

When Recorded Return to:
Orchard Street, Inc.
7070 S. 2300 E. Ste 210
Salt Lake City, UT 84121

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1/27/2017 9:41:00 AM \$56.00
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Gary W. Ott
Recorder, Salt Lake County, UT
COTTONWOOD TITLE
BY: eCASH, DEPUTY - EF 21 P.

DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRAYSON COVE

THIS DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRAYSON COVE (this "Declaration") is made and executed this 8TH day of NOVEMBER, 2016, by ORCHARD STREET INC., a Utah Corporation ("Declarant").

RECITALS

- A. Declarant is the owner of that certain real property located in Sandy, Salt Lake County, Utah, more particularly described on Exhibit A attached hereto (the "Property"). Declarant is developing the Property to be known as "Grayson Cove" (the "Project"). The Project currently consists of seven (7) detached single-family building pads.
- B. Declarant intends to establish a common scheme and plan for the possession, use, enjoyment and improvement of the Project.

DECLARATION

NOW, THEREFORE, it is hereby declared that the Project shall be held, sold, conveyed, leased, rented, encumbered and used subject to the following easements, rights, assessments, liens, charges, covenants, servitudes, restrictions, limitations, conditions and uses, which are for the purpose of protecting the value and desirability of, and which shall run with, the Property and of binding on all parties having any right, title or interest in the described Property or any part thereof, their heirs, successors and assigns, and shall insure to the benefit of each owner thereof.

ARTICLE 1

DEFINITIONS

The following words, phrases, or terms used in this Declaration shall have the following meanings:

- (a) "Committee" Shall mean and refer to the Architectural Control Committee established pursuant to Article II
- (b) "Declarant" shall mean and refer to Orchard Street, Inc. a Utah Corporation and/or successor to said company (e.g., an entity affiliated with Orchard Street, Inc. that acquires

any Lots for the purposes of building homes and then selling them to consumers) which, either by operation of law or through a voluntary conveyance, transfer, comes to stand in the same relationship to the Project as did its predecessor.

- (c) "Lot" shall mean any of the seven (7) detached, single-family home building pads, separately numbered and individually described on the Plat and intended for the private use and ownership.
- (d) "Owner" shall mean the recorded holder of legal title to the free simple interest in any Lot. If there is more than one record holder of legal title to a Lot, each record holder shall be an "Owner".
- (e) "Plat" shall mean the collective reference to the following duly approved and recorded plats filed in the office of the Salt Lake County Recorder entitled: (i) Grayson Cove Subdivision Plat.
- (f) "Project" shall mean the collective reference to: (i) Grayson Cove Subdivision
- (g) "Property" shall mean and refer to that certain real property located in Draper City, Salt Lake County, State of Utah, and more particularly described on Exhibit A hereof.

ARTICLE II ARCHITECTURAL CONTROL COMMITTEE

Purpose. In order to create, maintain and improve the Project as a pleasant and desirable environment, to establish and preserve a consistent and harmonious design for the community and to protect and promote the value of the Property, all exterior design, landscaping and changes or alterations to existing use, landscaping and exterior design and development shall be subject to design review by the Architectural Control Committee (the "Committee")

Creation. The Architectural Control Committee shall consist of three (3) persons, the majority of which shall constitute a quorum, and the concurrence of the majority shall be necessary to carry out the provisions applicable to the Committee. In the event of death or resignation of any of the Committee members, the surviving members of the Committee shall have full authority to appoint another person to fill the said vacancy. The initial Committee will consist of three (3) persons to be appointed by Declarant in its sole discretion for so long as it remains a Class B Member. Thereafter, the initial Committee shall be released from responsibility and a new Committee shall be selected which shall consist of three (3) members. The term for which each Committee member shall serve shall be four (4) years, plus any time required to duly select a successor Committee member, unless such member shall have died or resigned prior to such time. The members on the Committee shall be elected by a two-thirds (2/3) majority vote at a vote of the Owners voting in person or by proxy, at a meeting duly called for that purpose. No member may serve on the Committee for more than two (2) consecutive terms at a time.

Except for the initial Committee appointed by Declarant, all members of the Committee must be Owners at the time of their appointment. Should any Committee member move his or her residence outside of the Project, such member shall automatically be deemed to have

resigned and the Committee shall declare a vacancy and a new Committee member shall be elected in accordance with the provisions above.

In the event of violation of any of the provisions of this Declaration, the Committee is authorized and empowered to take such action as may be necessary to restrain or enjoin the violations of applicable governmental codes and regulations and these covenants. All costs, including attorneys' fees, of such enforcement shall be borne by the Owners who are in violation of this Declaration.

Powers. The Committee is hereby authorized to perform (or to retain the services of one (1) or more consulting architects, landscape architects or urban designers, who need not be licensed to practice in the State of Utah, to advise and assist the Committee in performing) the design review functions prescribed in this Declaration to carry out the provisions set forth therein.

ARTICLE III

COVENANTS, CONDITIONS AND RESTRICTIONS

Land Use and Building Type. No Lot shall be used for other than residential purposes. No building shall be erected, altered, placed or permitted to remain on any Lot other than one (1) single-family dwelling not to exceed the height limitation for the applicable zone of the City of Draper as specified at the time of recordation of the Plat. Each dwelling must have at least a two (2) car and no more than a four (4) car garage. A detached garage may be built if approved by the Committee. Carports may not be built. Height shall be measured as the vertical distance from average finished grade surface at the building wall to the highest point (apex) of the roof. Chimneys, flag poles and similar structures not used for human occupancy are excluded for purposes of calculating the height of a structure. Unless otherwise approved in writing by the Committee, each dwelling shall contain a minimum square footage of 2,500 square feet on the main floor for a two-story dwelling and 2,500 square feet on the main floor for a rambler or single story dwelling. Square footage of any style is excluding garages, porches, verandas, patios, basements, eaves, overhangs and steps. Any square footage with any portion thereof beneath the top grade of the foundations will not qualify to offset the minimum square footage requirement. Any deviations from this requirement must be approved in writing by the Committee and the City of Draper, as applicable. The side yard for each building shall meet the minimum requirements of the City of Draper.

Architectural Control. To maintain a degree of protection for the investment which homeowners in this area may make, homes of superior design are requisite. Designs shall be limited to those approved by Declarant, which shall be prepared by architects or by qualified residential designers of outstanding ability whose previous work may be reviewed as a part of the approval process. In the event of any reconstruction of an improvement or a house on a lot due to casualty, the design, quality and appearance of the reconstructed home shall be substantially the same as the structure initially built. All landscaping, grading, excavation, building, fence, wall, residence or other structure (e.g., a detached garage), including

exterior color scheme, shall be subject to the prior written approval of the Committee. Once approved by the Committee, no changes or deviations in or from the plans and specifications shall be made without the prior written approval of the Committee. Subsequent to receiving approval of the Committee and prior to the commencement of construction, each Owner will be responsible for obtaining a building permit from the City of Draper.

No construction, reconstruction or modification of a home or landscaping may commence without approval by the Committee of the working drawings including, but not limited to, the following:

- (a) Plot lands to scale showing the entire site, building, garages, walks, drives, fences, lights and retaining walls, with elevations of the existing and finished grades and contours including those at the outside corners of the buildings and at adjacent property line and street fronts and elevations of floors from a designated point on the street.
- (b) Detailed floor plans showing dimensions and measurements.
- (c) Detailed elevations, indicating all materials and showing existing and finished grades.
- (d) Detailed sections, cross and longitudinal.
- (e) Details of cornices, porches, windows, doors, garages, garden walls, steps, patios, fences, carriage lights, etc.
- (f) 3 sides of the home must be 30% brick or stone

Specifications shall give complete descriptions and color samples of materials to be used on the exterior of the residence.

Construction Quality, Size and Cost. The Committee will base its approval of construction plans, specifications, landscaping plans and other alterations on the acceptability and harmony of the external design of the proposed structures with respect to topography and grade, quality of materials, size, height, color, etc. All structures constructed on the Property shall be of new materials, except pre-approved used brick, and shall be of good quality workmanship and materials. Only those exterior materials which will blend harmoniously with the natural environment, with special emphasis on the earth-toned colors, shall be recommended. All exterior material shall be new, except pre-approved used-brick, and consist of brick, rock, stucco or combination approved in writing by the Committee. Aluminum soffit and fascia is acceptable. No aluminum exterior siding homes shall be permitted in the Project. Stone must be natural stone only. Windows must be wood or composite. All exterior materials and colors are to be specified on plans and submitted for approval by the Committee, No pre-manufactured homes shall be permitted. No flat roofs shall be permitted in the Project without prior written approval of the Committee. Pitched roofs shall be at least 3/12 pitch and no greater than 12/12 without the prior written consent of the Committee. A minimum of eight (8) inches shall be required on the fascia. All stacks and

chimneys from fireplaces in which combustible materials other than natural gas are burned shall be fitted with spark arresters. All Owners shall strictly comply with all state laws and city ordinances pertaining to fire hazard control.

Construction Time. The Committee shall have final control for approval of all color and material plans. Construction to begin within 24 months from date of Lot Purchase. Upon commencement of construction on any Lot, the construction time for the exterior portion of any structure shall not exceed twelve (12) months from start to finish. "Start" shall be the instant any foliage is cut or removed in anticipation of the landscaping or construction to be built. All building debris, excavation, dirt, etc. associated with the building process shall be removed within the twelve (12) month period. Such debris and excavation dirt shall not be permitted on any of the streets or sidewalks within the Project. Prior to construction, each Owner shall be responsible to keep their respective Lot in a neat and tidy condition, free of rubbish or debris of any kind, and shall maintain the natural foliage upon their respective Lot free of weeds and any other unsightly or offensive items or activity detrimental to any other property in the vicinity thereof or to occupants of such other property.

Building Location. No building shall be located on any detached single-family Lot nearer than minimum building set-back, side street and side lot lines required by the City of Draper.

Landscaping. Lawn, patio, and garden areas are subject to approval by the Committee. Owners are encouraged to plant trees and shrubs to enhance the natural beauty, provide windbreakers and improve erosion control within the Project. The planting of trees that will have a high profile and obstruct the view from neighboring Lots is prohibited. Such trees may be pruned or removed at the discretion of the Committee.

No planting or structures shall be placed or permitted which may damage or interfere with established slope ratios, create erosion or change the direction of drainage channels. All materials used to retain and contour the slope of any Lot or improvement must conform with the natural beauty and color of the Property and must be approved by the Committee.

Each dwelling shall have installed surrounding it and outdoor sprinkler system for fire protection and irrigation.

Landscaping shall be installed and maintained by each Owner with respect to such Owner's Lot, and may include a combination of lawn, trees, shrubs or ground cover. Landscaping shall be properly nurtured and maintained by each owner. Ground cover may include vegetative vines, low-spreading shrubs, or annual or perennial flowering or foliage plants. Ground cover may also include mineral or non-living organic permeable material in not more than fifty percent (50%) of the net landscaped area. Mineral ground cover may include such materials as rocks, boulders, gravel or brick over

sand. Species, size and placement of landscape elements shall be determined by the Committee in keeping with overall landscaping of the project. Upon completion of home construction, lot owner must plant two Caliper trees to in the park strip, trees to have a minimum of 3" diameter trunk.

Temporary Occupancy and Temporary Buildings. No trailer, basement of any incomplete building, tent, shack, garage, or barn, and not temporary buildings or structures of any kind, shall be used at any time for a residence, either temporary or permanent except as set forth herein. Temporary buildings or structures used during the construction of a dwelling on any property shall be removed immediately after completion of construction.

Accessory Structures. Patio structures, trellises, sunshades, gazebos, awnings, window treatments, blinds, flags and any other appurtenant buildings shall be constructed of materials consistent with the colors, textures and materials approved for the dwelling and shall be integral to the architecture of the house and subject to the prior written approval of the Committee in its discretion.

Exterior Antennas, Lights and Power Lines. Exterior antennas as prohibited without the prior written approval of the Committee. Exposed metal flues, vents, ventilator or other metallic rooftop protrusions shall be coated or painted with a neutral color which will blend harmoniously with the surrounding Property. Satellite TV dishes will be allowed, provided they are placed or screened so they are not readily visible to neighboring Lots and streets. The location of Satellite TV dishes must be approved by the Committee. Exterior lighting that is detached from the dwelling will not be allowed unless approved by the Committee. All power lines and similar type cables shall be buried underground. No short-wave radio antennas may be constructed on any Lot or attached to any structure thereon without the prior written approval of the Committee.

Nuisances; Construction Activities. Lot Owners shall be responsible for any damage done by Owner or their contractors, subcontractors and materialmen to streets, sidewalks, curbs, storm drains and systems, utilities' lines and pipes, or any clean-up expense caused by such construction activities. Each Owner shall follow the applicable city and county storm water pollution prevention plan requirements and shall keep the streets, sidewalks, curbs, storm drains, and systems utilities' lines and pipes, unobstructed and free and clear of debris. No rubbish or debris of any kind shall be placed or permitted to accumulate upon or adjacent to any Lot, and no odors or loud noises shall be permitted to arise or emit therefrom, so as to render any such property or any property in the vicinity thereof or the occupants of such other property. No other nuisance shall be permitted to exist or operate upon any Lot so as to be offensive or detrimental to any other property in the vicinity thereof or its occupants. Normal construction activities and parking in connection with the building of improvements on a Lot shall not be considered a nuisance or otherwise prohibited by this Declaration, but Lots shall be kept

in a neat and tidy condition during construction periods, trash and debris shall not be permitted to accumulate, and supplies of brick, block, lumber and other building materials will be piled only in such areas as may be approved by the Committee. In addition, any construction equipment and building materials stored or kept on any Lot during construction of improvements may be kept only in areas approved by the Committee, which may require screening of the storage areas.

No articles, material, equipment or vehicles of any nature shall be parked or stored on any street location within the Property. Licensed, regularly used passenger vehicles (i.e., visitor vehicles) may be parked on streets within the Property for brief periods of time (i.e., less than twenty-four (24) hours). Overnight parking of such vehicles should generally be restricted to driveway of the dwelling being visited.

The use or operation of snowmobiles on Project streets is not permitted. The use of motorcycles and other motorized recreational vehicles which may produce audible annoyance to the Owners shall be limited to ingress and egress of the Property.

No oil or gas drilling, development, operations, refining, storage, quarrying or mining operations of any kind shall be permitted upon any Lot.

The burning of rubbish, leaves or trash on the Property is prohibited. Trash containers shall be covered and kept screened from view from the street in suitable enclosed areas, except during collection.

No Owner shall permit anything or condition to exist upon any Lot which shall induce, breed or harbor infectious plant diseases or noxious insects.

The committee, in its sole discretion, shall have the right to determine the existence of any nuisance.

Solar Equipment. Solar panels are to be integrated into roof design. Panels and frames must be compatible with roof colors, all equipment must be screened from view, and prior written approval must be obtained from the Committee.

Executed the day and year first above written.

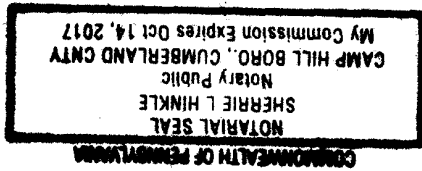
ORCHARD STREET, INC.

By: *Ken Martindale*

Ken Martindale
President

STATE OF *Pennsylvania*
COUNTY OF *Cumberland*

On this *8th* Day of *October*, *2016*, personally appeared before me Ken Martindale, who being by me a duly sworn, did say that he is the President of Orchard Street, Inc., and that said instrument was executed on behalf of Orchard Street, Inc.



Sherrie L. Hinkle
Notary Public
Residing at: _____
My Commission Expires: _____

GRAYSON COVE

PRELIMINARY PLAT AND CONSTRUCTION DRAWINGS



DRAWING NOTES:

DATE: 3/18/16
PROJECT: 16049
DRAWN: MEC
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DATE: 3/18/16
PROJECT: 16049
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PROJECT INFORMATION
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PROJECT: 16049
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GRAYSON COVE
COVER SHEET
DRAPER, UTAH

DATE: 3/18/16
PROJECT: 16049

SCALE: 1" = 20' / 1" = 40'
SCALE: 1" = 5' / 1" = 10'

PROJECT: C101

CONTACT LIST

PROJECT CONSTRUCTION / MAIN RETIRED

SEAN KOSZAR
CONTRACTOR
1000 S. 2000 WEST, SUITE 100
DRAPER, UTAH 84020
PHONE: 801-222-1111
WWW.KOSZARCONSTRUCTION.COM

ARCHITECT / ARCHITECT

WALTERS ROSS DUNHAM
1000 S. 2000 WEST, SUITE 100
DRAPER, UTAH 84020
PHONE: 801-222-1111
WWW.WALTERSROSSDUNHAM.COM

SOUTH VALLEY CENTER

1000 S. 2000 WEST, SUITE 100
DRAPER, UTAH 84020
PHONE: 801-222-1111
WWW.SOUTHVALLEYCENTER.COM

DRAWING INDEX

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GENERAL NOTES

GENERAL NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH SOUTHERN CALIFORNIA STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, UNLESS OTHERWISE SPECIFIED.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS OF THE CITY OF DRAPER, UTAH.
3. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS OF THE STATE OF UTAH.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS OF THE COUNTY OF SALT LAKE, UTAH.
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PERMITS AND APPROVALS:

1. THE OWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DRAPER, UTAH, AND THE COUNTY OF SALT LAKE, UTAH, PRIOR TO THE START OF CONSTRUCTION.
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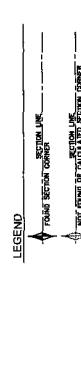
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GRAYSON COVE - AMENDING CANBURY COVE LOT 5

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
FINAL PLAT



DATE	LENGTH	BEARING	AREA	PERIMETER	AREA	PERIMETER
01	24.07	N12°02'11"E	117.27	117.27	117.27	117.27
02	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
03	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
04	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
05	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
06	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
07	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
08	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
09	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
10	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
11	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
12	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
13	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
14	15.17	N12°02'11"E	117.27	117.27	117.27	117.27
15	15.17	N12°02'11"E	117.27	117.27	117.27	117.27



LEGEND
 - - - - - SECTION LINE
 - - - - - TYPICAL SECTION TOWNSHIP
 - - - - - TYPICAL SECTION RANGE
 - - - - - TYPICAL SECTION MERIDIAN
 - - - - - TYPICAL SECTION EASTING
 - - - - - TYPICAL SECTION NORTHING
 - - - - - TYPICAL SECTION SOUTHING
 - - - - - TYPICAL SECTION WESTING

OWNER'S DEDICATION
 THE UNDERSIGNED HEREBY DEDICATE TO THE PUBLIC THE FOLLOWING DESCRIBED PROPERTY TO BE USED FOR THE PURPOSES OF THE PROJECT DESCRIBED IN THIS INSTRUMENT. THE PROPERTY IS DESCRIBED AS FOLLOWS:
 1. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 2. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 3. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 4. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 5. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.



SURVEYOR'S CERTIFICATE
 I, the undersigned, being duly qualified and sworn as a Professional Land Surveyor in the State of Utah, do hereby certify that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument, and that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument.

BOUNDARY DESCRIPTION
 THE BOUNDARY DESCRIPTION OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IS AS FOLLOWS:
 1. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 2. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 3. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.

BOUNDARY NARRATIVE
 THE BOUNDARY NARRATIVE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IS AS FOLLOWS:
 1. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 2. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 3. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.

ACKNOWLEDGMENT
 STATE OF UTAH
 COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, I, _____, being duly qualified and sworn as a Professional Land Surveyor in the State of Utah, do hereby certify that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument.

CORPORATE ACKNOWLEDGMENT
 STATE OF UTAH
 COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, I, _____, being duly qualified and sworn as a Professional Land Surveyor in the State of Utah, do hereby certify that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument.

GRAYSON COVE - AMENDING CANBURY COVE LOT 5
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 FINAL PLAT

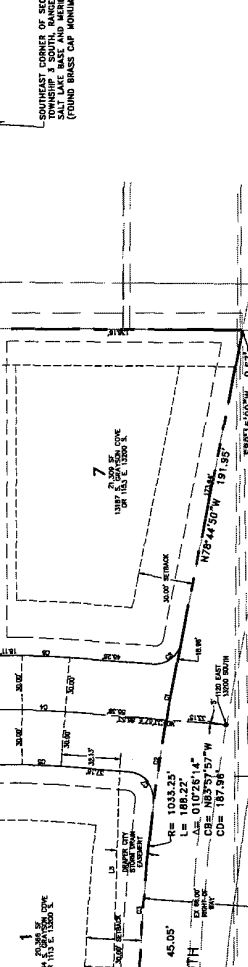
RECORDER'S OFFICE
 STATE OF UTAH, COUNTY OF _____
 DATE: _____
 TIME: _____

BOUNDARY NARRATIVE
 THE BOUNDARY NARRATIVE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IS AS FOLLOWS:
 1. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 2. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 3. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.

ACKNOWLEDGMENT
 STATE OF UTAH
 COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, I, _____, being duly qualified and sworn as a Professional Land Surveyor in the State of Utah, do hereby certify that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument.

CORPORATE ACKNOWLEDGMENT
 STATE OF UTAH
 COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, I, _____, being duly qualified and sworn as a Professional Land Surveyor in the State of Utah, do hereby certify that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument.

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 2. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 3. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.



APPROVAL AS TO FORM
 APPROVED THIS _____ DAY OF _____, 20____, BY _____, CITY ENGINEER

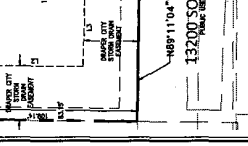
APPROVAL AS TO FORM
 APPROVED THIS _____ DAY OF _____, 20____, BY _____, CITY ENGINEER

BOUNDARY NARRATIVE
 THE BOUNDARY NARRATIVE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IS AS FOLLOWS:
 1. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 2. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 3. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.

ACKNOWLEDGMENT
 STATE OF UTAH
 COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, I, _____, being duly qualified and sworn as a Professional Land Surveyor in the State of Utah, do hereby certify that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument.

CORPORATE ACKNOWLEDGMENT
 STATE OF UTAH
 COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, I, _____, being duly qualified and sworn as a Professional Land Surveyor in the State of Utah, do hereby certify that I am a duly Licensed Professional Land Surveyor in the State of Utah, and that I have personally supervised the survey and preparation of this instrument.

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 2. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.
 3. THE ENTIRE AREA OF THE PROJECT DESCRIBED IN THIS INSTRUMENT.



APPROVAL AS TO FORM
 APPROVED THIS _____ DAY OF _____, 20____, BY _____, CITY ENGINEER

APPROVAL AS TO FORM
 APPROVED THIS _____ DAY OF _____, 20____, BY _____, CITY ENGINEER



REVISIONS:

1. THE PROJECT INFORMATION IS A SUMMARY OF THE CURB AND GUTTER DEMOLITION WORK AND DOES NOT INCLUDE THE DEMOLITION OF THE EXISTING CURB AND GUTTER. THE EXISTING CURB AND GUTTER SHALL BE DEMOLISHED AND RECONSTRUCTED IN ACCORDANCE WITH THE CITY OF DRAPER SPECIFICATIONS AND THE UTAH DEPARTMENT OF TRANSPORTATION (UDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

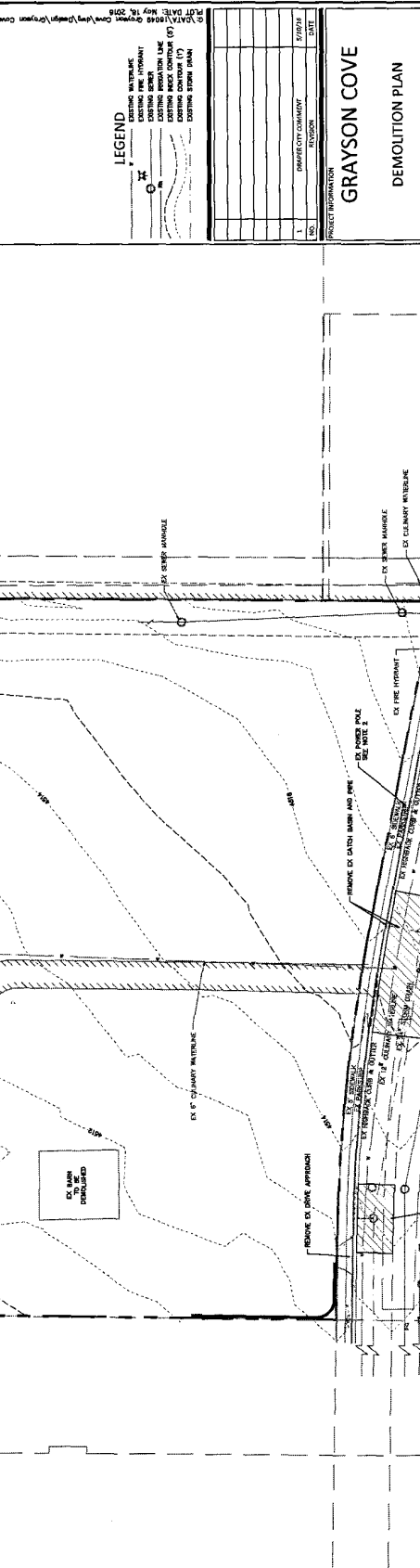
DATE: 3/18/16
PROJECT: 16049
DATE: 3/18/16
SCALE: 1" = 30' / 1" = 60'
SHEET: C202

PROJECT INFORMATION
GRAYSON COVE
DEMOLITION PLAN
DRAPER, UTAH

NO.	DESCRIPTION	DATE
1	DRAPER CITY COMMENT	3/18/16

LEGEND

- EXISTING INTERLINE
- EXISTING FIRE HYDRANT
- EXISTING SIDEWALK
- EXISTING CURB AND GUTTER LINE
- EXISTING BACKFLOW PREVENTER
- EXISTING GROUND (G)
- EXISTING STREET LIGHT



SCALE: 1" = 30' / 1" = 60'

DATE: 3/18/16

PROJECT: 16049

DATE: 3/18/16

SHEET: C202

ENGINEER/STAMP:

SEAL:





**WILDPING
ENGINEERING**
1475 W. 1000 S. SUITE 100
DRAPER, UT 84020
WWW.WILDPINGENGINEERING.COM

DRAWING NOTES:
1.

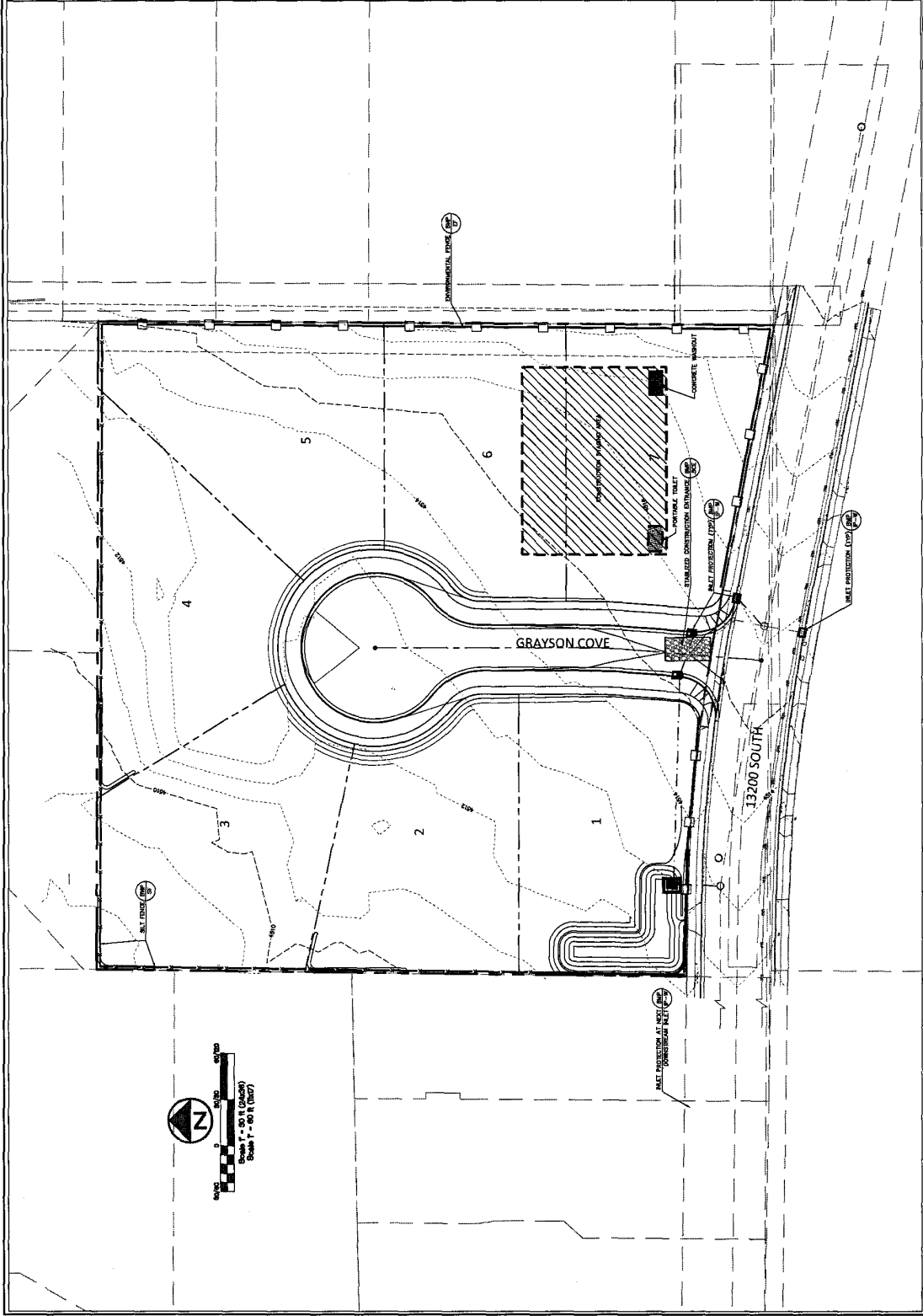
DATE: 3/18/16
PROJECT # 16049
DATE: 3/18/16
SCALE: 1" = 30' / 1" = 60'
SHEET C203

PROJECT INFORMATION
GRAYSON COVE
EROSION CONTROL PLAN
DRAPER, UTAH

LEGEND

- EXISTING BENCH CONTOUR (NS)
- EXISTING CONTOUR (E)
- PROPOSED BENCH CONTOUR (P)
- PROPOSED CONTOUR (C)
- PROPOSED STORM SEAM

NO.	DESCRIPTION	DATE
1	DRAPER CITY COMMISSION	





**WILDLING
ENGINEERING**
1177 WEST 1000 SOUTH SUITE 100
DRAPER, UTAH 84020
WWW.WILDLINGENGINEERING.COM

- GENERAL NOTES:**
- FOR MORE INFORMATION ON DRAPER STREET TREE PLANTING, VISIT WWW.DRAPERUTAH.COM/COMMUNITY/STREET-TREE-PLANTING. A GUIDE TO THE DRAPER STREET TREE PLANTING PROGRAM IS IN THE BOUNDARY AND SHOWN AS FOLLOWS.
 - AT THE TIME OF THIS DRAWING, 13200 SOUTH HAS ONE (1) TREE. THIS TREE SHALL BE 2" CALIBER, MEASURED AT FOUR FEET ABOVE THE GROUND LEVEL.
 - TREES SHALL BE PROVIDED WITH A REGULAR WATER SOURCE.
 - LOCATIONS TO BE PLANTED ARE SHOWN ON THIS PLAN AS FOLLOWS.

PLANTING SHALL BE PROVIDED BY THE OWNER. TREE PLANTING SHALL BE PROVIDED BY THE OWNER. TREE PLANTING SHALL BE PROVIDED BY THE OWNER.

PLANTING SHALL BE PROVIDED BY THE OWNER. TREE PLANTING SHALL BE PROVIDED BY THE OWNER. TREE PLANTING SHALL BE PROVIDED BY THE OWNER.

NO.	DATE	DESCRIPTION	BY	DATE
1		DRAPER CITY COMMENT		


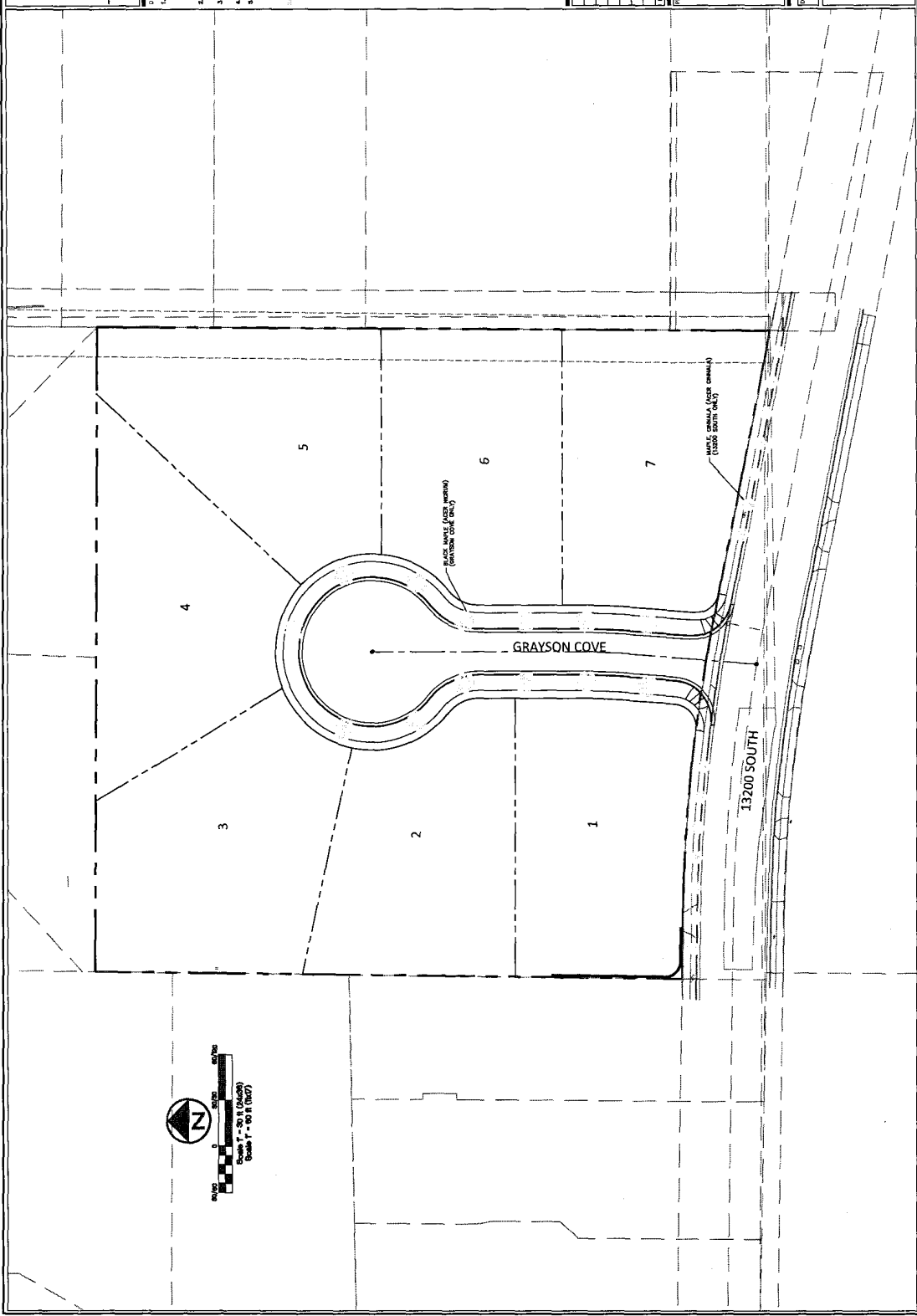
PROJECT INFORMATION

GRAYSON COVE

STREET TREE PLAN

DRAPER, UTAH

DATE: 3/18/16
PROJECT # 16049
SCALE: 1" = 30' / 1" = 60'
SHEET C204



STREET CROSS SECTION

DRAWING NOTES:
 1. SEE SHEET C302 FOR PLAN AND PROFILE
 2. SEE SHEET C303 FOR DESIGN AND DETAIL

PROJECT INFORMATION

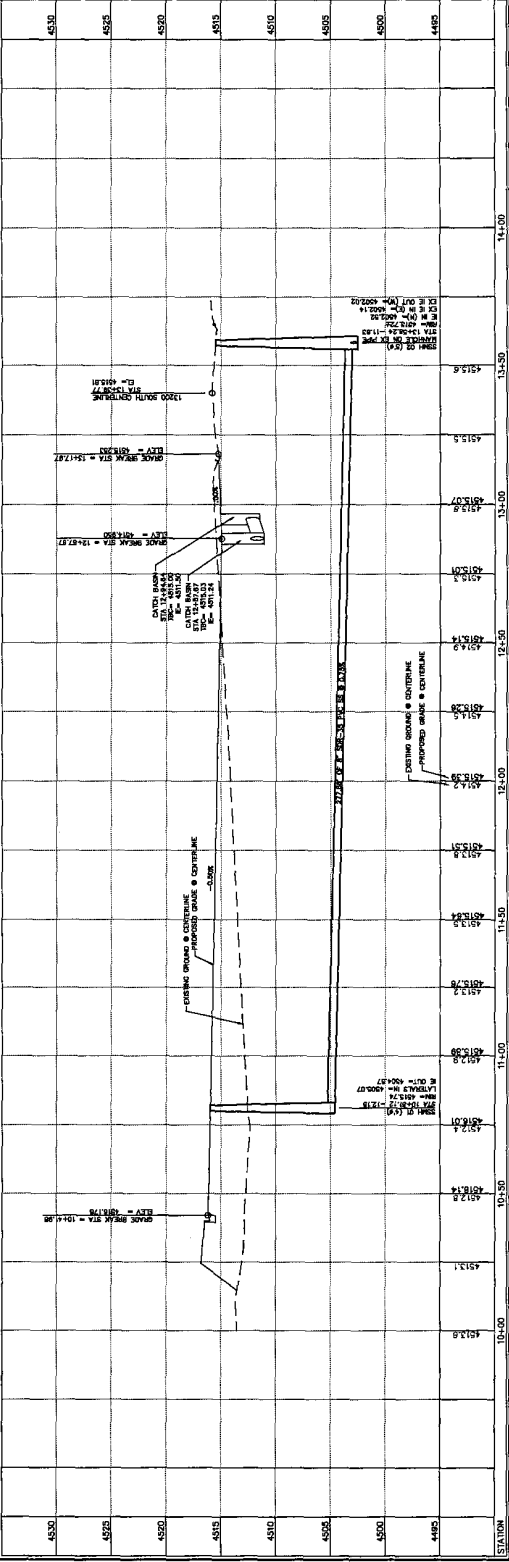
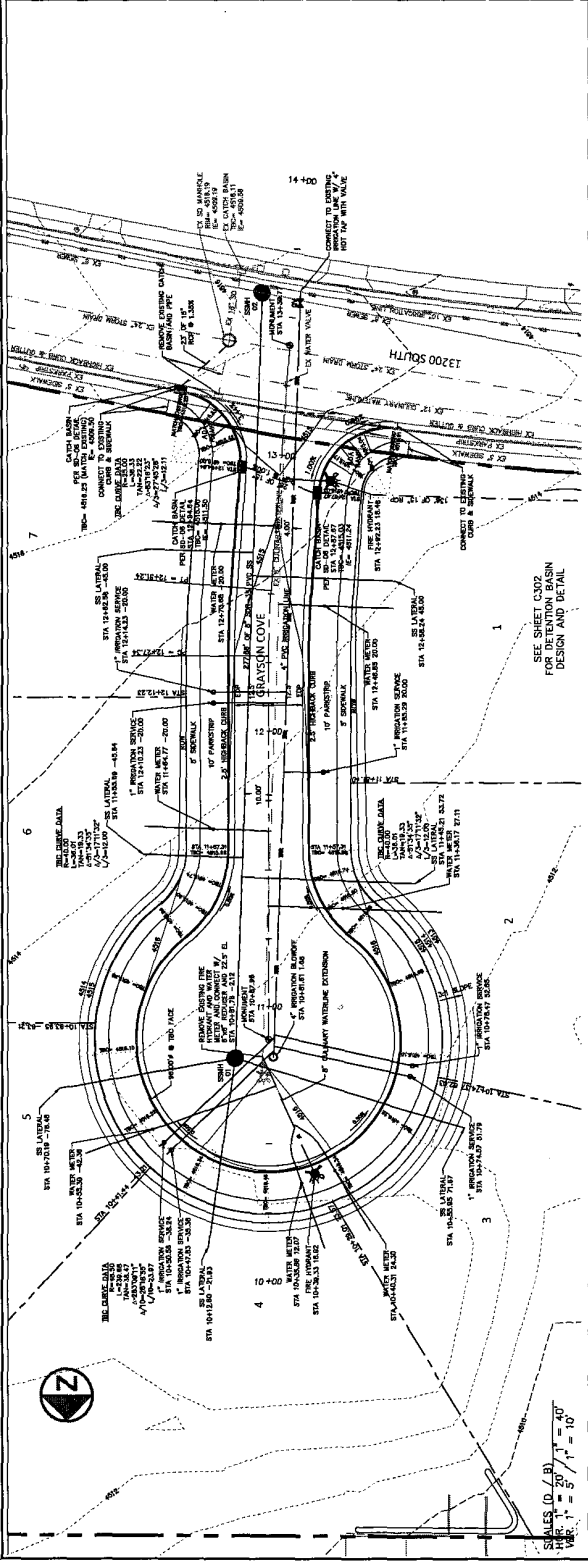
GRAYSON PLACE
 1120 EAST PLAN & PROFILE
 DRAPER, UTAH

PROJECT # 16049
 DATE 3/18/16
 SCALE 1" = 20' / 1" = 40'
 SHEET C-301

DESIGNED BY: [Blank]
 CHECKED BY: [Blank]
 DATE: [Blank]

PROJECT INFORMATION

NO.	DESCRIPTION	DATE
1	DRAPER CITY COMMITTEE	5/17/16





WILDPING
ENGINEERING
1770 S. 1200 WEST SUITE 100
DRAPER, UTAH 84020
WWW.WILDPINGENGINEERING.COM

DRAWING NOTES:

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE UTAH CONSTRUCTION CODE.

3. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER.

4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.

6. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE UTAH CONSTRUCTION CODE.

7. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE UTAH CONSTRUCTION CODE.

8. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE UTAH CONSTRUCTION CODE.

9. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE UTAH CONSTRUCTION CODE.

10. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE UTAH CONSTRUCTION CODE.

PROJECT INFORMATION

GRAYSON PLACE

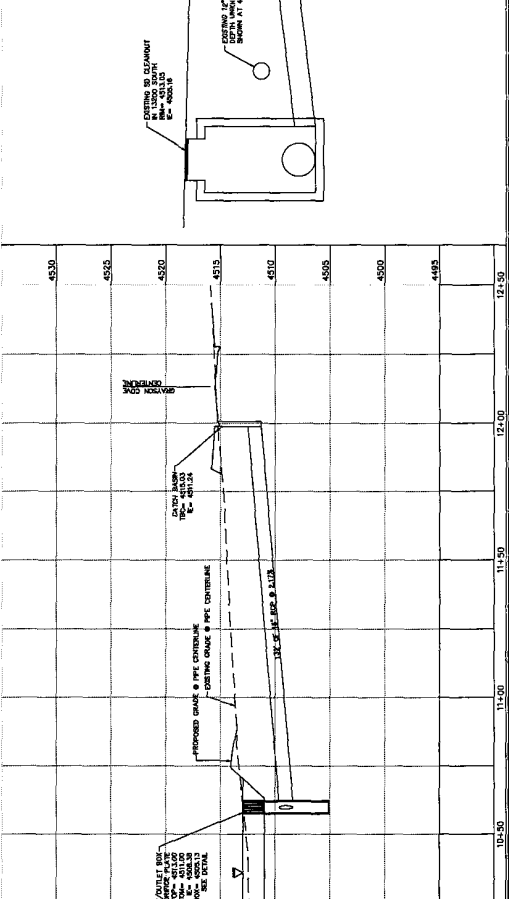
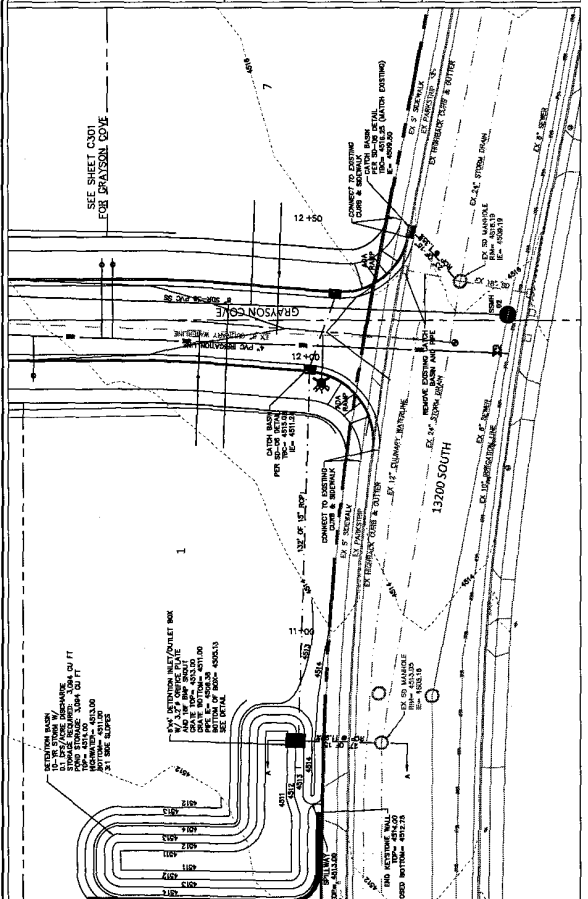
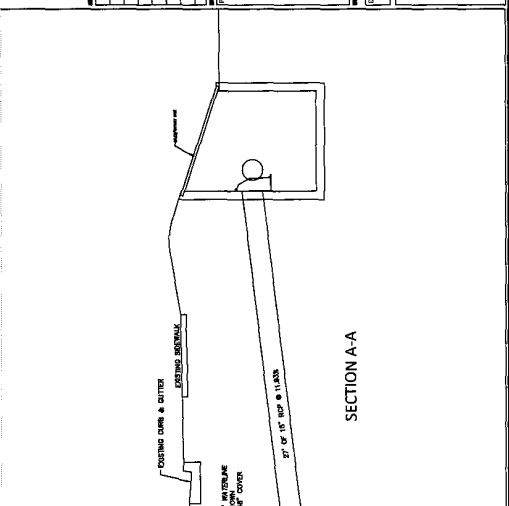
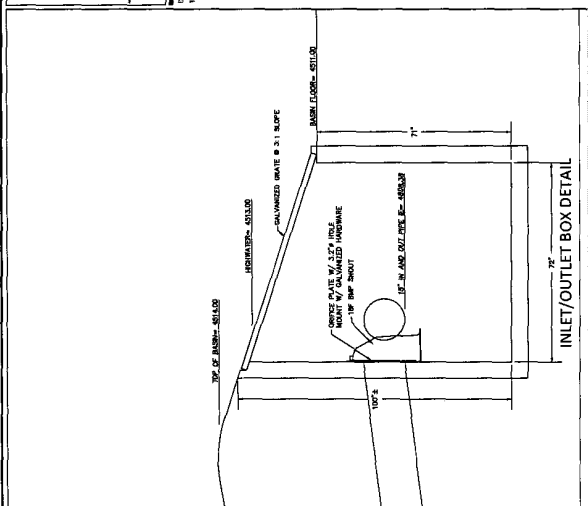
DETENTION BASIN

DRAPER, UTAH

DRAWN: MEC
CHECKED: PROJECT # 16049
DATE: 3/18/16

PERMITTING COUNTY: UT
SCALE: 1" = 20' / 1" = 40'
PERMITTING CITY: DRAPER
SCALE: 1" = 5' / 1" = 10'

SHEET: C302




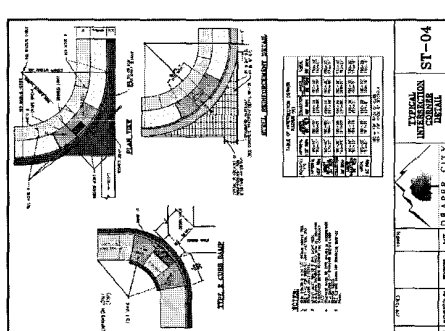
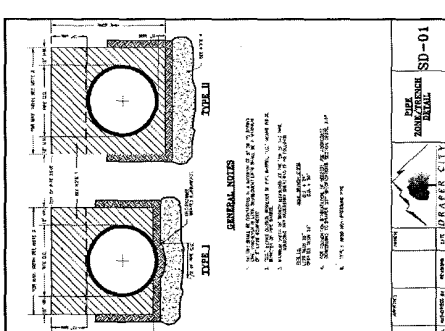
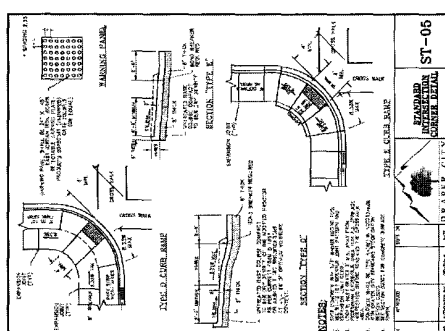
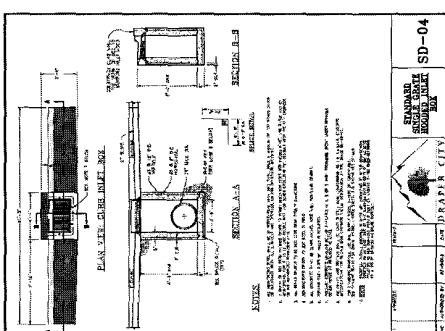
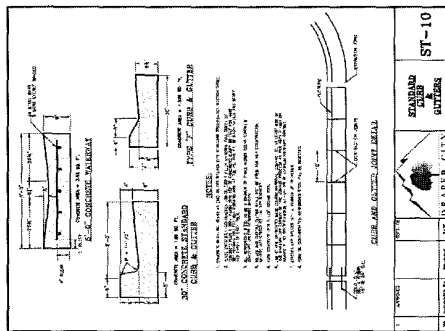
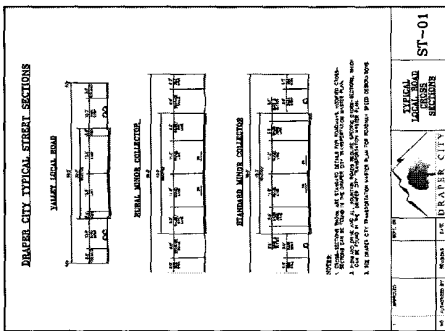
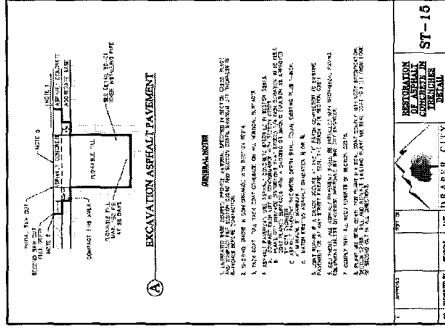
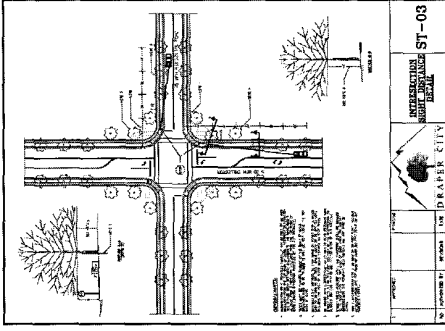
STATION

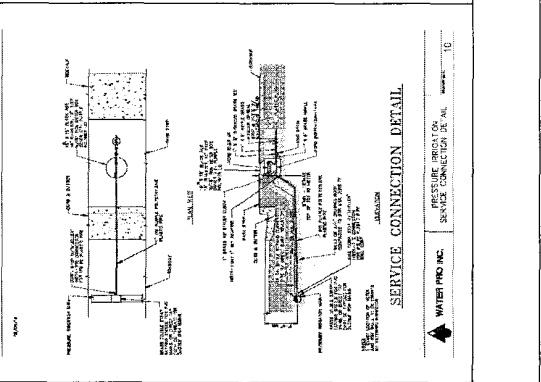
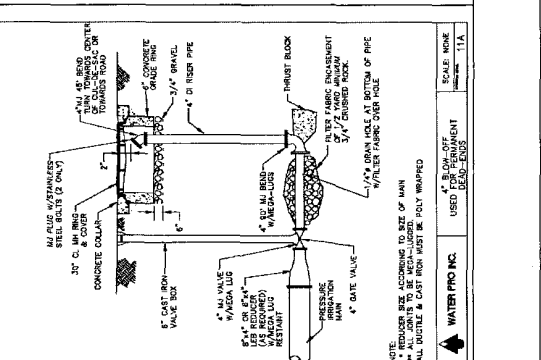
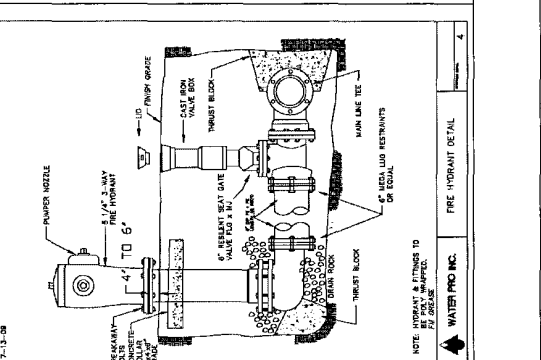
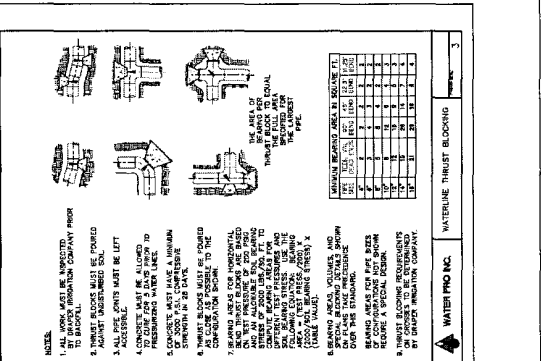
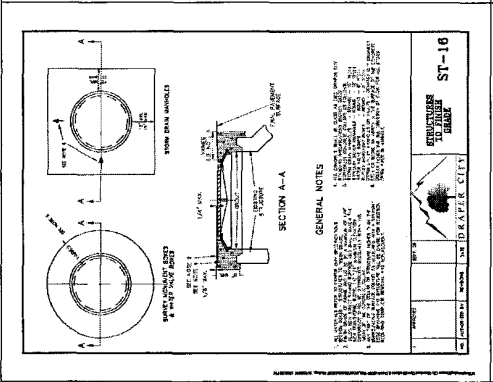
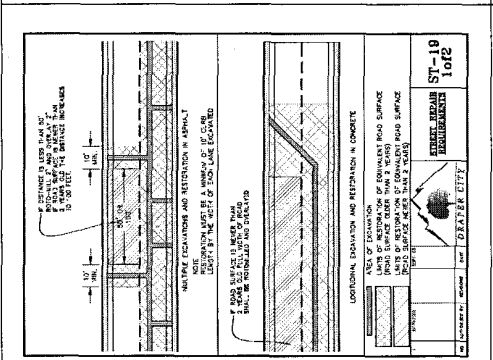
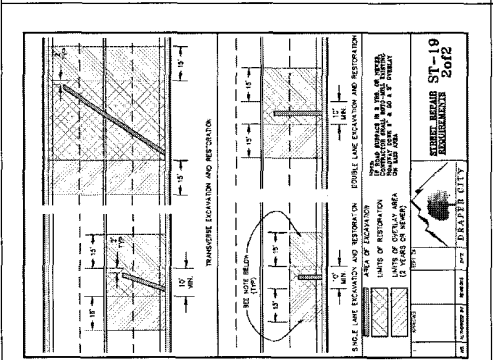
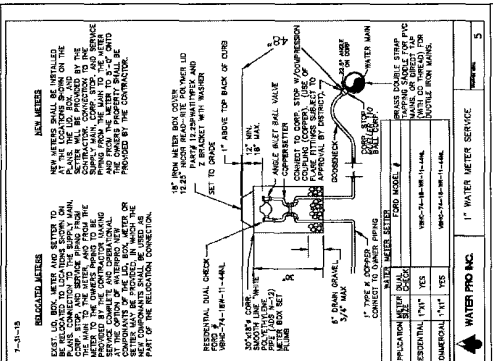
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VERTICAL SCALE: 1" = 5' / 1" = 10'

GRAYSON COVE
CONSTRUCTION DETAILS
DRAPER, UTAH

PROJECT INFORMATION
 PROJECT: 16049
 DATE: 3/18/16
 SCALE: 1" = 30' / 1" = 60'
 SHEET: C401








**WILDING
ENGINEERING**
1750 W. 1200 N. SUITE 100
P.O. BOX 100
MOUNTAIN VIEW, UTAH 84040
WWW.WILDINGENGINEERING.COM

PROJECT INFORMATION

PROJECT	16049
DATE	3/18/16
DRAWN BY	MEC
CHECKED BY	
PROJECT LOCATION	
DATE	

PROJECT: GRAYSON COVE
CONSTRUCTION DETAILS
DRAPER, UTAH

SCALE: 1" = 30' / 1" = 60'

PROJECT NUMBER: C403

DATE: 3/18/16

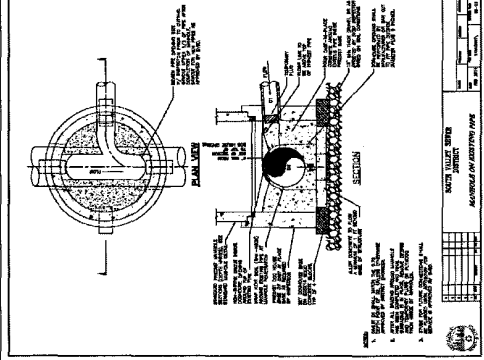
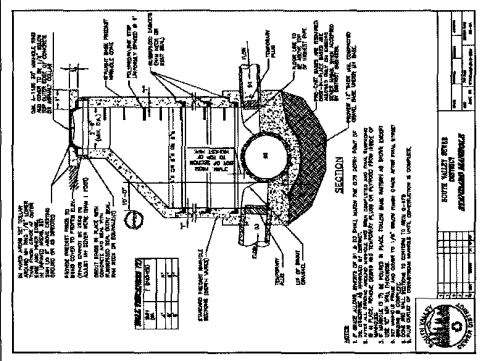
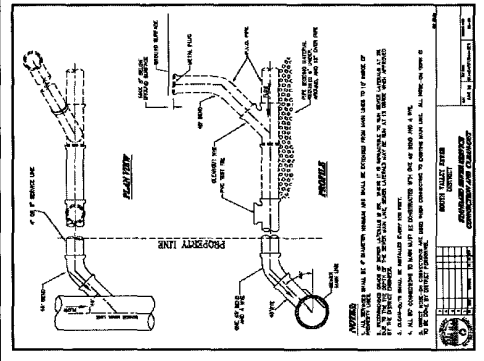
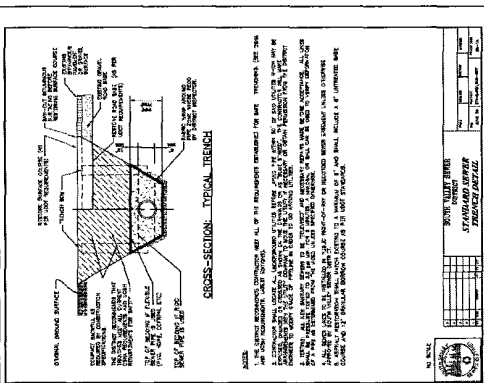
PROJECT: 16049

DRAWN BY: MEC

CHECKED BY:

PROJECT LOCATION:

DATE:



GRAYSON COVE

PRELIMINARY PLAT AND CONSTRUCTION DRAWINGS



14700 S. STATE STREET SUITE 100
 SALT LAKE CITY, UT 84141
 WWW.WILDINGENGINEERING.COM

CONTACT LIST

DRAPER CONSTRUCTION / MIKE STEWART
 501-474-7777
 10700 S. STATE STREET SUITE 100
 SALT LAKE CITY, UT 84141
mstewart@drapercon.com

PERMITS AND INSPECTIONS
 501-474-7777
 10700 S. STATE STREET SUITE 100
 SALT LAKE CITY, UT 84141
permits@drapercon.com

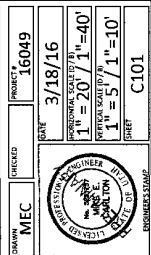
SOUTH VALLEY ENGINEERING
 501-474-7777
 10700 S. STATE STREET SUITE 100
 SALT LAKE CITY, UT 84141
southvalley@drapercon.com

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	3/18/16

GRAYSON COVE
 COVER SHEET
 DRAPER, UTAH

PROJECT INFORMATION

DATE	3/18/16
PROJECT #	16049
SCALE	1" = 20' / 1" = 40'
SCALE	1" = 5' / 1" = 10'
SHEET	C101



CONTACT LIST

DRAPER CONSTRUCTION / MIKE STEWART
 501-474-7777
 10700 S. STATE STREET SUITE 100
 SALT LAKE CITY, UT 84141
mstewart@drapercon.com

PERMITS AND INSPECTIONS
 501-474-7777
 10700 S. STATE STREET SUITE 100
 SALT LAKE CITY, UT 84141
permits@drapercon.com

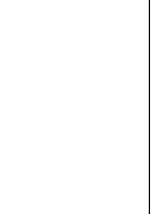
SOUTH VALLEY ENGINEERING
 501-474-7777
 10700 S. STATE STREET SUITE 100
 SALT LAKE CITY, UT 84141
southvalley@drapercon.com

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	3/18/16

GRAYSON COVE
 COVER SHEET
 DRAPER, UTAH

PROJECT INFORMATION

DATE	3/18/16
PROJECT #	16049
SCALE	1" = 20' / 1" = 40'
SCALE	1" = 5' / 1" = 10'
SHEET	C101



GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH SHARPE CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS.

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11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS.

12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS. CONTRACTOR TO OBTAIN NECESSARY PERMITS AND INSPECTIONS.

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Exhibit A

Lots 1-7, inclusive, GRAYSON COVE – amending Canbury Cove Lot 5, according to the official plat thereof, filed of record with the Salt Lake County Recorder as Entry No. 12458073 in Book 2017P at Page 13.

Parcel ID: 28-32-403-025-0000 (New PINs not yet assigned)