SCALE WHICH PLOTTED ON A 36" x 48" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED IN COLOR.



**civil solutions group inc.**  
 CACHE VALLEY | P: 435.213.3762  
 SALT LAKE | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

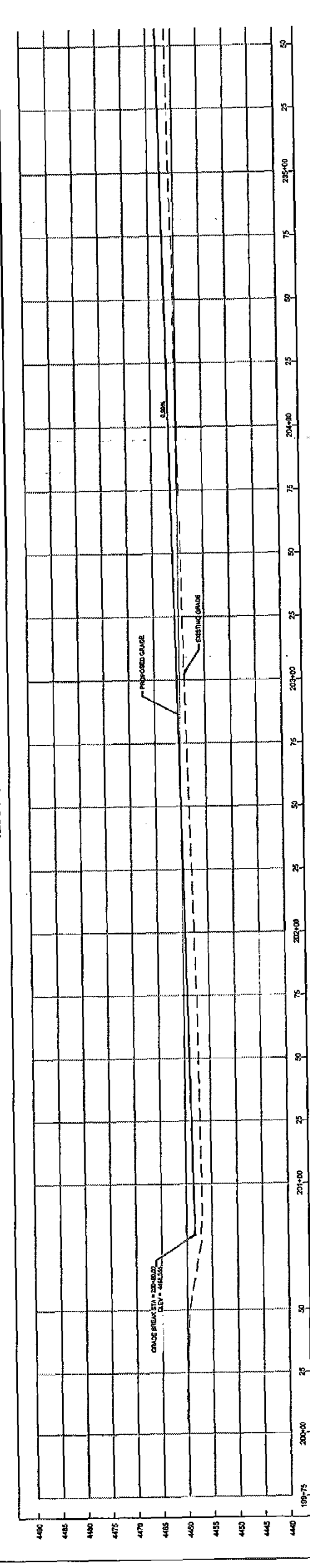
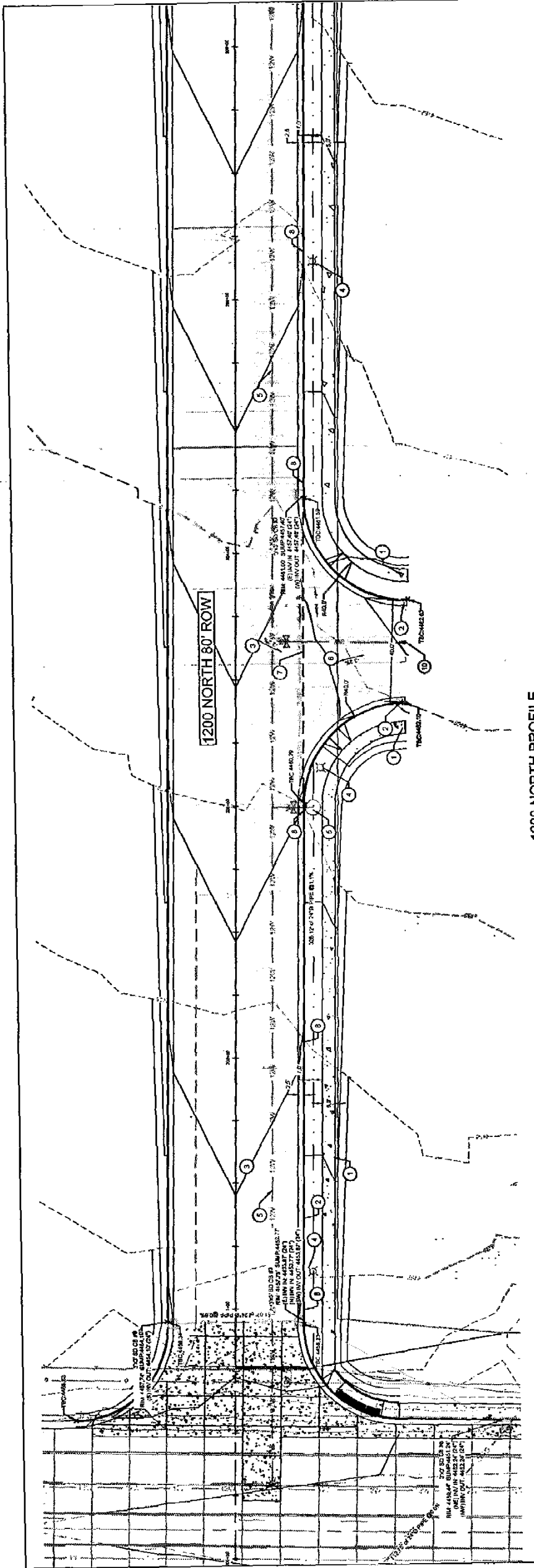
**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

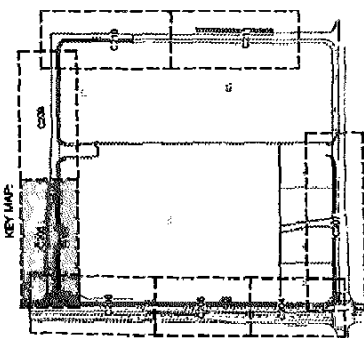
PROJECT #: 21-128  
 DRAWN BY: TMUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 1/15/2022



1200 N  
 ROADWAY  
 PLAN  
 C208



**Know what's below. Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111



- GRADING NOTES:**
- MAINTAIN A MINIMUM OF 2% CROSS-SLOPE AWAY FROM THE CENTERLINE.
  - MAINTAIN A MINIMUM OF 3% CROSS-SLOPE ON ALL SIDEWALKS AND DRIVEWAYS.
  - MAINTAIN A MINIMUM CROSS-SLOPE OF 2% ON ALL DRIVEWAYS AND AT ALL CURBS.
  - ALL SLOPES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
  - ALL TOP SURF OF CURBS SHALL BE KNOWN TO FULL HEIGHT.
- GRADING LEGEND:**
- TIC = FINISHED GRADE
  - TA = TOP OF ASPHALT
  - TI = TOP OF CONCRETE
  - TU = TOP OF UTILITY
  - TR = TOP OF ROADWAY

- KEY NOTES:**
- 1. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 2. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 3. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 4. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 5. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 6. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 7. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 8. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 9. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.
  - 10. MAINTAIN EXISTING GRADE UNLESS OTHERWISE NOTED.

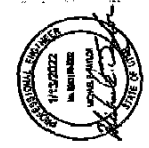
Civil Solutions Group, Inc.
GACHE VALLEY | P: 801.216.3182
SALT LAKE | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

BLUE SPRING SUBDIVISION

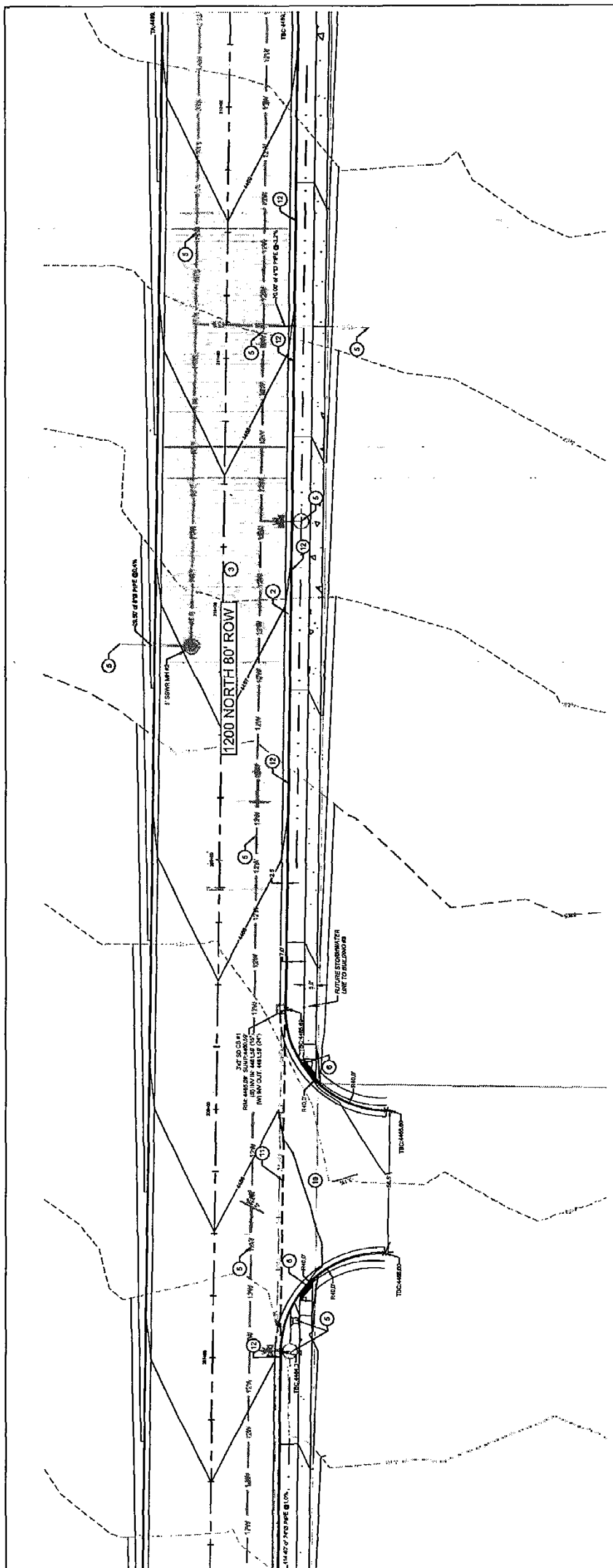
1000 NORTH 1000 WEST
LOGAN, UT, 84321

Table with columns: MARK, DATE, DESCRIPTION

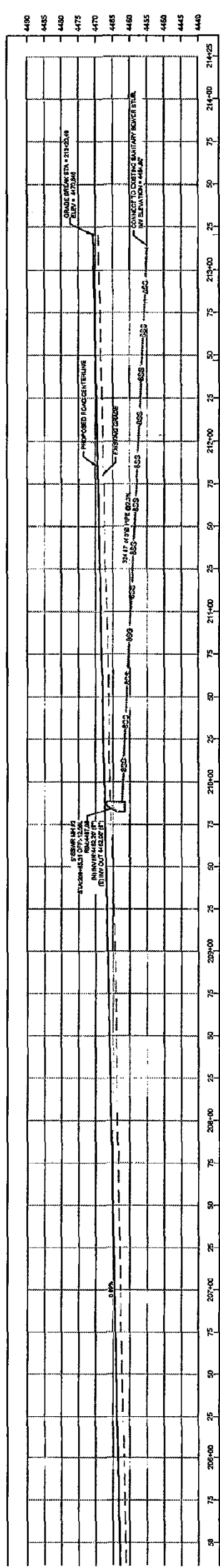
PROJECT #: 21-128
DRAWN BY: TAJANK
PROJECT MANAGER: M. TAYLOR
ISSUED: 11/30/22



1200 N
ROADWAY
PLAN
C209



1200 NORTH PROFILE



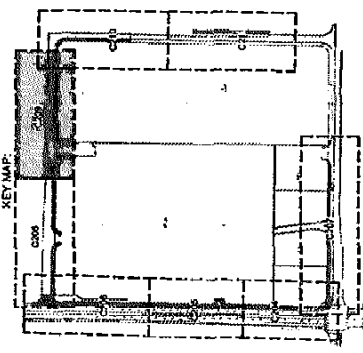
GRADING LEGEND:
FG - FINISHED GRADE
TG - TOP BACK OF CURB
TA - TOP OF ASPHALT
TE - TOP OF EXISTING
WE - MATCH EXISTING

GRADING NOTES:
1. MAINTAIN A MINIMUM OF 5% LONGITUDINAL SLOPE IN ALL OUTLETS.
2. MAINTAIN A MAXIMUM OF 5% CROSS-SLOPE ON ALL ADA STAIRS AND
3. MAINTAIN A MAXIMUM CROSS-SLOPE OF 2% ON ALL SIDEWALKS AND AT
4. ALL BUILDING SIDEWALKS AND ENTRANCES.
5. ALL TOP BACK OF CURB CALL OUTS ARE SHOWN TO FULL HEIGHT.

GRADING NOTES:
1. MAINTAIN A MINIMUM OF 5% LONGITUDINAL SLOPE IN ALL OUTLETS.
2. MAINTAIN A MAXIMUM OF 5% CROSS-SLOPE ON ALL ADA STAIRS AND
3. MAINTAIN A MAXIMUM CROSS-SLOPE OF 2% ON ALL SIDEWALKS AND AT
4. ALL BUILDING SIDEWALKS AND ENTRANCES.
5. ALL TOP BACK OF CURB CALL OUTS ARE SHOWN TO FULL HEIGHT.

GRADING NOTES:
1. MAINTAIN A MINIMUM OF 5% LONGITUDINAL SLOPE IN ALL OUTLETS.
2. MAINTAIN A MAXIMUM OF 5% CROSS-SLOPE ON ALL ADA STAIRS AND
3. MAINTAIN A MAXIMUM CROSS-SLOPE OF 2% ON ALL SIDEWALKS AND AT
4. ALL BUILDING SIDEWALKS AND ENTRANCES.
5. ALL TOP BACK OF CURB CALL OUTS ARE SHOWN TO FULL HEIGHT.

Know what's below. Call 811 before you dig. BLUE STAKES OF UTAH



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE REPRODUCED, REPAIRED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. CIVIL SOLUTIONS GROUP, INC. SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS MADE TO THESE PLANS OR SPECIFICATIONS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.

DESIGNING OUR FUTURE

**Civil Solutions Group, Inc.**  
 CACHÉ VALLEY | P: 435.213.3762  
 SALT LAKE | P: 801.216.3192  
 UTAH VALLEY | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

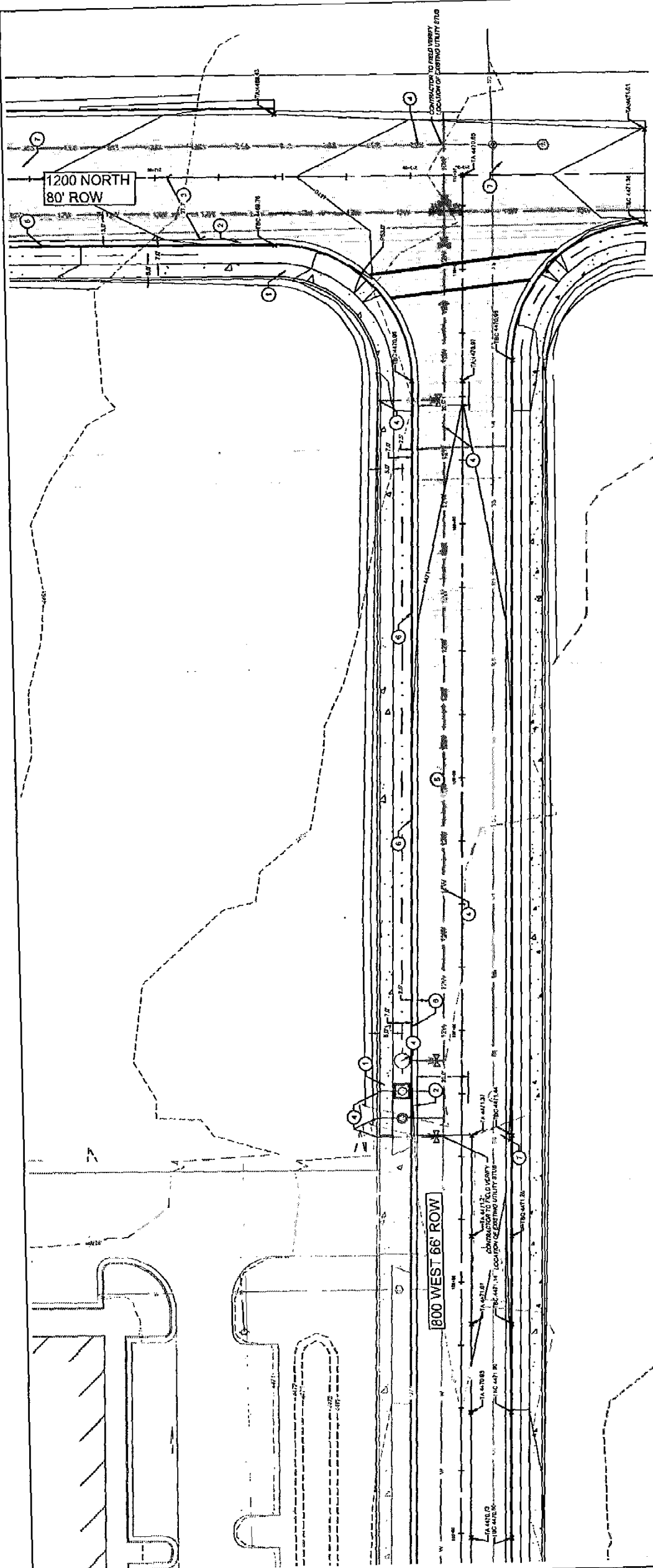
**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

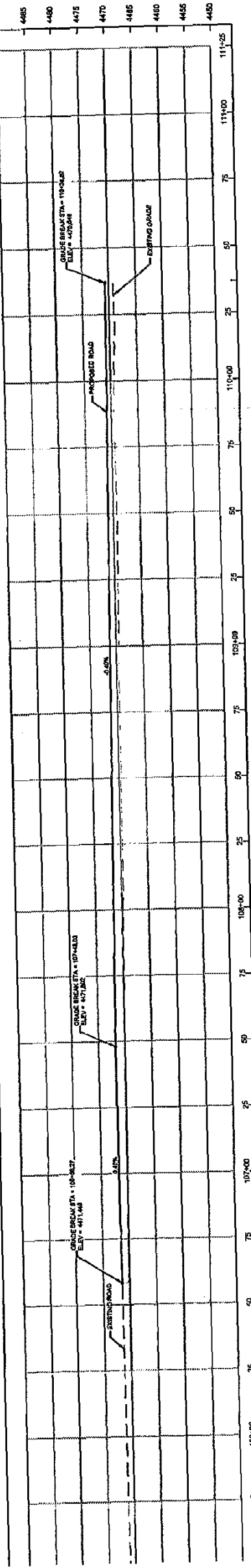
PROJECT #: 2-22  
 DRAWN BY: TADUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 1/19/2022



**800 W  
 ROADWAY  
 PLAN  
 C210**



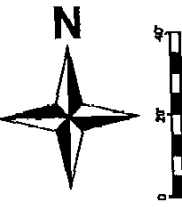
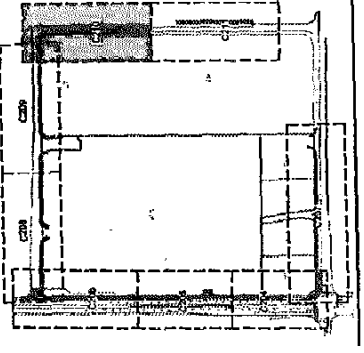
**800 WEST PROFILE**



**① SITE SHEET KEY NOTES:**  
 PROVIDE INSTALLATION FOR CURBS AND GUTTERS AS SHOWN ON THE CONSTRUCTION DRAWINGS.  
 1. ESTIMATED DUTY CONCRETE RECYCLABLE (RCSR) (RCSR)  
 2. CURB & GUTTER (1.500)  
 3. 3" PARTIAL DEPTH IMPROVED GRANULAR SUBGRADE (IGS) (IGS)  
 4. 4" FULL DEPTH (FDR) IMPROVED GRANULAR SUBGRADE (IGS)  
 5. SCRAPERS (SCRAPERS)  
 6. CONTRACTOR TO MATCH EXISTING ONE OF EXISTING DITCH (EXD)

**GRADING NOTES:**  
 • MAINTAIN MAXIMUM OF 5% LONGITUDINAL SLOPE IN ALL OUTLETS.  
 • MAINTAIN MAXIMUM OF 5% CROSS-SLOPE ON ALL SIDE STALLS AND LANDING AREAS.  
 • ALL SLEDDING CORNER SLOPES OF 2% ON ALL SIDEWALKS AND AT ALL SLEDDING CORNER SLOPES AND ENTRANCES.  
 • ALL TOP BACKS OF CURB CALL OUTS ARE BROWN TO FULL HEIGHT.

**GRADING LEGEND:**  
 PG = FINISHED GRADE  
 TD = TOP BACK OF CURB  
 TC = TOP OF CONCRETE  
 ME = MATCH EXISTING



**Know what's below. Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL BE KEPT IN CONFIDENCE. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP, INC. THESE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THESE PLANS ARE DRAWN TO SCALE AND SHOWN ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTAH DIVISION OF PROFESSIONAL ENGINEERING.







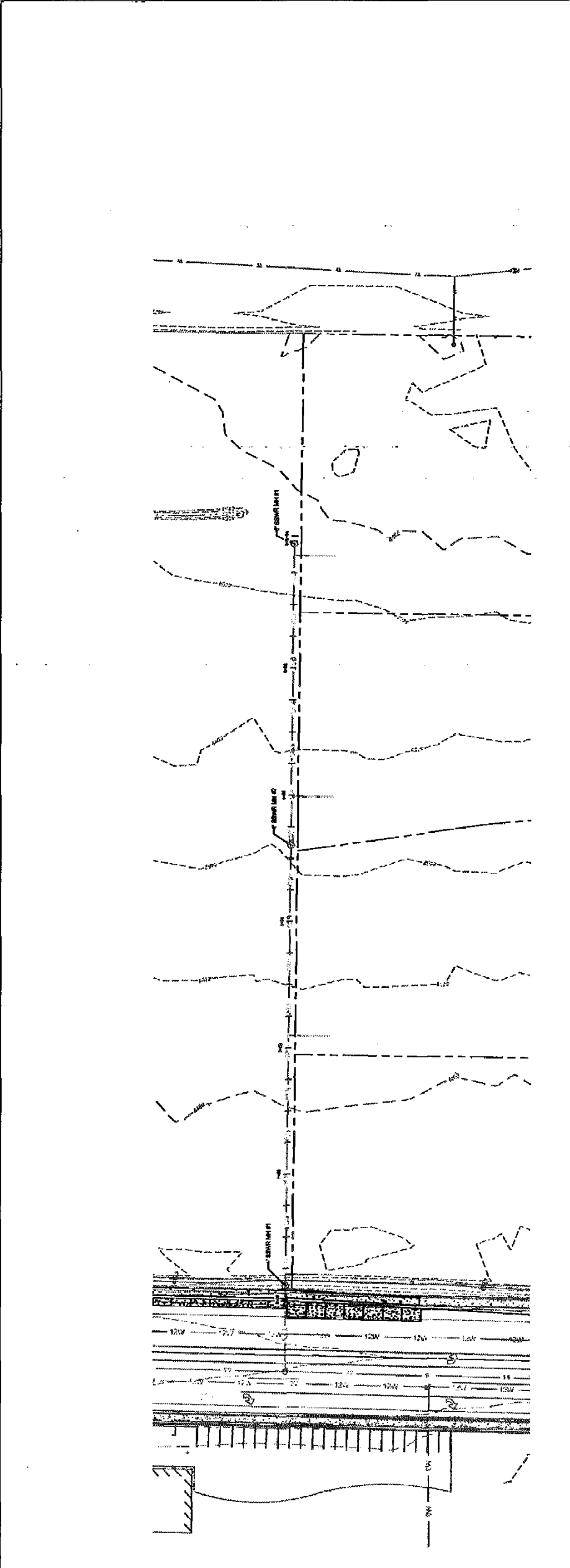
**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

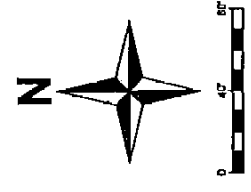
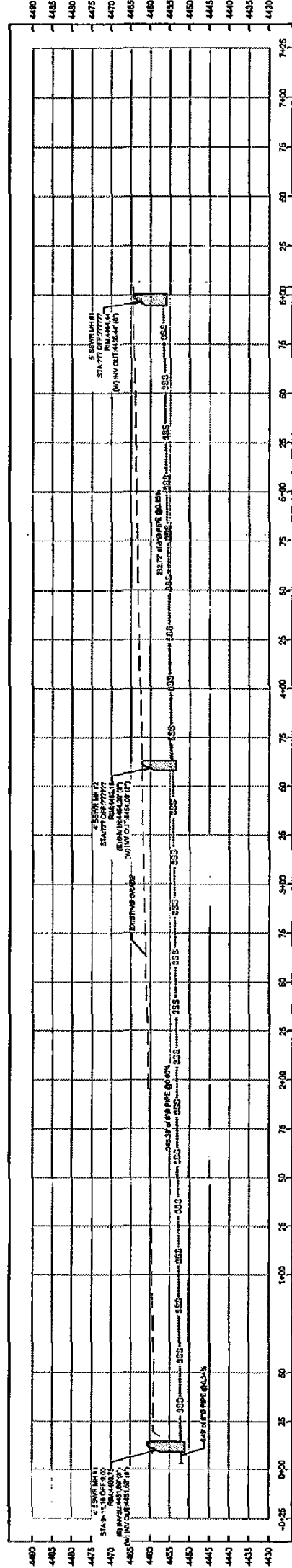
PROJECT #: 21-128  
 DRAWN BY: TAJDOK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 11/13/22



**SANITARY SEWER PROFILE (S LOTS)**  
**C302**




SANITARY SEWER PROFILE



**Know what's below. Call 811 before you dig.**  
 BLUE STATES OF UTAH  
 VISIT: [www.811.org](http://www.811.org)  
 1-800-662-4111

THIS PLAN IS THE PROPERTY OF CIVIL SOLUTIONS GROUP INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS PLAN OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVIL SOLUTIONS GROUP INC. ANY CHANGES OR ADDITIONS MADE TO THESE PLANS OR THE DESIGN THEREOF WITHOUT THE CONSENT OF CIVIL SOLUTIONS GROUP INC. WILL BE AT THE USER'S RISK. THESE PLANS ARE DRAWN TO SCALE AND SHOULD BE PLOTTED AS SUCH.


**Civil Solutions Group Inc.**  
 CACHE VALLEY | P: 435.213.3762  
 SALT LAKE | P: 801.218.3192  
 UTAH VALLEY | P: 801.874.1432  
 info@civilsolutionsgroup.net  
 www.civilsolutionsgroup.net

**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

MARK	DATE	DESCRIPTION

PROJECT #: 21-102  
 DRAWN BY: T.MUNK  
 PROJECT MANAGER: N. TAYLOR  
 ISSUED: 1/15/2022



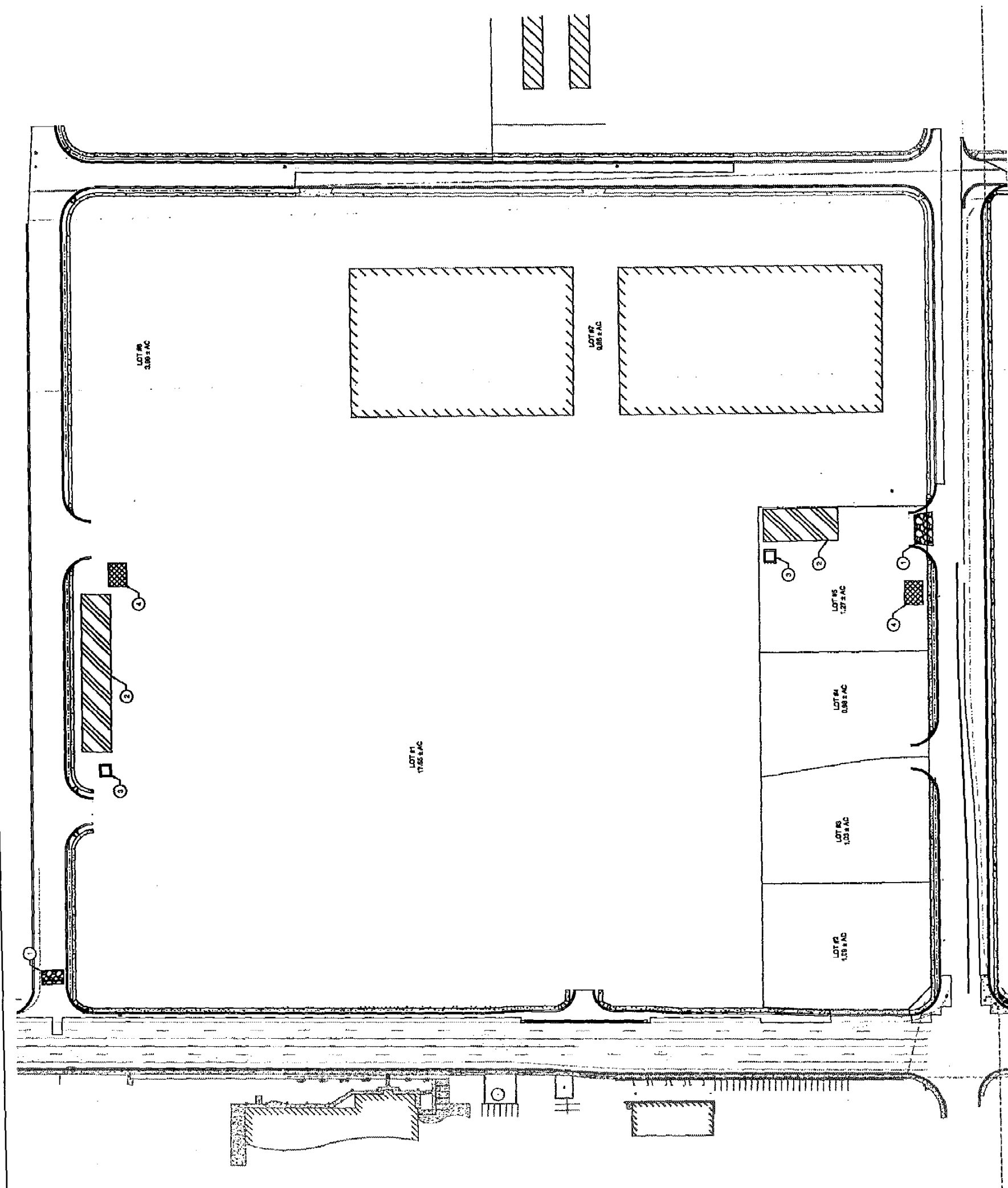
**EROSION CONTROL PLAN**  
**C401**

**EROSION CONTROL PLAN SHEET KEY NOTES:**  
 1. THIS PLAN IS FOR INFORMATION ONLY. THE OWNER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS TO BE SHOWN ON THE CONSTRUCTION DOCUMENTS.  
 2. VEHICLES TRUCKS CITY AND COUNTY PERMITS PORTABLE TOILET CONCRETE WATER TREATMENT FACILITY



**Know what's below. Call 811 before you dig.**  
**BLUE STAKES OF UTAH**  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP INC. AND SHALL NOT BE PHOTOCOPIED, REPRODUCED, COPIED, OR OTHERWISE DISSEMINATED IN ANY MANNER WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY IN CONNECTION WITH THESE PLANS AND SPECIFICATIONS. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED AT COLOR AND SHOULD BE PLOTTED AS SUCH.

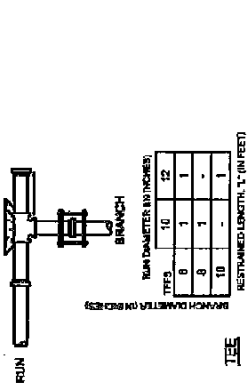


MARK	DATE	DESCRIPTION

PROJECT #: 21-128  
 DRAWN BY: TAJUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 11/2002



**DETAILS**  
**C501**



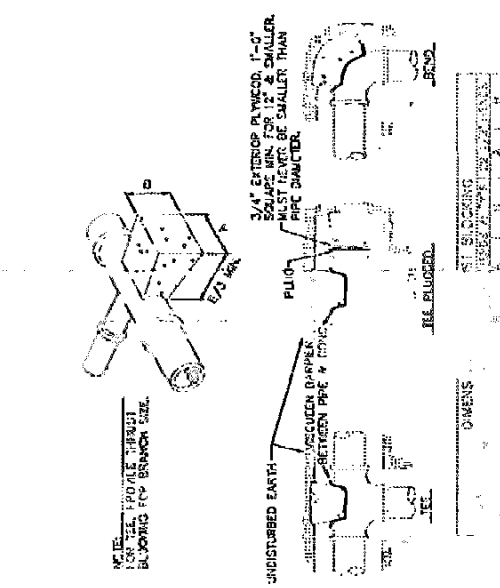
**NOTES:**  
 1. RESTRAINT THE TWO MEMBERS JOINTS ON THE SURFACE OF THE MEMBER TO BE FULL LENGTH OF THE MEMBERS.  
 2. ALL JOINTS WITHIN THE LENGTH OF THE MEMBER MUST BE RESTRAINED WITH REINFORCED CONCRETE AT EACH END AND AT EACH JOINT.  
 3. FOR TEE ON EXISTING WATER LINE USE THURST BLOCK PER DETAIL 4 THIS SHEET.



**NOTES:**  
 1. ALL JOINTS WITHIN LENGTH MUST BE RESTRAINED WITH REINFORCED CONCRETE AT EACH END AND AT EACH JOINT AND IN REINFORCED CONCRETE PER DETAIL 4 THIS SHEET.

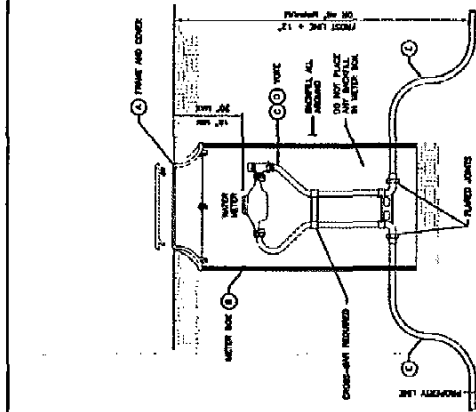
**ADJUSTMENT CALCULATION**  
 ADDITIONAL NOTES:  
 1. CLASS 1 REINFORCEMENT TO SUPPORT PROVIDED BY JOINT CONTRACTOR.  
 2. ALL JOINTS WITHIN LENGTH MUST BE RESTRAINED WITH REINFORCED CONCRETE AT EACH END AND AT EACH JOINT AND IN REINFORCED CONCRETE PER DETAIL 4 THIS SHEET.  
 3. ALL JOINTS WITHIN LENGTH MUST BE RESTRAINED WITH REINFORCED CONCRETE AT EACH END AND AT EACH JOINT AND IN REINFORCED CONCRETE PER DETAIL 4 THIS SHEET.  
 4. ALL JOINTS WITHIN LENGTH MUST BE RESTRAINED WITH REINFORCED CONCRETE AT EACH END AND AT EACH JOINT AND IN REINFORCED CONCRETE PER DETAIL 4 THIS SHEET.

**THRUST BLOCK & JOINT RESTRAINT DETAILS**  
 NOT TO SCALE



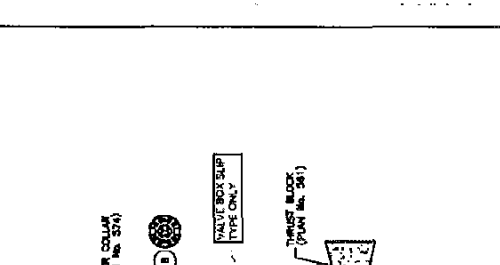
**NOTES:**  
 1. THIS TABLE IS BASED ON 4000 P.S.I. MAXIMUM PRESSURE AND 2000 P.S.F. SOIL BEARING CAPACITY. REINFORCEMENT MUST BE PROVIDED WITH THE CONCRETE AND THE REINFORCEMENT MUST BE PLACED IN THE CONCRETE.  
 2. USE 3/4" DIA. REINFORCED CONCRETE AND 1/2" DIA. REINFORCED CONCRETE.  
 3. THE THRUST BLOCKING DETAILS MUST BE LOCATED OR REINFORCED BY THE CONTRACTOR.  
 4. ADDITIONAL BLOCKING WHEN BE WARRANTED OR REQUIRED BY THE CONTRACTOR.

**7**  
**C501**



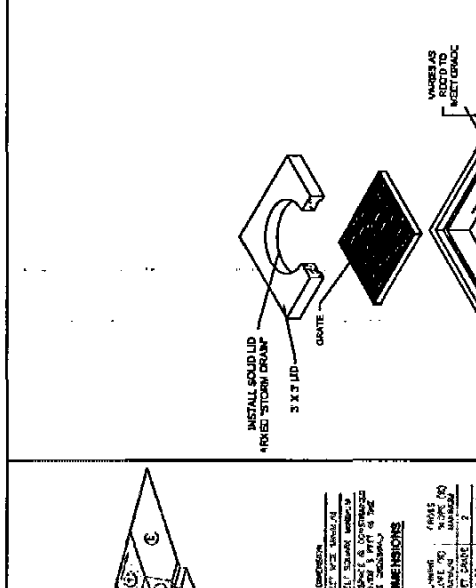
ITEM	DESCRIPTION	QUANTITY	UNIT
1	1" WATER METER	1	EA
2	1" WATER METER FITTING	1	EA
3	1" WATER METER FITTING	1	EA
4	1" WATER METER FITTING	1	EA
5	1" WATER METER FITTING	1	EA

**5**  
**C501**



**NOTES:**  
 1. THIS TABLE IS BASED ON 4000 P.S.I. MAXIMUM PRESSURE AND 2000 P.S.F. SOIL BEARING CAPACITY. REINFORCEMENT MUST BE PROVIDED WITH THE CONCRETE AND THE REINFORCEMENT MUST BE PLACED IN THE CONCRETE.  
 2. USE 3/4" DIA. REINFORCED CONCRETE AND 1/2" DIA. REINFORCED CONCRETE.  
 3. THE THRUST BLOCKING DETAILS MUST BE LOCATED OR REINFORCED BY THE CONTRACTOR.  
 4. ADDITIONAL BLOCKING WHEN BE WARRANTED OR REQUIRED BY THE CONTRACTOR.

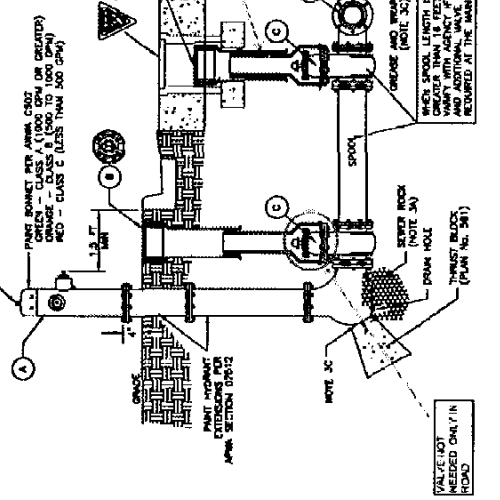
**8**  
**C501**



**SCOPE TABLE**

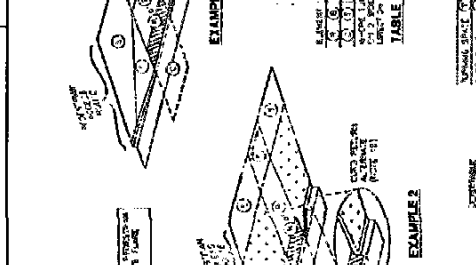
SECTION	SCALE	WORKING
1	1/4" = 1'-0"	1
2	1/4" = 1'-0"	1
3	1/4" = 1'-0"	1
4	1/4" = 1'-0"	1
5	1/4" = 1'-0"	1
6	1/4" = 1'-0"	1
7	1/4" = 1'-0"	1
8	1/4" = 1'-0"	1
9	1/4" = 1'-0"	1
10	1/4" = 1'-0"	1

**9**  
**C501**



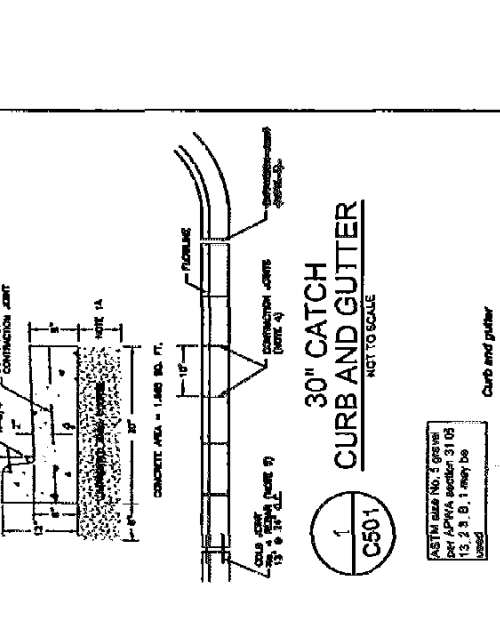
**SECTION**  
 FIRE HYDRANT WITH VALVE  
 213  
 NOT TO SCALE

**2**  
**C501**



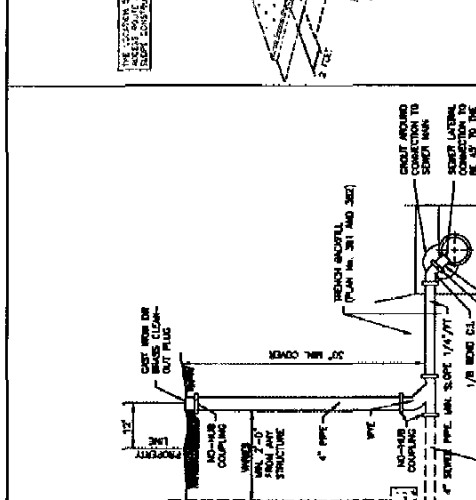
**SECTION**  
 SEWER SERVICE DETAIL  
 NOT TO SCALE

**4**  
**C501**



**SECTION**  
 30" CURB AND GUTTER  
 NOT TO SCALE

**1**  
**C501**



**SECTION**  
 30" SPILL CURB AND GUTTER  
 NOT TO SCALE

**8**  
**C501**

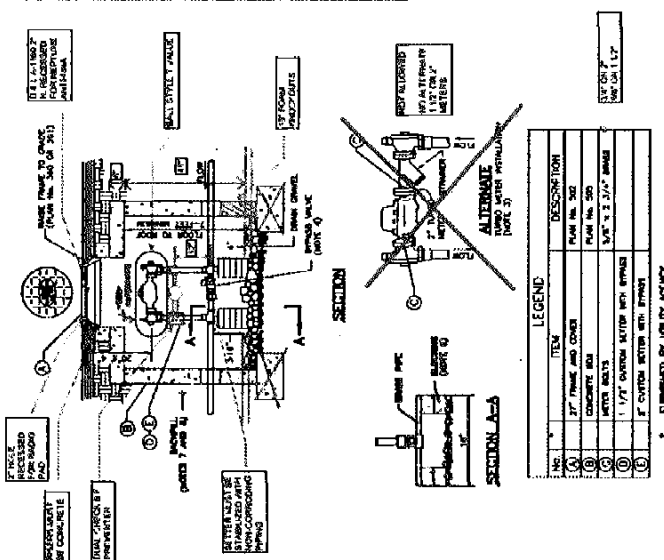
MARK	DATE	DESCRIPTION

PROJECT #: 21-128  
 DRAWN BY: TADUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 11/20/2022



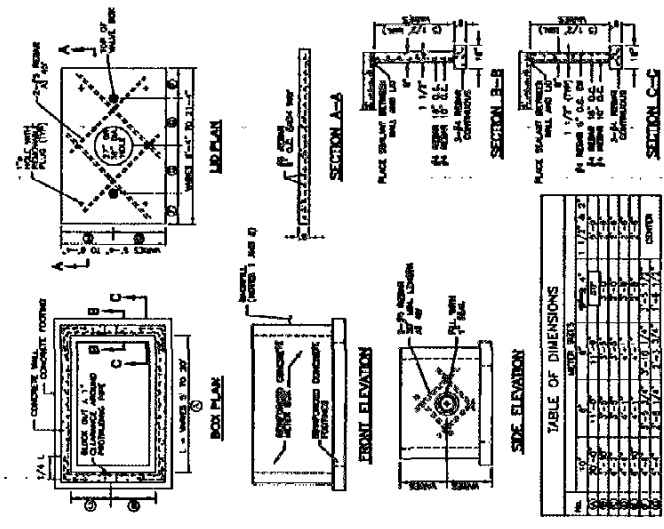
DETAILS

C502



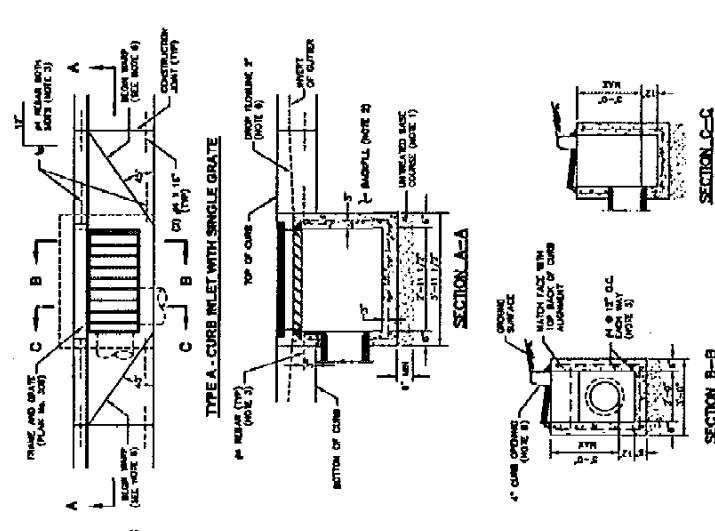
Per No. 522  
 August 2020  
 1 1/2" and 2" meter  
 FURNISHED BY UTILITY AGENCY

3 C502 2" WATER METER AND VAULT  
 NOT TO SCALE

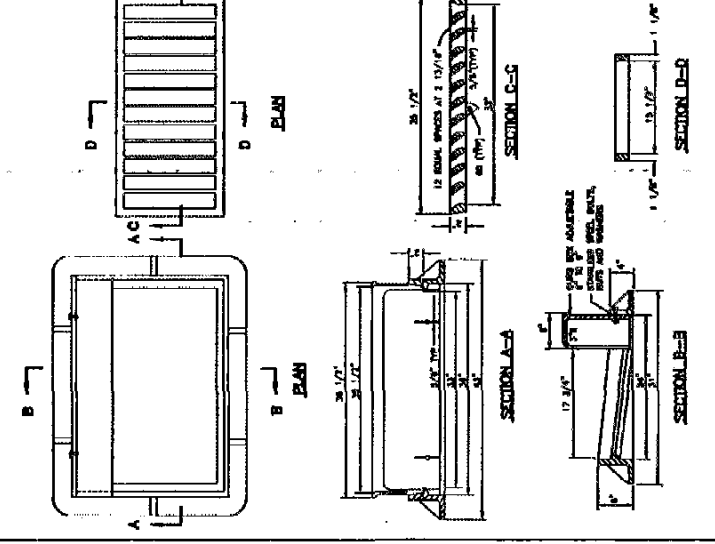


Per No. 505  
 August 2020  
 Concrete bases  
 311

7 C502 5'-0" WATERWAY  
 CONCRETE AREA = 1.837 SQ. FT.  
 NOT TO SCALE



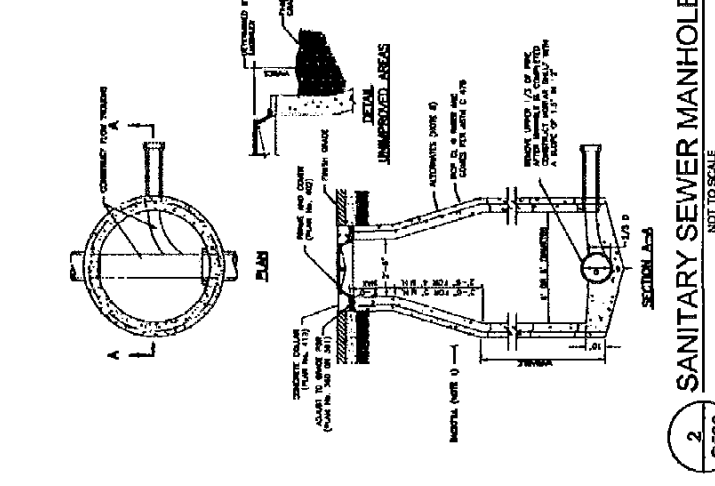
6 C502 2'X3' CURB INLET BOX  
 NOT TO SCALE



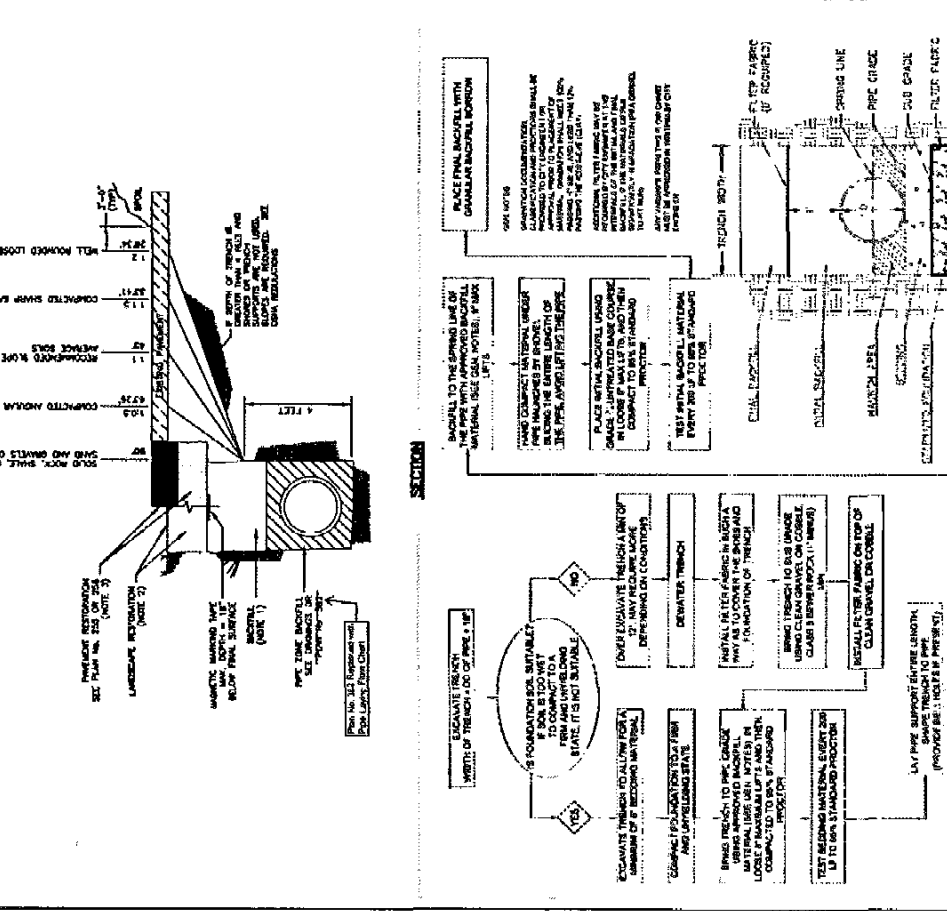
2 C502 SANITARY SEWER MANHOLE  
 NOT TO SCALE



7 C502 CONCRETE WATERWAY  
 NOT TO SCALE



5 C502 TRENCHING DETAIL  
 NOT TO SCALE

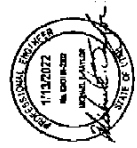


1 C502 CONCRETE SIDEWALK  
 NOT TO SCALE

**BLUE SPRING SUBDIVISION**  
 1000 NORTH 1000 WEST  
 LOGAN, UT, 84321

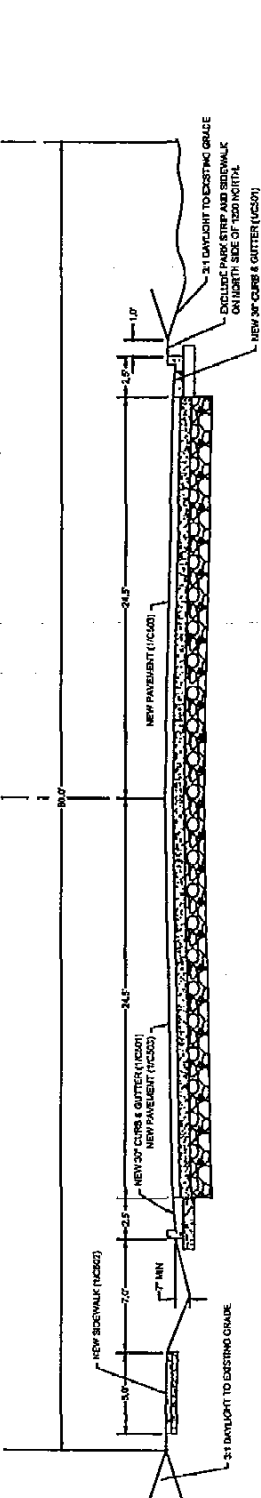
MARK	DATE	DESCRIPTION

PROJECT #: 24-128  
 DRAWN BY: T. MUNK  
 PROJECT MANAGER: W. TAYLOR  
 ISSUED: 1/13/2022

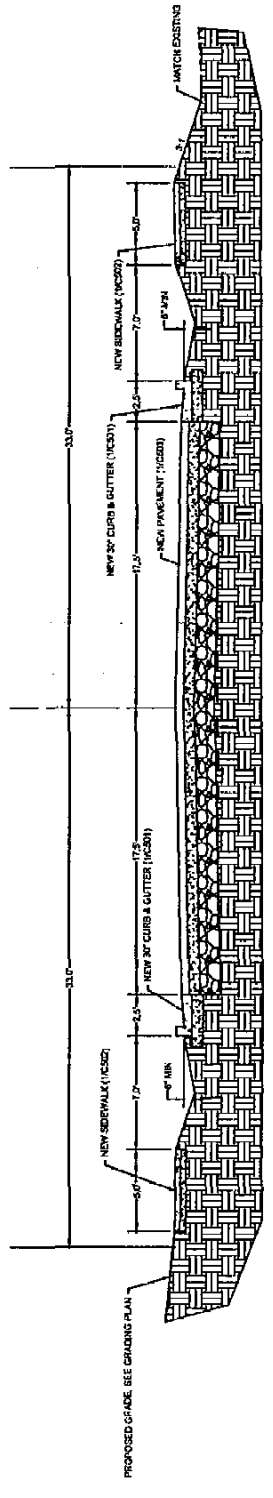


DETAILS

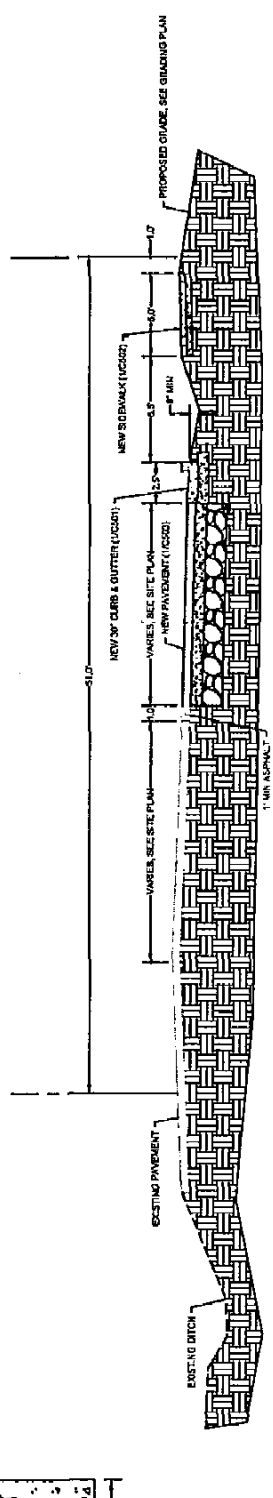
C503



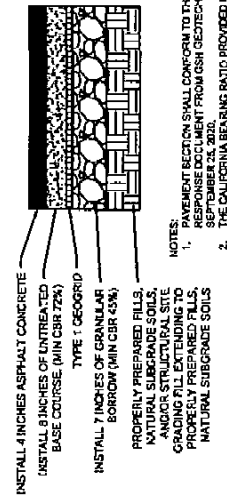
**2 80' RIGHT OF WAY**  
 NOT TO SCALE  
 C503



**3 66' RIGHT OF WAY**  
 NOT TO SCALE  
 C503

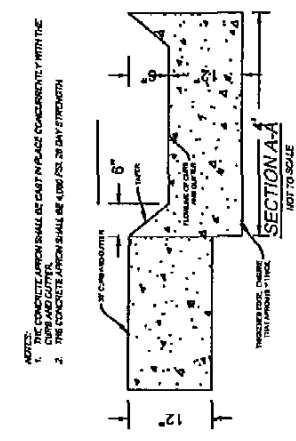


**5 102' RIGHT OF WAY PARTIAL WIDTH EXTENSION TO 1000 WEST**  
 NOT TO SCALE  
 C503



- NOTES:
1. PAVEMENT SECTION SHALL CONFORM TO THE REVISED SEPTEMBER 2018 DATED RESPONSE DOCUMENT FROM DSH GEOTECHNICAL, INC. DATED SEPTEMBER 23, 2020.
  2. THE CALIFORNIA BEARING RATIO PROVIDED FROM DSH GEOTECHNICAL, INC. SHALL BE USED IN ALL PAVEMENT SECTIONS PER THE REVIEW RESPONSE DOCUMENT FROM DSH GEOTECHNICAL, INC. DATED SEPTEMBER 23, 2020.
  3. OVERLAP ASPHALT A MINIMUM OF 2 FEET ABOVE EXISTING BETWEEN OLD AND NEW SUBGRADE.

**1 800 WEST/1000 NORTH/1200 NORTH PAVEMENT SECTION**  
 NOT TO SCALE  
 C503



**6 CURB CUT SCUPPER**  
 NOT TO SCALE  
 C503

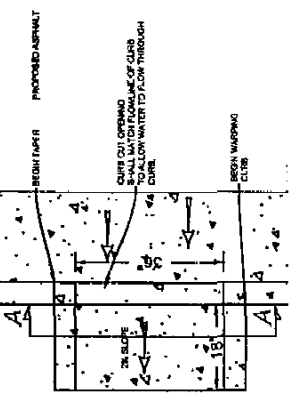


Table with columns: MARK, DATE, DESCRIPTION

PROJECT #: 24-128
DRAWN BY: T. JAVANK
PROJECT MANAGER: M. TAYLOR
ISSUED: 11/15/2022



DETAILS
(UDOT)

C504

UTAH DEPARTMENT OF TRANSPORTATION
CURB AND GUTTER
ISOMETRIC VIEW
PLAN
SECTION A-A
SECTION B-B
CONCRETE PAVEMENT
DETAILS 2 OF 2

CONCRETE ROADWAY SECTION WITHIN UDOT ADA RAMP
NO PARK STRIP
6" SIDEWALK
NOT TO SCALE
CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPACTION FROM A UDOT QUALIFIED LABORATORY

UTAH DEPARTMENT OF TRANSPORTATION
URBAN CONCRETE
PAVEMENT DETAILS
COMBINATION ACCESS AT APEX OF A CORNER EXAMPLE FOR BI-DIRECTIONAL CROSSWALK NEXT TO GUTTER
UDOT ADA RAMP
NOT TO SCALE

UTAH DEPARTMENT OF TRANSPORTATION
CONCRETE TO REPAIR & TRANSITION
LONGITUDINAL CONTACT JOINT
MID-PANEL CONTACT JOINT
LONGITUDINAL SAWED JOINT
TRANSVERSE SAWED JOINT
LOAD TRANSFER PANEL BAR LAYOUT FOR NEW PAVEMENT
PANEL REMOVAL DETAIL
LOAD TRANSFER PANEL BAR LAYOUT FOR NEW PAVEMENT

UTAH DEPARTMENT OF TRANSPORTATION
CONCRETE TO REPAIR & TRANSITION
CONCRETE TO CONCRETE TRANSITION
INTERSECTION JOINT LAYOUT
MANHOLE BOX/OUTLET DETAIL

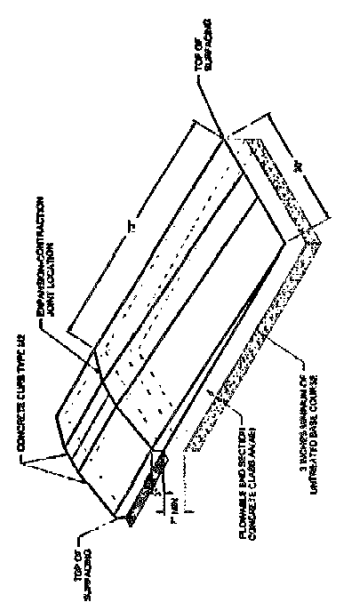
UTAH DEPARTMENT OF TRANSPORTATION
URBAN CONCRETE
PAVEMENT DETAILS
CATCH BASIN
SECTION K-K
SECTION L-L

MARK	DATE	DESCRIPTION

PROJECT #: 21-128  
 DRAWN BY: T. MUNK  
 PROJECT MANAGER: M. TAYLOR  
 ISSUED: 11/13/2022

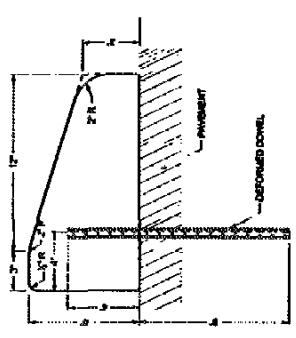


**DETAILS**  
**(UDOT)**  
**C505**



**FLOWABLE END SECTION DETAIL**  
**TYPE M2 CURB**

- NOTES:**
1. SEE STD DWG 012 FOR ISLAND IS CURB DETAIL.
  2. PAINT FLOWABLE END SECTION TO MATCH ADJACENT EDGE LINE.
  3. SEE STD DWG 012 FOR HOLE DETAILS.
  4. SEE STD DWG 012 FOR MEDIAN REFLECTION DETAILS.
  5. SEE STD DWG 012 FOR EXPANSION/CONTRACTION JOINT DETAILS.
- CONSTRUCTION NOTES:**
- A. FINISH BEHIND IS TWO TYPE M2 OR TYPE M2 CURBS TYPICALLY PLACED BACK-TO-BACK.



**TYPE M2 CURB**  
 MCA - 12/11/2017

- REVISIONS:**
1. USE 2 EACH UNFINISHED DOWELS OVER 4 FT MAXIMUM CENTER-TO-CENTER.
  2. PRECAST DOWELS TO FIT LENGTH.
  3. DOWELS AT 4' INTERVALS OF 2 FT FROM 0' TO 4' FROM END OF CURB.
  4. WITHSTAND THROUGH STRIPES.
  5. MEASURE CURB HEIGHT VERTICALLY FROM THE FLOW LINE OF THE CURB TO TOP BACK OF CURB.
  6. REFER TO STD DWG 012 FOR CURB AND OUTER AT ADA ACCESSIBLE.
- REVISIONS:**
- A. CHANGE CURB TYPE M2 TO M1.
  - B. ADD 2 FT TO THE FINISHMENT.
  - C. ADD 2 FT TO THE FINISHMENT.
  - D. USE CURB TYPE M2 AS IS WITH DESIGN CHANGES UP TO 4' FROM END OF CURB.
  - E. ADD 2 FT TO THE FINISHMENT.
  - F. ADD 2 FT TO THE FINISHMENT.
  - G. ADD 2 FT TO THE FINISHMENT.
  - H. ADD 2 FT TO THE FINISHMENT.
  - I. ADD 2 FT TO THE FINISHMENT.
  - J. ADD 2 FT TO THE FINISHMENT.
  - K. ADD 2 FT TO THE FINISHMENT.
  - L. ADD 2 FT TO THE FINISHMENT.
  - M. ADD 2 FT TO THE FINISHMENT.
  - N. ADD 2 FT TO THE FINISHMENT.
  - O. ADD 2 FT TO THE FINISHMENT.
  - P. ADD 2 FT TO THE FINISHMENT.
  - Q. ADD 2 FT TO THE FINISHMENT.
  - R. ADD 2 FT TO THE FINISHMENT.
  - S. ADD 2 FT TO THE FINISHMENT.
  - T. ADD 2 FT TO THE FINISHMENT.
  - U. ADD 2 FT TO THE FINISHMENT.
  - V. ADD 2 FT TO THE FINISHMENT.
  - W. ADD 2 FT TO THE FINISHMENT.
  - X. ADD 2 FT TO THE FINISHMENT.
  - Y. ADD 2 FT TO THE FINISHMENT.
  - Z. ADD 2 FT TO THE FINISHMENT.

**UDOT RAISED MEDIAN CURB**  
 NOT TO SCALE





# SCHEDULE 1

## (Roadway Property)

