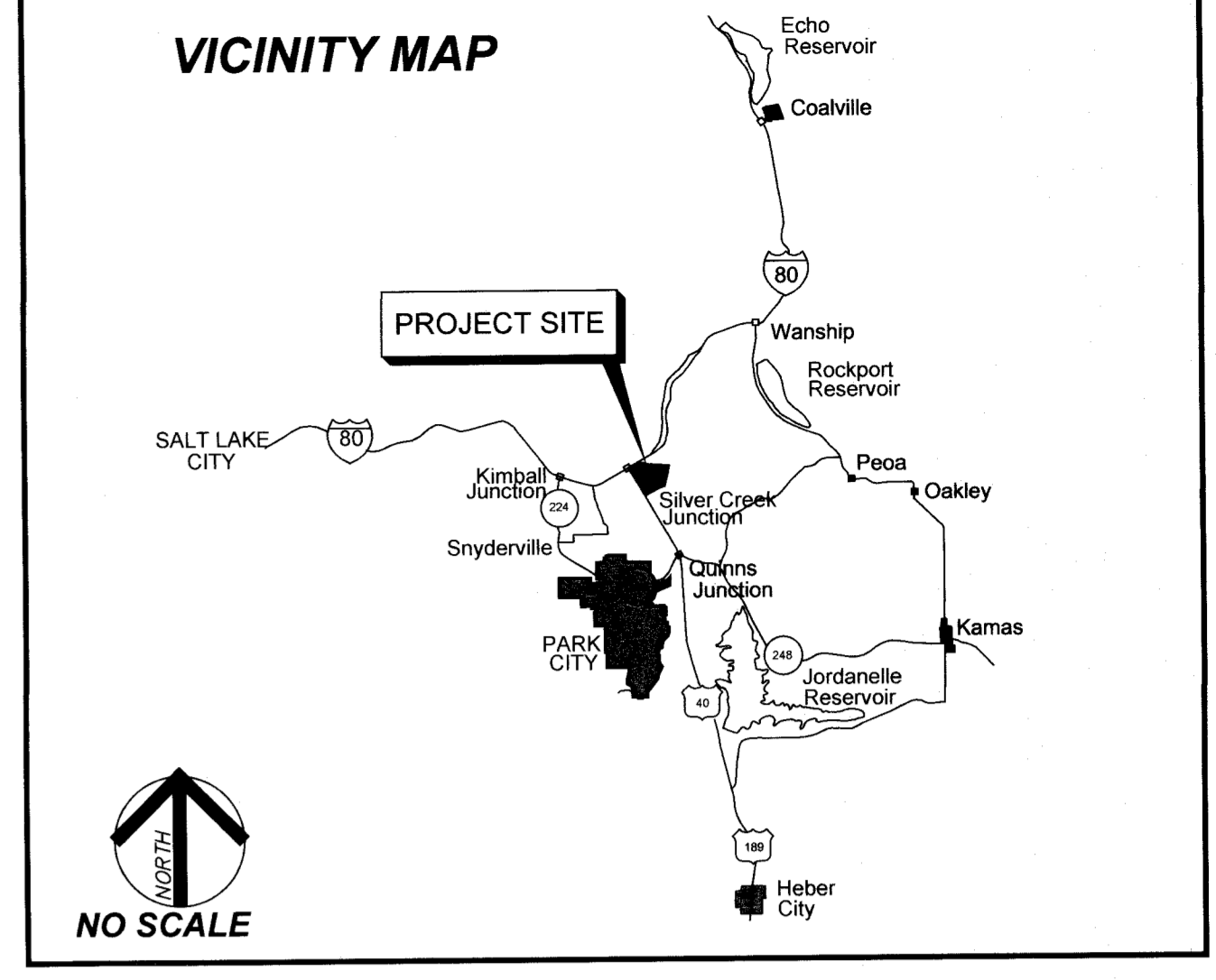
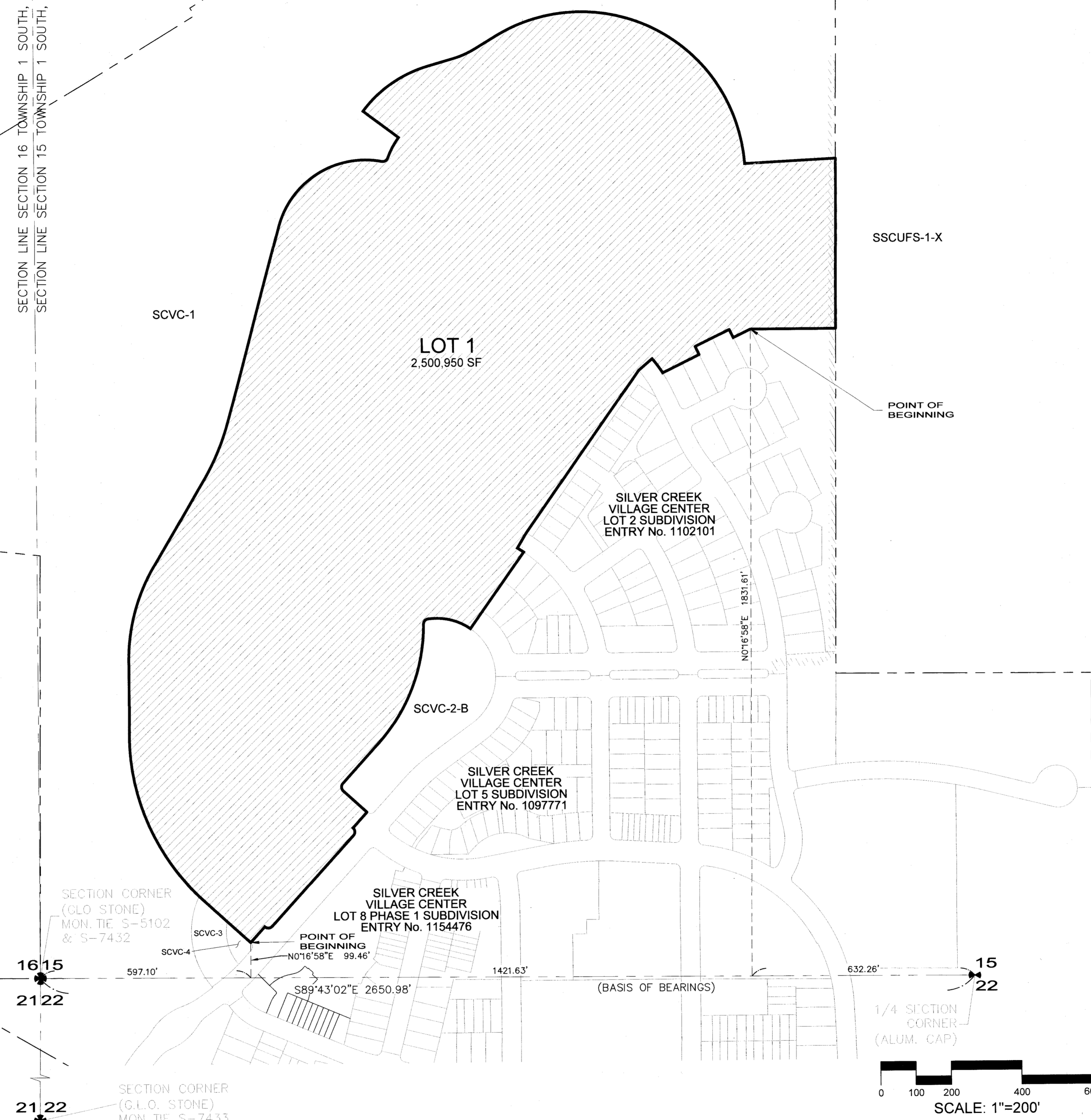


PLAT NOTES:

- 1. Elk Springs at Silver Creek Village Center Subdivision corresponds to Parcels 16.1, 27.1, 27.2, 27.3, 29.1, 30.1, 31.1, 31.2, 32.1, 32.2, 33.1 and 33.2 of the Development Agreement for Silver Creek Village Specially Planned Area (the Development Agreement), dated August 4, 2015, and recorded on August 6, 2015, as Entry No. 0102927, in Book 2307, beginning at Page 1549, in the official records of the Summit County, Utah, Recorder.
2. Reference is made to Silver Creek Village Center Subdivision, recorded on April 04, 2017, as Entry No. 1066785, in the official records of the Summit County, Utah, Recorder.
3. Reference is made to that certain A.L.T.A. survey of record, recorded on February 22, 2017, as S-8979, in the official records of the Summit County, Utah, Recorder.
4. The tracts of land that are described in, subdivided by, and platted pursuant to this [ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION] ("Plat") are referred to herein as the "Platted Lands." The Platted Lands are situated within a portion of the area constituting and referred to as the Silver Creek Village generally depicted and described in the Development Agreement. As used in these Plat notes, the term "Parcel" shall mean any tract of land shown as part of the Platted Lands.
5. This Plat and the Platted Lands are subject to, among other things, the provisions of: (a) the Development Agreement and the requirements, restrictions, and limitations imposed thereby; and (b) The Master Declaration of Covenants, Conditions, Restrictions and Easements for Silver Creek Village (as amended from time to time, the "Master CC&Rs") recorded on April 20, 2017, as Entry No. 01067652, in Book 2405, beginning at Page 1721, in the official records of the Summit County, Utah, Recorder. The Master CC&Rs references the rights of the Silver Creek Village Owners Master Association ("Master Association") and further describes that each subdivision, or grouping of subdivisions, will have its own sub-association, which will be a separate association from the Master Association. References in these Plat notes to a "Sub-association" shall mean a sub-association established in conformity with the Master CC&Rs and a separate set of governing documents for such Sub-association.
6. These Plat notes run with the land and shall be binding upon and inure to the benefit of the successors and assigns of the owners with respect to each Parcel of the Platted Lands.
7. Pursuant to Utah Code Ann. § 17-27a-603(4)(c)(ii), Rocky Mountain Power accepts delivery of the P.U.E. and approves this Plat solely for the purpose of confirming that this Plat contains the P.U.E. and approximates the location of the P.U.E., but does not warrant its precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under:
a) a recorded easement or right-of-way,
b) the law applicable to prescriptive rights,
c) Title 54, Chapter 8a, Damage to Underground Utility Facilities, or
d) any other provision of law.
9. Dominion Energy ("Dominion") approves this Plat solely for the purpose of confirming that the Plat contains public utility easements. Dominion Energy may require other easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the Plat, including those set forth in the Owners Dedication or these Plat notes, and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Dominion Energy's Right-of-Way Department at 1-800-366-8532.
10. Roofing Material
Roofing materials must be non-combustible. No wood shake roofing material will be permitted.
11. Fire Apparatus Access Roads
An all-weather fire apparatus access road is required to be installed and made serviceable prior to the issuance of a building permit and/or combustible construction being initiated. The all-weather fire apparatus access road is to be maintained at all times during construction. In the event that the all-weather fire apparatus access road is not maintained, the PPSD reserves the right to stop work until required roads are placed back in service. Fire apparatus access roads must be in accordance with Appendix D and all other applicable requirements of the International Fire Code. Each parcel/subdivision that is developed must be provided with the appropriate fire apparatus access roads, turn-arounds and, in certain conditions, two means of ingress/egress into the area.
12. Water Supplies for Fire Protection
Water supplies required for fire protection are to be installed and made serviceable prior to the issuance of a building permit and/or combustible construction being initiated. In the event that the fire protection water supply is not maintained, the Fire District reserves the right to stop work until the required water supply for fire protection is placed back in service. Water supplies for fire protection must be clearly identified in a manner to prevent obstruction by parking and/or other obstructions. Each water supply for fire protection must be marked with an approved flag to identify its location during winter conditions.
13. Fireplaces
All fireplaces shall be non-wood burning.
14. Fire-Flow Requirements for Buildings
The minimum fire-flow and flow duration requirements must be as specified in Appendix B, Tables B105.1(1) and B105.1(2) of the International Fire Code. One- and Two-Family Dwellings, Group R-3 and R-4 Buildings and Townhouses: The required fire-flow shall be not less than 1,500 gallons per minute. Buildings Other Than One- and Two-Family Dwellings, Group R-3 and R-4 Buildings and Townhouses: The required fire-flow shall be not less than 2,000 gallons per minute.
15. All lot owners served by Mountain Regional Water Special Service District (the "District") within this plat agree to abide by all of the Rules, Regulations, and other Construction related Standards and Specifications of the District, including payment of all necessary fees prior to the issuance of a building permit. Lot owners also recognize that the District's service area spans a large mountainous area with extreme vertical relief resulting in numerous pressure regulation facilities. As such, the owners recognize that fluctuations (albeit infrequent) in water pressure may pose a risk to properties served by said system. Owners agree to install and be responsible for the proper operation of any necessary pressure regulation and backflow devices to protect any plumbing facilities and fire sprinkling systems. Further, the District shall have the right to install, repair, maintain, replace, enlarge, extend, and operate its equipment above and below ground and all other related facilities within any easements identified in this plat as may be necessary or desirable in providing water services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures and trees, that may have been placed within the easements. The District may require the lot owner to remove all structures and vegetation within the easement at the lot owner's expense, or the District may remove such structures and vegetation at the lot owner's expense. At no time may any permanent structures, including trees and retaining walls, be placed within the easements or any other obstruction which interferes with the access and use of the easements without the prior written approval of the District. The District is further granted rights of access to any and all non-exclusive easements, including emergency or non-emergency access roads contained within this Plat to enlarge and/or extend its services to any adjoining properties and plats.
16. Pursuant to Utah code ann. § 54-3-27, this Plat conveys to the owner(s) or operators of utility facilities an 8' to 10' wide non-exclusive underground utility easement ("P.U.E."), along with all the rights and duties described therein.
17. A maximum 20% of an entire building lot or residential development parcel may include turf (See Development Agreement, §5.3.4.2);
18. All dwelling units will be built subject to the National Green Building Standard, Bronze, or the version of such Standard then in effect at the time of the building permit application; certification of compliance with such Standard by a qualified third party consultant will be submitted to the Summit County Building Department to ensure compliance prior to issuance of a certificate of occupancy for the dwelling unit.
19. The Sub-association(s) shall maintain the private "alleys" depicted on the Plat. The area designated as Open Space on this Plat shall be maintained by the Master Association, unless the Master Association designates the Sub-association as the responsible party.
20. No on street parking is allowed in winter months (as defined by Summit County) with the exception of those areas along Silver Creek Drive and as shown on Exhibits G2 and G4 of the Development Agreement.
21. The properties shown herein lie within Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to FEMA (Federal Emergency Management Agency) F.I.R.M. (Flood Insurance Rate Map) Map #4904300928C, Effective Date: March 16, 2006.
22. Summit County is not liable for damage to landscaping located within or adjacent to the Summit County right-of-way; replacement is the sole responsibility of Developer(s) or the Master Association, unless the Master Association designates the Sub-association as the responsible party (See Development Agreement, §2.12.2).
23. At the time of any resurfacing of Indigo Lane, Penstemon Lane, Hibiscus Lane & Golden Rod Lane, the Sub-association shall be responsible to adjust wastewater manholes to grade according to Snyderville Basin Water Reclamation District (SBWRD) standards. Prior notification of the adjustments and inspection by SBWRD is required.
24. Dwelling units with basements may require a privately owned and operated wastewater ejector pump for wastewater service.
25. Lots 27-40 & 42-78 are designated as Low-Pressure Sewer System Lots. The purchasers of these lots are hereby notified that wastewater service to these lots will be provided by a Low-Pressure Sewer System. The Private Low-Pressure Sewer Lateral to these lots consists of a Low-Pressure grinder pump station and Low-Pressure discharge line and appurtenances. The Private Low-Pressure Lateral System, which is the private property of each lot owner, connects to the Snyderville Basin Water Reclamation District's (SBWRD) Public Low-Pressure Sewer System. Purchasers of the Low-Pressure System Lots shall be solely responsible for all costs of the Private Low-Pressure Lateral System related to or arising from the installation, operation, maintenance, repair and replacement of the Private Low-Pressure Sewer Lateral Systems, including any costs arising from or relating to installation, operation, maintenance, repair and replacement and matters arising from freezing or incorrect installation.
26. Upon recordation of this plat, Liberty Capital Lending, L.L.C. hereby consents and authorizes Snyderville Basin Water Reclamation District to record a notice for each Low-Pressure Sewer System Lot with the Summit County Recorder's Office. The recorded notices shall serve as notification to all future lot owners of the responsibilities associated with the Private Low-Pressure Sewer Lateral System serving the lots.
27. Lot 12, 16, 20, 26, 29, 34, 38, 41, 43, 44, 46, 47, 49, 50, 51, 57, 58, 60, 70, 71, 79, 85, 90, 91 and 108 established in this Plat are market rate lots which will contain affordable/workforce housing units constructed within ADUs (as defined in the Development Agreement) in accordance with, and subject to, Section 5.2 of the Development Agreement, including, without limitation, deed restrictions to be imposed against such ADUs.
28. Lot 2, 3, 110, 113, 114, 120, and 121 established in this Plat will contain affordable/workforce housing units in accordance with, and subject to, Section 5.2 of the Development Agreement, including, without limitation, deed restrictions to be imposed against such lots.
29. Open Space areas in the Plat and Platted Lands shall be subject to the provisions of the Development Agreement.
30. Per Park City Fire Department, Lots 5-7, 44-46, 113-114, and 117-120 roof eaves must not exceed 30 feet measured from finished grade.
ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION LEGAL DESCRIPTION:
All of Lot 1 of the Silver Creek Village Center Lot 2 Subdivision, Entry number 1102101, recorded November 26, 2018 in the office of the Summit County Recorder. Lot 1 being located in the West half of Section 15, Township 1 South, Range 4 East, Salt Lake Base & Meridian.
Contains 57.41 acres, 2,500,950 square feet.
Contains 125 units.
SURVEYOR'S CERTIFICATE:
I, MICHAEL W. PURDY, do hereby certify that I am a Professional Land Surveyor, and that I hold license number 334571 as prescribed under the laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described hereon, and have subdivided said tract of land into lots and streets, together with easements, hereafter to be known as: Elk Springs at Silver Creek Village Center Subdivision.

ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION LOCATED IN THE WEST HALF OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH

SECTION LINE SECTION 16 TOWNSHIP 1 SOUTH, RANGE 4 EAST SECTION LINE SECTION 15 TOWNSHIP 1 SOUTH, RANGE 4 EAST



OWNER'S DEDICATION AND CONSENT TO RECORD
Know all by these presents that Liberty Capital Lending, L.L.C., the undersigned owner of the described tracts of land, having caused the same to be subdivided into lots and streets to hereafter be known as:
Elk Springs at Silver Creek Village Center Subdivision
does hereby dedicate for perpetual use of the public, subject to all interests of record, non-exclusive easements as shown hereon for the use of Summit County, a political subdivision of the State of Utah, and other approved utility providers for the purpose of providing access for utility installation, maintenance, use and replacement.
In witness whereof, this 19th day of June, 2021.
Liberty Capital Lending, L.L.C.
By: Matthew Lowe
Name and Title: Matthew Lowe, manager

ACKNOWLEDGMENT
State of Utah
County of Summit
The foregoing Plat was acknowledged before me this 19th day of June, 2021
by Matthew Lowe the manager of Liberty Capital Lending, L.L.C.
a Utah company, on behalf of the Company.
Notary Public: Melane Hall
My Commission Expires: February 21, 2024

LIEN HOLDER'S CONSENT TO RECORD
State of Utah
County of Summit
The undersigned lien holder hereby consents to the recordation of this plat.
COMPANY: BY:
NAME AND TITLE:
The foregoing consent to record was acknowledged before me this day of 2021.
BY:
Notary Public:
My Commission Expires:

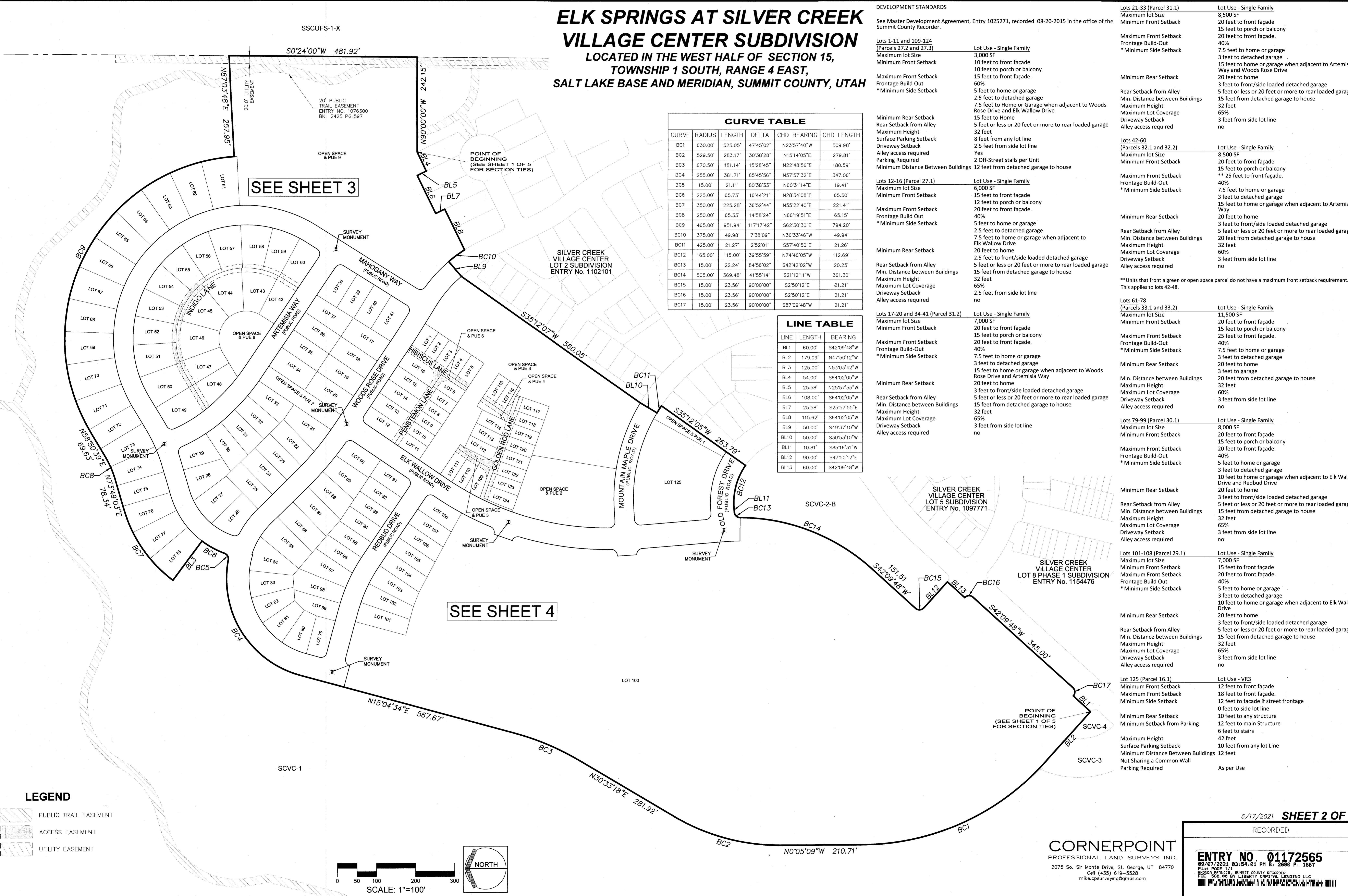
CONSENT TO RECORD
State of Utah
County of Summit
The undersigned beneficiary of a deed of trust hereby consents to the recordation of this plat.
COMPANY: BY:
NAME & TITLE:
The foregoing consent to record was acknowledged before me this day of 2021.
BY:
Notary Public:
My Commission Expires:
Notary Public:

CORNERPOINT PROFESSIONAL LAND SURVEYS INC. 2075 So. Sir Monte Drive, St. George, UT 84770. Includes surveyor's seal for Michael W. Purdy, license number 334571, dated 6/17/2021. Also includes signatures and stamps for S.B.S.R.D., County Assessor, Park City Fire Service District, and Summit County Engineer.

Approval table with columns for: PUBLIC SAFETY ANSWERING POINT APPROVAL, QUESTAR GAS COMPANY dba DOMINION ENERGY UTAH, ROCKY MOUNTAIN POWER, MOUNTAIN REGIONAL WATER DISTRICT, SNYDERVILLE BASIN WATER RECLAMATION DISTRICT, GOVERNING BODY APPROVAL AND ACCEPTANCE, APPROVAL AS TO FORM, and RECORDED. Includes dates, signatures, and titles for each entity.

ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION

LOCATED IN THE WEST HALF OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHD BEARING	CHD LENGTH
BC1	630.00'	525.05'	47°45'02"	N23°57'40"W	509.98'
BC2	529.50'	283.17'	30°38'28"	N15°14'05"E	279.81'
BC3	670.50'	181.14'	15°28'45"	N22°48'56"E	180.59'
BC4	255.00'	381.71'	85°45'56"	N57°57'32"E	347.06'
BC5	15.00'	21.11'	80°38'33"	N60°31'14"E	19.41'
BC6	225.00'	65.73'	16°44'21"	N28°34'08"E	65.50'
BC7	350.00'	225.28'	36°52'44"	N55°22'40"E	221.41'
BC8	250.00'	65.33'	14°58'24"	N66°19'51"E	65.15'
BC9	465.00'	951.94'	117°17'42"	S62°30'30"E	794.20'
BC10	375.00'	49.98'	7°38'09"	N36°33'46"W	49.94'
BC11	425.00'	21.27'	2°52'01"	S57°40'50"E	21.26'
BC12	165.00'	115.00'	39°55'59"	N74°46'05"W	112.69'
BC13	15.00'	22.24'	84°56'02"	S42°42'02"W	20.25'
BC14	505.00'	369.48'	41°55'14"	S21°12'11"W	361.30'
BC15	15.00'	23.56'	90°00'00"	S2°50'12"E	21.21'
BC16	15.00'	23.56'	90°00'00"	S2°50'12"E	21.21'
BC17	15.00'	23.56'	90°00'00"	S87°09'48"W	21.21'

LINE TABLE

LINE	LENGTH	BEARING
BL1	60.00'	S42°09'48"W
BL2	179.09'	N47°50'12"W
BL3	125.00'	N53°03'42"W
BL4	54.00'	S64°02'05"W
BL5	25.58'	N25°57'55"W
BL6	108.00'	S64°02'05"W
BL7	25.58'	S25°57'55"E
BL8	115.62'	S64°02'05"W
BL9	50.00'	S49°37'10"W
BL10	50.00'	S30°53'10"W
BL11	10.81'	S85°16'31"W
BL12	90.00'	S47°50'12"E
BL13	60.00'	S42°09'48"W

DEVELOPMENT STANDARDS

See Master Development Agreement, Entry 1025271, recorded 08-20-2015 in the office of the Summit County Recorder.

Lots 1-11 and 109-124 (Parcels 27.2 and 27.3)
 Lot Use - Single Family
 Maximum lot Size 3,000 SF
 Minimum Front Setback 10 feet to front façade
 10 feet to porch or balcony
 15 feet to front façade.
 Maximum Front Setback 60%
 Frontage Build Out * Minimum Side Setback 5 feet to home or garage
 2.5 feet to detached garage
 7.5 feet to Home or Garage when adjacent to Woods Rose Drive and Elk Wallow Drive
 15 feet to Home
 5 feet or less or 20 feet or more to rear loaded garage
 32 feet
 Minimum Rear Setback 8 feet from any lot line
 2.5 feet from side lot line
 Yes
 Alley access required
 Parking Required
 2 Off-Street stalls per Unit
 Minimum Distance Between Buildings 12 feet from detached garage to house

Lots 12-16 (Parcel 27.1)
 Lot Use - Single Family
 Maximum lot Size 6,000 SF
 Minimum Front Setback 15 feet to front façade
 12 feet to porch or balcony
 20 feet to front façade.
 Maximum Front Setback 40%
 Frontage Build Out * Minimum Side Setback 5 feet to home or garage
 2.5 feet to detached garage
 7.5 feet to home or garage when adjacent to Elk Wallow Drive
 20 feet to home
 3 feet to front/side loaded detached garage
 5 feet or less or 20 feet or more to rear loaded garage
 15 feet from detached garage to house
 32 feet
 Maximum Height 60%
 Minimum Lot Coverage 65%
 Driveway Setback 2.5 feet from side lot line
 Alley access required no

Lots 17-20 and 34-41 (Parcel 31.2)
 Lot Use - Single Family
 Maximum lot Size 7,000 SF
 Minimum Front Setback 20 feet to front façade
 15 feet to porch or balcony
 20 feet to front façade.
 Maximum Front Setback 40%
 Frontage Build Out * Minimum Side Setback 7.5 feet to home or garage
 3 feet to detached garage
 15 feet to home or garage when adjacent to Woods Rose Drive and Artemisia Way
 20 feet to home
 3 feet to front/side loaded detached garage
 5 feet or less or 20 feet or more to rear loaded garage
 15 feet from detached garage to house
 32 feet
 Maximum Height 60%
 Minimum Lot Coverage 65%
 Driveway Setback 3 feet from side lot line
 Alley access required no

Lots 21-33 (Parcel 31.1)
 Lot Use - Single Family
 Maximum lot Size 8,500 SF
 Minimum Front Setback 20 feet to front façade
 15 feet to porch or balcony
 20 feet to front façade.
 Maximum Front Setback 40%
 Frontage Build Out * Minimum Side Setback 7.5 feet to home or garage
 3 feet to detached garage
 15 feet to home or garage when adjacent to Artemisia Way and Woods Rose Drive
 20 feet to home
 3 feet to front/side loaded detached garage
 5 feet or less or 20 feet or more to rear loaded garage
 15 feet from detached garage to house
 32 feet
 Maximum Height 60%
 Minimum Lot Coverage 65%
 Driveway Setback 3 feet from side lot line
 Alley access required no

Lots 42-60 (Parcels 32.1 and 32.2)
 Lot Use - Single Family
 Maximum lot Size 8,500 SF
 Minimum Front Setback 20 feet to front façade
 15 feet to porch or balcony
 ** 25 feet to front façade.
 Maximum Front Setback 40%
 Frontage Build Out * Minimum Side Setback 7.5 feet to home or garage
 3 feet to detached garage
 15 feet to home or garage when adjacent to Artemisia Way
 20 feet to home
 3 feet to front/side loaded detached garage
 5 feet or less or 20 feet or more to rear loaded garage
 15 feet from detached garage to house
 32 feet
 Maximum Height 60%
 Minimum Lot Coverage 65%
 Driveway Setback 3 feet from side lot line
 Alley access required no

Lots 61-78 (Parcels 33.1 and 33.2)
 Lot Use - Single Family
 Maximum lot Size 11,500 SF
 Minimum Front Setback 20 feet to front façade
 15 feet to porch or balcony
 25 feet to front façade.
 Maximum Front Setback 40%
 Frontage Build Out * Minimum Side Setback 7.5 feet to home or garage
 3 feet to detached garage
 20 feet to home
 3 feet to garage
 20 feet from detached garage to house
 32 feet
 Maximum Height 60%
 Minimum Lot Coverage 65%
 Driveway Setback 3 feet from side lot line
 Alley access required no

Lots 79-99 (Parcel 30.1)
 Lot Use - Single Family
 Maximum lot Size 8,000 SF
 Minimum Front Setback 20 feet to front façade
 15 feet to porch or balcony
 20 feet to front façade.
 Maximum Front Setback 40%
 Frontage Build Out * Minimum Side Setback 5 feet to home or garage
 3 feet to detached garage
 10 feet to home or garage when adjacent to Elk Wallow Drive and Redbud Drive
 20 feet to home
 3 feet to front/side loaded detached garage
 5 feet or less or 20 feet or more to rear loaded garage
 15 feet from detached garage to house
 32 feet
 Maximum Height 65%
 Minimum Lot Coverage 65%
 Driveway Setback 3 feet from side lot line
 Alley access required no

Lots 101-108 (Parcel 29.1)
 Lot Use - Single Family
 Maximum lot Size 7,000 SF
 Minimum Front Setback 15 feet to front façade
 20 feet to front façade.
 Maximum Front Setback 40%
 Frontage Build Out * Minimum Side Setback 5 feet to home or garage
 3 feet to detached garage
 10 feet to home or garage when adjacent to Elk Wallow Drive
 20 feet to home
 3 feet to front/side loaded detached garage
 5 feet or less or 20 feet or more to rear loaded garage
 15 feet from detached garage to house
 32 feet
 Maximum Height 65%
 Minimum Lot Coverage 65%
 Driveway Setback 3 feet from side lot line
 Alley access required no

Lot 125 (Parcel 16.1)
 Lot Use - VR3
 Minimum Front Setback 12 feet to front façade
 18 feet to front façade.
 Minimum Side Setback 12 feet to facade if street frontage
 0 feet to side lot line
 Minimum Rear Setback 10 feet to any structure
 Minimum Setback from Parking 12 feet to main structure
 6 feet to stairs
 42 feet
 Maximum Height 10 feet from any lot line
 Surface Parking Setback 12 feet
 Minimum Distance Between Buildings 12 feet
 Not Sharing a Common Wall
 Parking Required As per Use

LEGEND

- PUBLIC TRAIL EASEMENT
- ACCESS EASEMENT
- UTILITY EASEMENT

SCALE: 1"=100'

6/17/2021 SHEET 2 OF 6

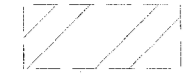
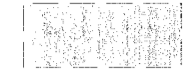
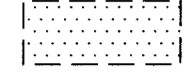

CORNERPOINT PROFESSIONAL LAND SURVEYS INC.
 2075 So. Sir Monte Drive, St. George, UT 84770
 Cell (435) 619-5528
 mike.cpsurveying@gmail.com

ENTRY NO. 01172565
 06/17/2021 03:54:01 PM B: 2890 P: 1667
 Plat PAGE 1/1
 RECORD FRANCHISE, SUMMIT COUNTY RECORDER
 FEE \$58.00 BY LIBERTY CAPITAL LENDING LLC

ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION

LOCATED IN THE WEST HALF OF SECTION 15,
TOWNSHIP 1 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH

LEGEND

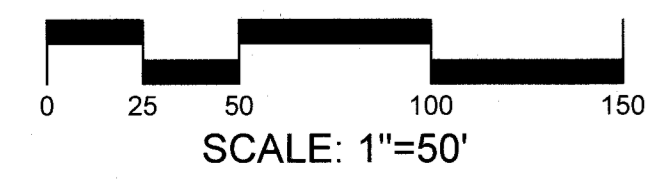
-  PUBLIC TRAIL EASEMENT
-  ACCESS EASEMENT
-  SBWRD EASEMENT
-  UTILITY EASEMENT

E-ONE TYPE SEWAGE EJECTOR PUMP SHALL BE REQUIRED, SEE PLAT NOTE #25.

LOT CORNER MONUMENTATION NOTE:

- 1) NAIL AND WASHER MARKED PLS 334571 SHALL BE SET IN CONCRETE AT A 0.5 FOOT OFFSET TO LOT CORNER WHERE LOT CORNERS ARE AT EDGE OF CONCRETE.
- 2) 5/8 REBAR AND CAP MARKED PLS 334571 SHALL BE SET AT LOT CORNERS.

NOTE: SEE SHEET 6 OF 6 FOR LOT'S AND ACCESS EASEMENT'S LINE AND CURVE TABLE REFERENCE.



NOTE: SEE SHEET 4 OF 6 FOR UTILITY EASEMENT'S LINE AND CURVE TABLE REFERENCE.

R=375.00' L=49.98'
A=7°38'09"
CHD BRG=N36°33'46"W
CHD L=49.94'

SEE SHEET 4

CORNERPOINT
PROFESSIONAL LAND SURVEYS INC.
2075 So. Sir Monte Drive, St. George, UT 84770
Cell: (435) 619-5528
mike.cpsurveying@gmail.com

6/17/2021 **SHEET 3 OF 6**

RECORDED

ENTRY NO. 01172565
05/07/2021 03:54:01 PM B: 2690 P: 1667
PLAT PAGE 1/1
PROVIDA FINANCIALS SUMMIT COUNTY RECORDERS
FEE: \$69.00 BY: LIBERTY CAPITAL LENDING LLC

ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION

LOCATED IN THE WEST HALF OF SECTION 15,
TOWNSHIP 1 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH

SEE SHEET 3



SCVC-1

N15°04'34"E 567.67'

LOT 100
1,026,194 SF

SILVER CREEK
VILLAGE CENTER
LOT 2 SUBDIVISION
ENTRY No. 1102101

R=375.00' L=49.98'
Δ=7°38'09"
CHD BRG=N36°33'46"W
CHD L=49.94'

S49°37'10"W 50.00'

S35°12'01"W 580.05'

S30°53'10"W 50.00'

R=425.00' L=21.27' Δ=2°52'01"
CHD BRG=S57°40'50"E CHD L=21.26'

R=165.00' L=115.00' Δ=39°55'59"
CHD BRG=N74°46'05"W CHD L=112.69'

S85°16'31"W 10.81'

R=15.00' L=22.24' Δ=84°56'02"
CHD BRG=S42°42'02"W CHD L=20.25'

LINE	LENGTH	BEARING
NL500	20.01'	N58°01'19"W
NL501	371.45'	N34°03'19"E
NL502	26.13'	N19°23'19"E
NL503	305.14'	S70°36'41"E
NL504	283.14'	N70°36'41"W
NL505	8.99'	S34°03'19"W
NL506	153.71'	S34°03'19"W
NL507	297.53'	S55°56'41"E
NL508	20.00'	S34°03'19"W
NL509	297.53'	N55°56'41"W
NL510	199.59'	S34°03'19"W

UTILITY EASEMENT					
CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHD BEARING	CHD LENGTH
NC500	725.00'	20.00'	1°34'51"	S18°35'54"W	20.00'

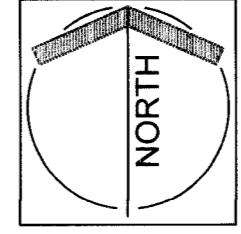
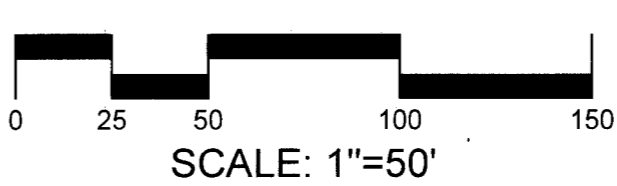
- LEGEND**
- ACCESS EASEMENT
 - SBWRD EASEMENT
 - UTILITY EASEMENT

LOT CORNER MONUMENTATION NOTE:

- 1) NAIL AND WASHER MARKED PLS 334571 SHALL BE SET IN CONCRETE AT A 0.5 FOOT OFFSET TO LOT CORNER WHERE LOT CORNERS ARE AT EDGE OF CONCRETE.
- 2) 5/8 REBAR AND CAP MARKED PLS 334571 SHALL BE SET AT LOT CORNERS.

NOTE: SEE SHEET 6 OF 6 FOR LOT'S AND ACCESS EASEMENT'S LINE AND CURVE TABLE REFERENCE.

ADDRESS TABLE	
LOT #	FULL ADDRESS
1	6952 Hibiscus Lane
2	6944 Hibiscus Lane
3	6940 Hibiscus Lane
4	6930 Hibiscus Lane
5	6924 Hibiscus Lane
6	1282 Penstemon Lane
7	1276 Penstemon Lane
8	1268 Penstemon Lane
9	1262 Penstemon Lane
10	1256 Penstemon Lane
11	1248 Penstemon Lane
12	1247 Penstemon Lane
13	1257 Penstemon Lane
14	1265 Penstemon Lane
15	1273 Penstemon Lane
16	1281 Penstemon Lane
17	7042 Woods Rose Drive
18	7054 Woods Rose Drive
19	7064 Woods Rose Drive
20	7076 Woods Rose Drive
21	7096 Woods Rose Drive
22	7108 Woods Rose Drive
23	7120 Woods Rose Drive
24	7130 Woods Rose Drive
25	7138 Woods Rose Drive
26	1204 Mahogany Way
27	1222 Mahogany Way
28	1240 Mahogany Way
29	1250 Mahogany Way
30	1268 Artemisia Way
31	1278 Artemisia Way
32	1286 Artemisia Way
33	1294 Artemisia Way
34	1312 Artemisia Way
35	1324 Artemisia Way
36	1334 Artemisia Way
37	1344 Artemisia Way
38	1470 Mahogany Way
39	1480 Mahogany Way
40	1488 Mahogany Way
41	1500 Mahogany Way
42	1374 Indigo Lane
43	1358 Indigo Lane
44	1338 Indigo Lane
45	1318 Indigo Lane
46	1298 Indigo Lane
47	1280 Indigo Lane
48	1268 Indigo Lane
49	1265 Indigo Lane
50	1279 Indigo Lane
51	1291 Indigo Lane
52	1299 Indigo Lane
53	1309 Indigo Lane
54	1317 Indigo Lane
55	1327 Indigo Lane
56	1335 Indigo Lane
57	1345 Indigo Lane
58	1355 Indigo Lane
59	1363 Indigo Lane
60	1373 Indigo Lane
61	1401 Mahogany Way
62	1389 Mahogany Way
63	1377 Mahogany Way
64	1367 Mahogany Way
65	1357 Mahogany Way
66	1345 Mahogany Way
67	1335 Mahogany Way
68	1323 Mahogany Way
69	1313 Mahogany Way
70	1301 Mahogany Way
71	1291 Mahogany Way
72	1279 Mahogany Way
73	1269 Mahogany Way
74	1253 Mahogany Way
75	1241 Mahogany Way
76	1233 Mahogany Way
77	1223 Mahogany Way
78	1215 Mahogany Way
79	7239 Woods Rose Drive
80	7229 Woods Rose Drive
81	7211 Woods Rose Drive
82	7197 Woods Rose Drive
83	7181 Woods Rose Drive
84	7167 Woods Rose Drive
85	7147 Woods Rose Drive
86	7135 Woods Rose Drive
87	7123 Woods Rose Drive
88	7111 Woods Rose Drive
89	7105 Woods Rose Drive
90	7095 Woods Rose Drive
91	1229 Redbud Drive
92	1221 Redbud Drive
93	1211 Redbud Drive
94	1203 Redbud Drive
95	1193 Redbud Drive
96	1185 Redbud Drive
97	1177 Redbud Drive
98	1171 Redbud Drive
99	1161 Redbud Drive
100	6857 Elk Willow Drive
101	1166 Redbud Drive
102	1176 Redbud Drive
103	1186 Redbud Drive
104	1196 Redbud Drive
105	1204 Redbud Drive
106	1212 Redbud Drive
107	1220 Redbud Drive
108	1230 Redbud Drive
109	6924 Elk Willow Drive
110	6934 Elk Willow Drive
111	6940 Elk Willow Drive
112	1241 Golden Rod Lane
113	1247 Golden Rod Lane
114	1253 Golden Rod Lane
115	1261 Golden Rod Lane
116	1265 Golden Rod Lane
117	1268 Golden Rod Lane
118	1262 Golden Rod Lane
119	1256 Golden Rod Lane
120	1250 Golden Rod Lane
121	1242 Golden Rod Lane
122	1236 Golden Rod Lane
123	1230 Golden Rod Lane
124	1222 Golden Rod Lane
125	6816 Elk Willow Drive



CORNERPOINT
PROFESSIONAL LAND SURVEYS INC.
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ENTRY NO. **01172565**
09/07/2021 03:54:01 PM B: 2690 P: 1667
SUMMIT COUNTY RECORDER
LIBERTY CAPITAL LENDING LLC

ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION

LOCATED IN THE WEST HALF OF SECTION 15,
TOWNSHIP 1 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH

CROSS ACCESS EASEMENT

LINE TABLE			CURVE TABLE					
LINE	LENGTH	BEARING	CURVE	RADIUS	LENGTH	DELTA	CHD BEARING	CHD LENGTH
TL600	203.75'	N29°43'08"E	TC600	425.00'	19.92'	2°41'08"	N57°35'24"W	19.92'
TL601	202.77'	S29°43'08"W	TC601	225.00'	20.03'	5°06'03"	S57°27'38"E	20.02'
TL602	22.69'	N84°04'10"W	TC602	425.00'	20.00'	2°41'47"	N60°16'52"W	20.00'
TL603	96.54'	N82°21'44"W	TC603	725.00'	81.49'	6°26'25"	N2°35'28"E	81.45'
TL604	11.62'	N69°48'45"W	TC604	725.00'	20.00'	1°34'51"	S6°36'06"W	20.00'
TL605	51.97'	S62°13'24"W	TC605	760.00'	22.64'	1°42'26"	N83°12'57"W	22.64'
TL606	53.07'	S22°38'05"W	TC606	610.00'	133.61'	12°32'59"	N76°05'15"W	133.34'
TL607	43.00'	S58°57'20"W	TC607	55.00'	32.77'	34°08'09"	S45°09'20"W	32.29'
TL608	32.91'	S46°48'52"W	TC608	200.00'	138.19'	39°35'20"	S42°25'44"W	135.46'
TL609	32.63'	N46°48'52"E	TC609	190.00'	120.44'	36°19'15"	S40°47'42"W	118.44'
TL610	43.00'	N58°57'20"E	TC610	130.00'	27.55'	12°08'27"	S52°53'06"W	27.50'
TL611	53.07'	N22°38'05"E	TC611	325.00'	20.01'	3°31'36"	N42°23'09"W	20.00'
TL612	28.56'	N54°34'24"W	TC612	150.00'	31.78'	12°08'27"	N52°53'06"E	31.73'
TL613	20.00'	N35°12'07"E	TC613	170.00'	107.77'	36°19'15"	N40°47'42"E	105.97'
TL614	28.63'	S54°34'24"E	TC614	220.00'	38.98'	10°09'05"	N27°42'37"E	38.93'
TL615	51.97'	N62°13'24"E	TC615	220.00'	93.02'	24°13'37"	N50°06'36"E	92.33'
TL616	27.75'	N39°33'36"W	TC616	35.00'	62.18'	101°47'00"	N11°19'54"E	54.32'
TL617	16.72'	N29°43'08"E	TC617	35.00'	42.32'	69°16'45"	N4°55'14"W	39.79'
TL618	20.12'	S29°43'08"W	TC618	474.94'	19.67'	2°22'25"	S60°18'02"E	19.67'
TL619	27.75'	S39°33'36"E	TC619	15.00'	18.14'	69°16'45"	S4°55'14"E	17.05'
TL620	12.52'	S69°48'45"E	TC620	55.00'	44.80'	46°40'29"	S16°13'22"E	43.58'
TL621	96.54'	S82°21'44"E	TC621	590.00'	129.23'	12°32'59"	S76°05'15"E	128.97'
TL622	22.92'	S84°04'10"E	TC622	740.00'	22.05'	1°42'26"	S83°12'57"E	22.05'
TL623	185.28'	N90°00'00"W	TC623	70.00'	107.07'	87°38'21"	S62°44'08"E	96.93'
TL624	21.14'	N90°00'00"E	TC624	50.00'	7.85'	8°59'31"	N68°56'56"E	7.84'
TL625	0.56'	S18°54'58"E	TC625	165.00'	45.58'	15°49'38"	N72°22'00"E	45.43'
TL626	13.88'	N73°26'41"E	TC626	185.00'	108.06'	33°27'56"	N63°32'51"E	106.53'
TL627	28.91'	N64°27'11"E	TC627	375.00'	20.00'	3°03'23"	S42°29'33"E	20.00'
TL628	62.87'	N46°48'52"E	TC628	205.00'	119.74'	33°27'56"	S63°32'51"W	118.04'
TL629	62.63'	S46°48'52"W	TC629	145.00'	40.05'	15°49'38"	S72°22'00"W	39.93'
TL630	28.91'	S64°27'11"W	TC630	70.00'	10.99'	10.99'	S68°56'56"W	10.97'
TL631	13.88'	S73°26'41"W	TC631	90.00'	137.66'	87°38'21"	N62°44'08"W	124.63'
TL632	7.42'	N18°54'58"W						
TL633	3.42'	N35°12'07"E						

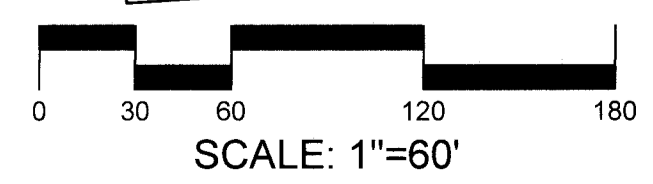
CURVE TABLE						LINE TABLE		
CURVE	RADIUS	LENGTH	DELTA	CHD BEARING	CHD LENGTH	LINE	LENGTH	BEARING
CAC700	5.00'	7.85'	90°00'00"	S10°56'41"E	7.07'	CAL700	12.50'	S34°03'19"W
CAC701	190.00'	5.03'	1°30'59"	S27°56'48"W	5.03'	CAL701	292.53'	S55°56'41"E
CAC702	5.00'	1.28'	14°39'53"	S26°43'19"W	1.28'	CAL702	199.59'	N34°03'19"E
CAC703	200.00'	5.73'	1°38'25"	S48°32'28"W	5.73'	CAL703	5.00'	S58°00'12"E
CAC704	725.00'	5.00'	0°23'43"	N19°11'28"E	5.00'	CAL704	199.77'	S34°03'19"W
CAC705	10.00'	2.56'	14°40'00"	N26°43'19"E	2.55'	CAL705	74.66'	S55°56'41"E
CAC706	5.00'	7.85'	90°00'00"	S79°03'19"W	7.07'	CAL706	75.19'	N55°56'41"W
CAC707	502.50'	2.83'	0°19'21"	N55°47'00"W	2.83'	CAL707	156.67'	S34°03'19"W
CAC708	47.50'	126.95'	153°08'10"	S44°33'16"E	92.40'	CAL708	17.82'	S19°23'23"W
CAC709	72.50'	31.37'	24°47'20"	N46°26'59"E	31.12'	CAL709	84.48'	S70°36'37"E
CAC710	452.50'	2.83'	0°21'29"	S55°45'56"E	2.83'	CAL710	374.81'	N70°36'41"W
CAC711	82.50'	35.69'	24°47'20"	S46°26'59"W	35.42'	CAL711	288.14'	S70°36'41"E
CAC712	57.50'	6.22'	6°11'37"	S61°56'27"W	6.21'	CAL712	17.82'	N19°23'15"E
CAC713	290.00'	10.00'	1°58'33"	S70°01'48"W	10.00'	CAL713	156.67'	N34°03'19"E
CAC714	57.50'	97.42'	97°04'27"	N56°26'53"W	86.18'	CAL714	292.53'	S55°56'41"W
CAC715	290.00'	10.00'	1°58'33"	N2°55'04"W	10.00'	CAL715	15.00'	N34°03'19"E
CAC716	57.50'	30.02'	29°54'51"	N17°01'24"E	29.68'	CAL716	31.00'	S55°56'41"W
CAC717	340.00'	10.00'	1°41'07"	S2°55'47"E	10.00'	CAL717	10.00'	S55°56'41"E
CAL718						CAL718	222.51'	S34°03'19"W
CAL719						CAL719	7.17'	N55°56'41"W
CAL720						CAL720	222.50'	N34°03'19"E
CAL721						CAL721	12.48'	N55°56'41"W
CAL722						CAL722	10.01'	S55°56'41"E
CAL723						CAL723	39.39'	S31°58'49"E
CAL724						CAL724	15.98'	N58°50'39"E
CAL725						CAL725	12.66'	N34°03'19"E
CAL726						CAL726	7.17'	S55°56'41"E
CAL727						CAL727	12.65'	S34°03'19"W
CAL728						CAL728	15.98'	S58°50'39"W
CAL729						CAL729	232.71'	S19°58'25"E
CAL730						CAL730	232.70'	N19°58'25"W
CAL731						CAL731	232.65'	S87°04'39"W
CAL732						CAL732	232.65'	N87°04'39"E
CAL733						CAL733	39.76'	N31°58'49"E
CAL734						CAL734	332.02'	S87°04'56"W
CAL735						CAL735	10.00'	N2°55'04"W
CAL736						CAL736	332.02'	N87°04'56"E

STORM DRAIN EASEMENT

CURVE TABLE						LINE TABLE		
CURVE	RADIUS	LENGTH	DELTA	CHD BEARING	CHD LENGTH	LINE	LENGTH	BEARING
SDC800	725.00'	25.61'	2°01'27"	S18°22'36"W	25.61'	SDL800	104.43'	S74°25'57"E
SDC801	325.00'	10.29'	1°48'50"	S52°53'39"E	10.29'	SDL801	194.07'	S73°20'30"E
SDC802	325.00'	65.84'	11°36'24"	N46°11'02"W	65.72'	SDL802	76.50'	N34°53'39"E
SDC803	475.00'	10.45'	1°15'38"	N81°40'08"W	10.45'	SDL803	45.40'	N54°59'45"W
SDC804	725.00'	10.00'	0°47'26"	N16°58'09"E	10.00'	SDL804	10.00'	N35°00'15"E
SDC805	375.00'	8.26'	1°15'45"	S53°24'43"E	8.26'	SDL805	45.38'	S54°59'45"E
SDC806	375.00'	10.51'	1°36'18"	N51°58'41"W	10.51'	SDL806	109.49'	N34°53'39"E
SDC807	340.00'	95.34'	16°03'59"	S50°56'55"W	95.03'	SDL807	19.18'	N72°18'36"W
SDC808	340.00'	12.10'	2°02'20"	N14°10'05"E	12.10'	SDL808	22.18'	S31°13'21"W
SDC809	175.00'	61.27'	20°03'33"	S21°56'39"W	60.95'	SDL809	10.00'	N58°46'39"W
SDC810	185.00'	64.77'	20°03'33"	N21°56'39"E	64.44'	SDL810	30.06'	N31°13'21"E
SDL811						SDL811	31.90'	S72°18'36"E
SDL812						SDL812	190.43'	N50°41'34"E
SDL813						SDL813	197.60'	S50°41'34"W
SDL814						SDL814	204.74'	S34°53'39"W
SDL815						SDL815	143.28'	S66°54'15"W
SDL816						SDL816	101.98'	S25°13'01"W
SDL817						SDL817	108.83'	N25°13'01"E
SDL818						SDL818	131.83'	N66°54'15"E
SDL819						SDL819	183.76'	N73°20'30"W
SDL820						SDL820	104.58'	N74°25'57"W
SDL821						SDL821	93.70'	N55°51'44"E
SDL822						SDL822	10.00'	S34°08'16"W
SDL823						SDL823	90.48'	S55°51'44"W
SDL824						SDL824	194.51'	N31°58'25"E
SDL825						SDL825	11.66'	N31°58'25"E
SDL826						SDL826	48.75'	S88°56'32"E
SDL827						SDL827	10.00'	S10°3'28"W
SDL828						SDL828	54.74'	N88°56'32"W
SDL829						SDL829	33.92'	S41°35'03"E
SDL830						SDL830	10.00'	S48°24'57"W
SDL831						SDL831	27.11'	N41°35'03"W
SDL832						SDL832	217.62'	N0°23'55"E
SDL833						SDL833	74.30'	S75°25'03"W
SDL834						SDL834	54.80'	S82°46'22"W
SDL835						SDL835	10.00'	N71°3'38"W
SDL836						SDL836	54.16'	N82°46'22"E
SDL837						SDL837	76.34'	N75°25'03"E
SDL838						SDL838	10.35'	S0°24'00"W
SDL839						SDL839	44.04'	S31°58'25"W
SDL840						SDL840	10.00'	N78°05'07"W
SDL841						SDL841	44.40'	N31°58'25"E
SDL842						SDL842	10.01'	S55°56'41"E

LEGEND

- STORM DRAIN EASEMENT
- CROSS ACCESS EASEMENT
- TRAIL EASEMENT
- PUBLIC TRAIL EASEMENT



CORNERPOINT
PROFESSIONAL LAND SURVEYS INC.
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RECORDED
ENTRY NO. 01172565
89/07/2021 03:54:01 PM B: 2698 P: 1657
PLAT PAGE 1/4
SUMMIT COUNTY RECORDS
FEE \$68.00 BY LIBERTY CAPITAL LENDING LLC

CROSS ACCESS, TRAIL AND STORM DRAIN EASEMENTS
6/17/2021 SHEET 5 OF 6

ELK SPRINGS AT SILVER CREEK VILLAGE CENTER SUBDIVISION

LOCATED IN THE WEST HALF OF SECTION 15,
TOWNSHIP 1 SOUTH, RANGE 4 EAST,
SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH

LINE	LENGTH	BEARING
L1	39.01'	N34°03'19"E
L2	35.39'	S58°01'19"E
L3	41.09'	S34°03'19"W
L4	75.03'	N55°56'41"W
L5	34.00'	N34°03'19"E
L6	34.00'	S34°03'19"W
L7	75.03'	N55°56'41"W
L8	34.50'	N34°03'19"E
L9	34.50'	S34°03'19"W
L10	75.03'	N55°56'41"W
L11	34.00'	N34°03'19"E
L12	34.00'	S34°03'19"W
L13	75.03'	N55°56'41"W
L14	38.50'	N34°03'19"E
L15	38.50'	S34°03'19"W
L16	75.03'	N55°56'41"W
L17	36.50'	N55°56'41"W
L18	75.00'	N34°03'19"E
L19	36.50'	S55°56'41"E
L20	75.00'	S34°03'19"W
L21	34.00'	N55°56'41"W
L22	75.00'	N34°03'19"E
L23	34.00'	S55°56'41"E
L24	65.83'	S34°03'19"W
L24	34.00'	N55°56'41"W
L25	75.00'	N34°03'19"E
L26	34.00'	S55°56'41"E
L27	34.00'	N55°56'41"W
L28	75.00'	S34°03'19"W
L29	34.00'	S55°56'41"E
L30	65.83'	S34°03'19"W
L30	34.00'	N55°56'41"W
L31	75.00'	S34°03'19"W
L32	34.00'	S55°56'41"E
L33	40.00'	N55°56'41"W
L34	75.00'	S34°03'19"W
L35	40.00'	S55°56'41"E
L36	44.00'	N55°56'41"W
L37	90.00'	S34°03'19"W
L38	29.00'	S55°56'41"E
L39	105.00'	S34°03'19"W
L40	42.00'	N55°56'41"W
L41	42.00'	S55°56'41"E
L42	105.00'	S34°03'19"W
L43	42.00'	N55°56'41"W
L44	42.00'	S55°56'41"E
L45	105.00'	S34°03'19"W
L46	42.00'	N55°56'41"W
L47	42.00'	S55°56'41"E
L48	105.00'	S34°03'19"W
L49	52.50'	S55°56'41"E
L50	47.77'	N55°56'41"W
L51	105.01'	N34°03'19"E
L52	60.87'	N55°56'41"W
L53	112.50'	S34°03'19"W
L54	56.78'	S55°56'41"E
L55	112.57'	S31°58'25"W
L56	54.00'	N55°56'41"W
L57	112.50'	S34°03'19"W
L58	54.00'	N55°56'41"W
L59	54.00'	N55°56'41"W
L60	112.50'	S34°03'19"W
L61	54.00'	N55°56'41"W
L62	58.00'	N55°56'41"W
L63	112.50'	N34°03'19"E
L64	58.00'	S55°56'41"E
L65	113.04'	N45°31'26"E
L66	46.96'	S55°56'41"E
L67	114.85'	S34°03'19"W
L68	116.00'	S45°31'26"W

LINE	LENGTH	BEARING
L69	50.00'	S44°28'34"E
L70	34.25'	N44°28'41"W
L71	116.22'	S45°31'26"W
L72	52.00'	S44°28'34"E
L73	52.00'	N44°28'41"W
L74	116.22'	S45°31'26"W
L75	52.00'	S44°28'34"E
L76	52.00'	N44°28'41"W
L77	116.22'	S45°31'26"W
L78	52.00'	S44°28'34"E
L79	0.85'	N44°28'41"W
L80	1.53'	N19°21'21"E
L81	111.60'	S44°28'34"E
L82	56.50'	S45°31'26"W
L83	104.42'	N36°42'34"W
L84	59.71'	S45°31'26"W
L85	52.78'	N73°49'03"E
L86	103.68'	N16°10'57"W
L87	39.47'	N56°31'34"E
L88	17.14'	S44°28'34"E
L89	25.56'	S73°49'03"W
L90	76.76'	S56°31'34"W
L91	61.02'	S44°28'34"E
L92	116.23'	N56°31'34"E
L93	56.89'	S44°28'34"E
L94	107.97'	N50°04'25"E
L95	14.61'	S44°28'34"E
L96	57.88'	S44°28'34"E
L97	106.29'	N45°31'26"E
L98	3.18'	S44°28'34"E
L99	13.08'	S44°28'34"E
L100	106.74'	N40°23'24"E
L101	107.67'	S34°03'19"W
L102	110.00'	N34°03'19"E
L103	58.00'	S55°56'41"E
L104	110.00'	S34°03'19"W
L105	54.00'	S55°56'41"E
L106	110.00'	S34°03'19"W
L107	54.00'	S55°56'41"E
L108	110.00'	S34°03'19"W
L109	52.78'	S73°49'03"W
L110	110.07'	N31°58'25"E
L111	60.04'	N31°58'25"E
L112	85.60'	S34°03'19"W
L113	41.95'	S31°58'25"W
L114	51.25'	N31°58'25"E
L115	100.00'	S58°01'11"E
L116	51.25'	S31°58'25"W
L117	51.25'	N31°58'25"E
L118	100.00'	S58°01'11"E
L119	51.25'	S31°58'25"W
L120	60.11'	N31°58'25"E
L121	100.00'	S58°01'11"E
L122	46.14'	S31°58'25"W
L123	35.06'	N58°01'11"W
L124	7.40'	N55°56'41"W
L125	40.22'	N31°58'25"E
L126	110.00'	S62°41'06"E
L127	44.22'	S31°58'25"W
L128	110.00'	N55°56'41"W
L129	110.03'	N87°04'56"E
L130	110.00'	N50°34'53"E
L131	110.00'	N15°11'42"E
L132	110.03'	N19°58'17"W
L133	30.96'	S58°01'11"W
L134	110.00'	N31°09'21"W
L136	41.72'	S58°01'11"W
L137	17.79'	N44°28'34"W
L138	70.10'	N58°01'11"W
L139	110.00'	N87°04'56"E

LINE	LENGTH	BEARING
L140	38.67'	N58°50'39"E
L142	110.00'	N31°09'21"W
L143	30.96'	N58°50'39"E
L144	110.03'	N19°58'17"W
L145	110.00'	N31°09'21"W
L146	110.00'	N11°26'39"E
L147	110.00'	N26°08'08"E
L148	110.00'	N40°49'36"E
L149	110.00'	N55°31'04"E
L150	110.00'	N70°12'33"E
L151	110.03'	N87°04'56"E
L152	110.00'	S76°29'54"E
L154	110.00'	S61°48'26"E
L155	32.66'	S31°58'25"W
L156	94.52'	N55°56'41"W
L157	52.00'	N75°39'14"E
L158	125.00'	N65°09'47"E
L159	125.00'	N54°40'20"E
L160	125.00'	N56°31'34"E
L161	125.00'	N33°41'27"E
L162	125.00'	N23°12'00"E
L163	125.00'	N12°43'37"E
L164	125.00'	N21°3'06"E
L165	125.00'	N8°16'21"W
L166	125.00'	S19°58'17"E
L167	125.00'	N30°03'40"W
L168	125.00'	S31°09'21"E
L169	47.98'	N58°50'39"E
L170	47.98'	S58°50'39"W
L171	125.00'	S24°07'14"E
L172	21.66'	N58°50'39"E
L173	21.66'	S58°50'39"W
L174	125.00'	N16°10'57"W
L175	16.27'	N73°49'03"E
L176	16.27'	S73°49'03"W
L177	125.00'	N16°10'57"W
L178	55.00'	N73°49'03"E
L179	55.00'	S73°49'03"W
L180	125.00'	N26°48'03"W
L181	7.07'	N73°49'03"E
L182	7.07'	S73°49'03"W
L183	125.00'	N39°55'53"W
L184	85.03'	N74°55'26"W
L185	35.60'	N15°04'34"E
L186	0.88'	N15°04'34"E
L187	100.03'	S74°55'26"E
L188	50.00'	N15°04'34"E
L189	100.04'	S54°59'45"E
L190	34.60'	S24°47'26"W
L191	100.03'	S34°37'26"E
L192	34.48'	S45°11'25"W
L193	112.16'	S14°15'07"E
L194	34.47'	S85°49'46"W
L195	112.10'	S6°07'11"W
L196	30.20'	S85°49'46"W
L197	2.50'	N18°06'34"E
L198	127.74'	N39°42'20"E
L199	22.75'	S49°16'35"E
L200	21.83'	S44°28'41"E
L201	127.61'	N45°31'19"E
L202	53.54'	N49°16'35"W
L203	55.00'	S44°28'41"E
L204	122.99'	N15°11'42"E
L205	55.19'	N49°16'35"W
L206	55.00'	S44°28'41"E
L207	117.94'	N45°31'19"E
L208	3.69'	N55°56'41"W
L209	51.57'	N49°16'35"W
L210	7.27'	S44°28'41"E
L211	107.27'	N42°03'37"E

LINE	LENGTH	BEARING
L212	61.77'	N55°56'41"W
L213	100.65'	S34°03'19"W
L214	67.54'	N55°56'41"W
L215	83.82'	S34°03'19"W
L216	55.00'	N55°56'41"W
L217	35.00'	N55°56'41"W
L218	83.82'	S34°03'19"W
L219	46.00'	N55°56'41"W
L220	46.00'	S55°56'41"E
L221	98.82'	S34°03'19"W
L222	46.00'	N55°56'41"W
L223	46.00'	S55°56'41"E
L224	98.82'	S34°03'19"W
L225	46.00'	N55°56'41"W
L226	46.00'	S55°56'41"E
L227	98.82'	S34°03'19"W
L228	44.04'	N55°56'41"W
L229	46.31'	S49°16'35"E
L230	98.82'	S34°03'19"W
L231	46.31'	S49°16'35"E
L232	104.21'	S34°03'19"W
L233	67.67'	S49°16'35"E
L234	112.29'	S34°03'19"W
L235	36.98'	N85°49'46"E
L236	129.53'	S22°04'06"W
L237	37.20'	N74°55'26"W
L238	123.19'	S16°20'20"W
L239	57.50'	S74°55'26"E
L240	96.53'	S74°55'26"E
L241	50.00'	S19°23'19"W
L242	3.00'	S86°08'09"W
L243	3.00'	S35°51'51"E
L244	212.84'	S4°43'06"E
L245	60.00'	S89°45'26"E
L246	41.00'	N74°55'26"W
L247	133.39'	N15°04'34"E
L248	25.70'	S74°55'26"E
L249	34.25'	N74°55'26"W
L250	132.84'	N18°54'43"E
L251	38.86'	N68°35'58"W
L252	128.17'	N26°52'12"E
L253	7.04'	S55°56'41"E
L254	43.72'	N61°40'15"W
L255	121.60'	N34°03'19"E
L256	43.50'	S55°56'41"E
L257	43.72'	N61°40'15"W
L258	117.24'	N34°03'19"E
L259	43.50'	S55°56'41"E
L260	43.72'	N61°40'15"W
L261	112.88'	N34°03'19"E
L262	43.50'	S55°56'41"E
L263	43.72'	N61°40'15"W
L264	108.51'	N34°03'19"E
L265	43.50'	S55°56'41"E
L266	55.17'	N61°40'15"W
L267	104.15'	N34°03'19"E
L268	36.00'	S55°56'41"E
L269	5.82'	S34°03'19"W
L270	80.00'	N59°55'30"W
L271	80.70'	S70°36'41"E
L272	80.00'	S56°57'03"E
L273	22.50'	N34°03'19"E
L274	80.00'	S55°56'41"E
L275	22.50'	S34°03'19"W
L276	34.23'	N70°36'41"W
L277	90.02'	S26°03'19"W
L278	34.00'	S64°37'53"E
L279	86.45'	S26°03'19"W
L280	35.70'	N70°36'41"W
L281	35.46'	S64°37'53"E

LINE	LENGTH	BEARING
L282	82.73'	S26°03'19"W
L283	37.25'	N70°36'41"W
L284	37.00'	S64°37'53"E
L285	91.84'	S55°56'41"E
L286	34.00'	N34°03'19"E
L287	75.00'	S55°56'41"E
L288	34.00'	S34°03'19"W
L289	47.22'	N34°03'19"E
L290	75.00'	S55°56'41"E
L291	34.00'	S34°03'19"W
L292	24.48'	S55°56'41"E
L293	52.22'	N70°36'41"W
L294	37.50'	N70°36'41"W
L295	37.50'	S70°36'41"E
L297	34.00'	N70°36'41"W
L298	34.00'	S70°36'41"E
L299	80.00'	S19°23'19"W
L300	34.00'	N70°36'41"W
L301	34.00'	S70°36'41"E
L302	80.00'	S19°23'19"W
L303	34.00'	N70°36'41"W
L304	34.00'	S70°36'41"E
L305	80.00'	S19°23'19"W
L306	34.00'	N70°36'41"W
L307	34.00'	S70°36'41"E
L308	80.00'	S19°23'19"W
L309	34.00'	N70°36'41"W
L310	34.00'	S70°36'41"E
L311	80.00'	S19°23'19"W
L312	34.00'	N70°36'41"W
L313	34.00'	S70°36'41"E
L314	80.00'	S19°23'19"W
L315	38.39'	N70°36'41"W
L316	33.93'	S70°36'41"E
L317	80.00'	S19°23'19"W
L318	166.46'	N4°43'06"W
L319	202.93'	N28°32'50"E
L320	8.88'	S85°16'54"W
L321	153.29'	S70°36'41"E
L322	218.41'	S90°7'55"W
L323	27.63'	S86°08'09"W
L324		