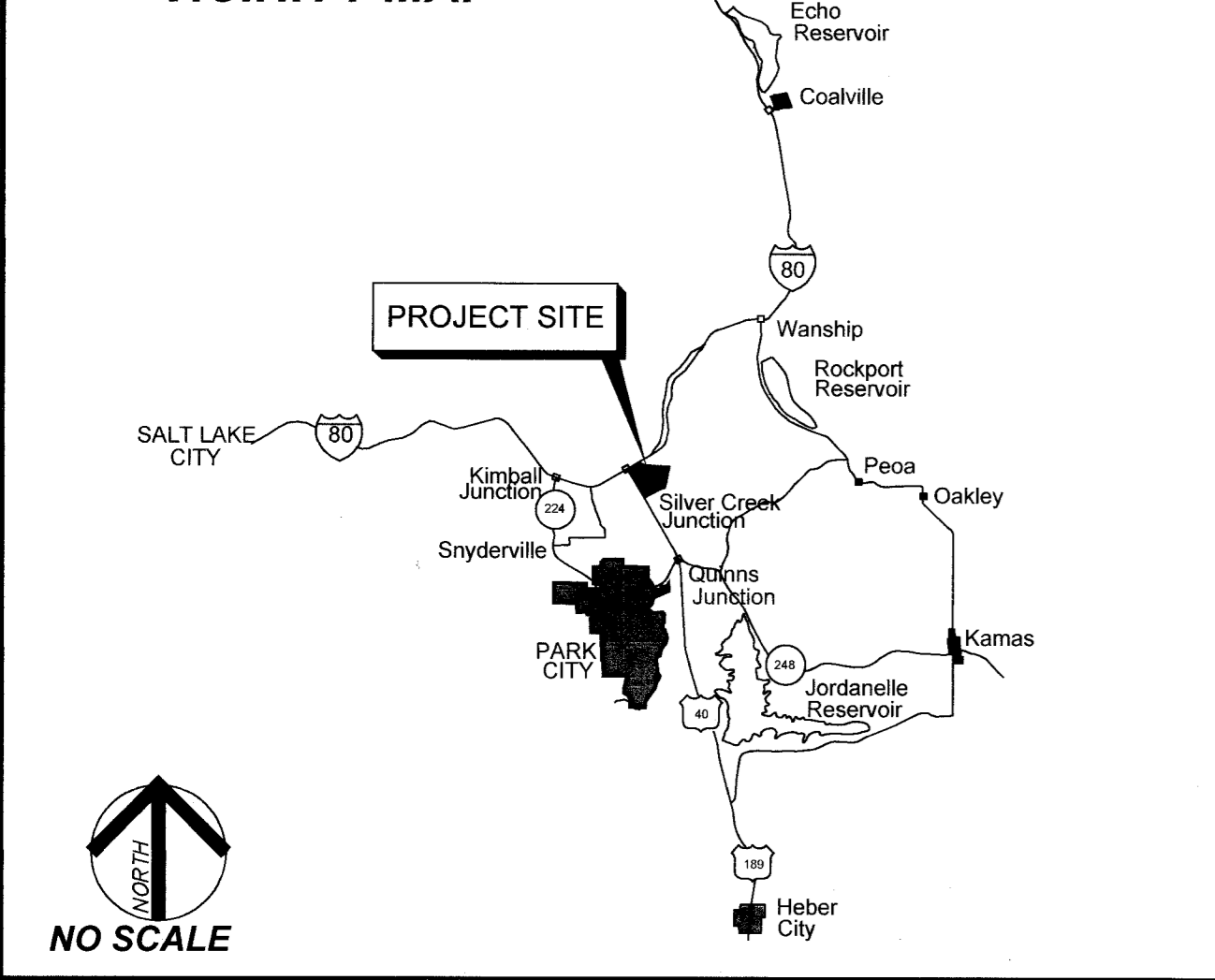


VICINITY MAP



# SILVER CREEK VILLAGE CENTER

## LOT 2 SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 1 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN SUMMIT COUNTY, UTAH

- PLAT NOTES:
- Lot 2 of the Silver Creek Village Center Subdivision corresponds to Parcel 16.2, 16.4, 17.1, 22.1, 22.2, 23.1, 23.2, 23.3, 23.4, 24.1, 24.2, 24.3, 25.1, 25.2, 25.3, 26.1, 26.2 and 26.3 of the Master Development Agreement, Recorded August 6, 2015 in the office of the Summit County Recorder as Entry number 1025271.
  - See Silver Creek Village Center Subdivision, Entry number 1066785, recorded April 04, 2017 in the office of the Summit County Recorder.
  - See A.L.T.A. survey of record, S-8979, recorded Feb. 22, 2017 in the office of the Summit County Recorder.
  - The tracts of land that are described in, subdivided by, and platted pursuant to this SILVER CREEK VILLAGE CENTER LOT 2 SUBDIVISION ("Plat") are referred to herein as the "Platted Lands." The Platted Lands are situated within a portion of the area constituting and referred to as the Silver Creek Village generally depicted and described in the Development Agreement. As used in these Plat notes, the term "Parcel" shall mean any tract of land shown as part of the Platted Lands. The Platted Lands are subject to the provisions of the Development Agreement and the requirements, restrictions, and limitations imposed thereby.
  - This Plat is subject to, among other things, the provisions of: (a) the Development Agreement; and (b) the Master Declaration of Covenants, Conditions, Restrictions and Easements for Silver Creek Village ("Master CC&Rs") recorded April 20, 2017, as Entry No. 01067652, in Book 2405, beginning at Page 1721, in the official records of the Summit County, Utah Recorder. The Master CC&Rs references the rights of the Silver Creek Village Owners Master Association ("Master Association") and further describes that each subdivision, or grouping of subdivisions, will have its own sub or district association, which will be a separate association from the Master Association. References in these Plat notes to a "Sub-association" shall mean a sub-association established in conformity with the Master CC&Rs and a separate set of governing documents for such Sub-association.
  - These Plat notes run with the land and shall be binding upon and inure to the benefit of the successors and assigns of the owners with respect to each Parcel of the Platted Lands.
  - Pursuant to Utah Code Ann. § 17-27a-603(4)(c)(ii), Rocky Mountain Power accepts delivery of the PUE and approves this Plat solely for the purpose of confirming that this Plat contains the PUE and approximates the location of the PUE, but does not warrant its precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under:
    - a recorded easement or right-of-way,
    - the law applicable to prescriptive rights,
    - Title 54, Chapter 8a, Damage to Underground Utility Facilities, or
    - any other provision of law.
  - Dominion Energy approves this plat solely for the purpose of confirming that the plat contains public utility easements. Dominion Energy may require other easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set in the owners' dedication and the notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Dominion Energy's Right-of-Way Department at 1-800-366-8532.
  - Roofing Material: Roofing materials must be non-combustible. No wood shake roofing material will be permitted.
  - Fire Apparatus Access Roads
- An all-weather fire apparatus access road is required to be installed and made serviceable prior to the issuance of a building permit and/or combustible construction being initiated. The all-weather fire apparatus access road is to be maintained at all times during construction. In the event that the all-weather fire apparatus access road is not maintained, the PCFSD reserves the right to stop work until required roads are placed back in service. Fire apparatus access roads must be in accordance with Appendix D and all other applicable requirements of the International Fire Code. Each parcel/subdivision that is developed must be provided with the appropriate fire apparatus access roads, turn-arounds and in certain conditions, two means of ingress/egress into the area.
- Water Supplies for Fire Protection
- Water supplies required for fire protection are to be installed and made serviceable prior to the issuance of a building permit and/or combustible construction being initiated. In the event that the fire protection water supply is not maintained, the Fire District reserves the right to stop work until the required water supply for fire protection is placed back in service. Water supplies for fire protection must be clearly identified in a manner to prevent obstruction by parking and/or other obstructions. Each water supply for fire protection must be marked with an approved flag to identify its location during winter conditions.
  - Fireplaces: all fireplaces shall be non wood burning.
  - Fire-Flow Requirements for Buildings

The minimum fire-flow and flow duration requirements must be as specified in Appendix B, Tables B105.1(1) and B105.1(2) of the International Fire Code. One- and Two-Family Dwellings, Group R-3 and R-4 Buildings and Townhouses: The required fire-flow shall be not less than 1,500 gallons per minute. Buildings Other Than One- and Two-Family Dwellings, Group R-3 and R-4 Buildings and Townhouses: The required fire-flow shall be not less than 2,000 gallons per minute.

  - All lot owners served by Mountain Regional Water Special Service District (the District) within this plat agree to abide by all of the Rules, Regulations, and other Construction related Standards and Specifications of the District, including payment of all necessary fees prior to the issuance of a building permit. Lot owners also recognize that the District's service area spans a large mountainous area with extreme vertical relief resulting in numerous pressure regulation facilities. As such, the owners recognize that fluctuations (albeit infrequent) in water pressure may pose a risk to properties served by said system. Owners agree to install and be responsible for the proper operation of any necessary pressure regulation and backflow devices to protect any plumbing facilities and fire sprinkling systems. Further, the District shall have the right to install, repair, maintain, replace, enlarge, extend, and operate their equipment above and below ground and all other related facilities within any easements identified on this plat as may be necessary or desirable in providing water services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures and trees, that may have been placed within the easements. The District may require the lot owner to remove all structures and vegetation within the easement at the lot owner's expense, or the District may remove such structures and vegetation at the lot owner's expense. At no time may any permanent structures, including trees and retaining walls, be placed within the easements or any other obstruction which interferes with the access and use of the easements without the prior written approval of the District. The District is further granted rights of access to any and all non-exclusive easements, including emergency or non-emergency access roads contained within this plat to enlarge and/or extend its services to any adjoining properties and plots.
  - Pursuant to Utah code ann. § 54-3-27, this plat conveys to the owner(s) or operators of utility facilities an 8' to 10' wide non-exclusive underground utility easement ("P.U.E."), along with all the rights and duties described therein.
  - A maximum 20% of an entire building lot or residential development parcel may include turf (DA §5.3.4.2).
  - All dwelling units will be built subject to the National Green Building Standard, Bronze, and the then effective version in effect at the time of the building permit with certification by a qualified third party consultant that will be submitted to the Summit County Building Department to ensure compliance prior to issuance of a certificate of occupancy.
  - A Sub-association shall maintain the private "alleys" depicted on the plat and Common Area #1 and #2. The areas designated as Parcel A, C, D, E, F and G on this Plat shall be maintained by the Master Association, unless the Master Association designates the Sub-association as the responsible party.
  - All sidewalks and trails shown on Exhibit F3 in the Master Development Agreement, recorded August 6, 2015 in the office of the Summit County Recorder as entry number 1025271 (page 67 of 252) must be constructed as shown in the approved Site and Landscape plans.
  - No on street parking is allowed in winter months (as defined by Summit County) with the exception of those areas along Old Forest Drive and as shown on Exhibits G2 and G4 within the Master Development Agreement, Recorded August 6, 2015 in the office of the Summit County Recorder as Entry number 1025271 (pages 78 and 80 of 252)
  - Note that the County is not liable for damage to landscaping located within or adjacent to the County right-of-way; replacement is the sole responsibility of Developer(s) or Owners Association (DA §2.12.2);
  - The properties shown hereon lie within Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to FEMA (Federal Emergency Management Agency) F.I.R.M. (Flood Insurance Rate Map) Map #49043C0926C, Effective Date: March 16, 2006.
  - At the time of any resurfacing of Golden Eye Loop or Lavender Loop (private "alleys"), the Sub-association shall be responsible to adjust wastewater manholes to grade according to Snyderville Basin Water Reclamation District (SBWRD) standards. Prior notification of the adjustments and inspection by SBWRD is required.
  - Lots with basements may require a privately owned and operated wastewater ejector pump for wastewater service.

LEGAL DESCRIPTION:

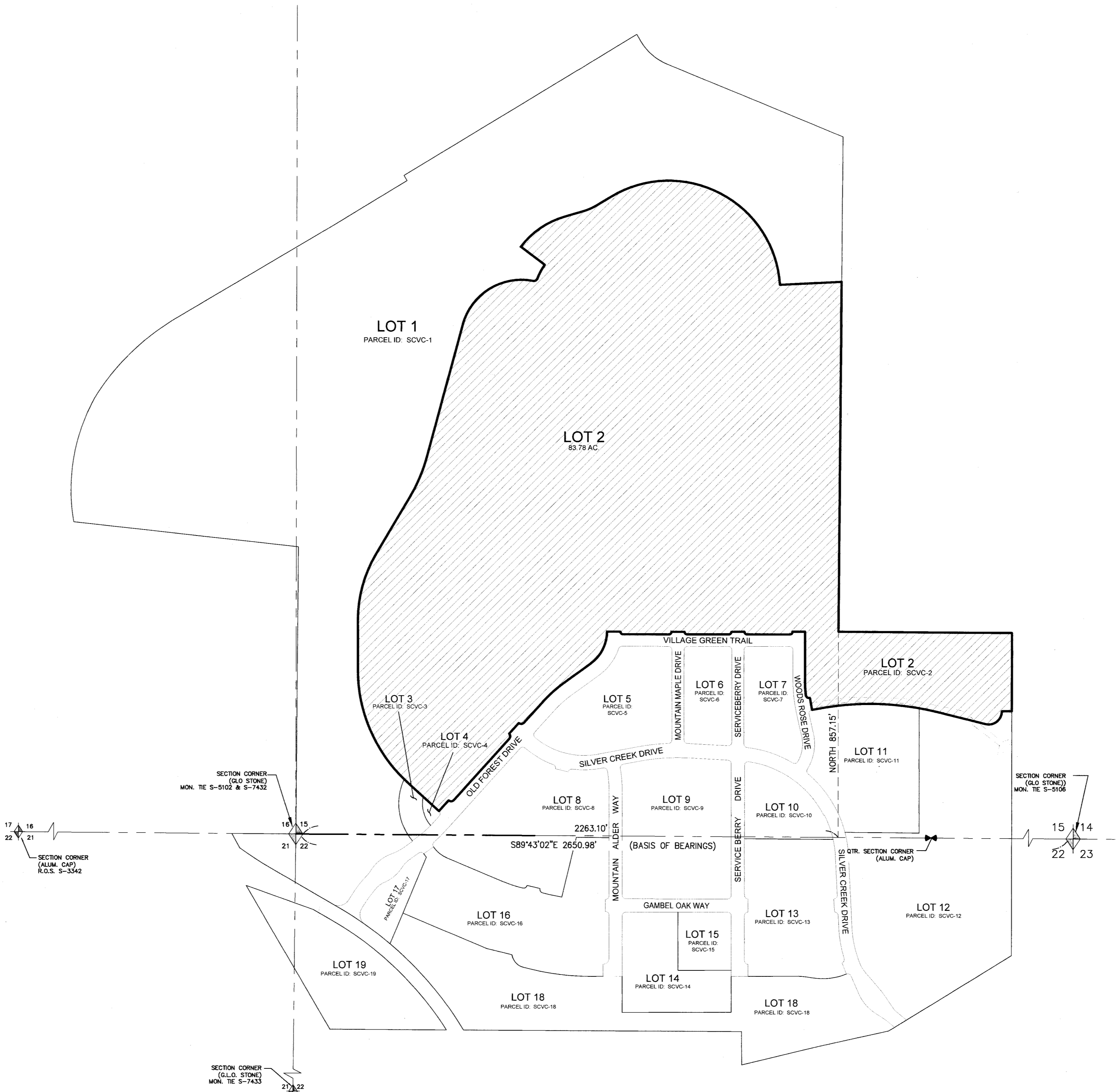
All of Lot 2 of the Silver Creek Village Center Subdivision, Entry number 1066785, recorded April 04, 2017 in the office of the Summit County Recorder.

SURVEYOR'S CERTIFICATE:

I, MICHAEL W. PURDY, do hereby certify that I am a Professional Land Surveyor, and that I hold license number 334571 as prescribed under the laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described hereon, and have subdivided said tract of land into lots and streets, together with easements, hereafter to be known as: SILVER CREEK VILLAGE CENTER LOT 2 SUBDIVISION.



MICHAEL W. PURDY, PLS 334571



**OWNER'S DEDICATION AND CONSENT TO RECORD**

Know all by these presents that Liberty Capital Lending, LLC, the undersigned owner of the described tracts of land, having caused the same to be subdivided into lots and streets to hereafter be known as:

Silver Creek Village Center Lot 2 Subdivision

does hereby dedicate for perpetual use of the public, subject to all interests of record, non-exclusive easements as shown hereon for the use of Summit County, a political subdivision of the State of Utah, and other approved utility providers for the purpose of providing access for utility installation, maintenance, use and replacement.

In witness whereof, this 1 day of October, 2018.

LIBERTY CAPITAL LENDING, LLC.

By: Matthew Lowe

Name and Title: Matthew Lowe, Manager

**ACKNOWLEDGMENT**

State of Utah

County of Summit

The foregoing Plat was acknowledged before me this 1<sup>st</sup> day of October, 2018

by Matthew Lowe the Manager of LIBERTY CAPITAL LENDING, LLC, a Utah company, on behalf of the Company.

Notary Public: Kyril L. Cropper

My Commission Expires: 7-15-19

**LIEN HOLDER'S CONSENT TO RECORD**

State of \_\_\_\_\_

County of \_\_\_\_\_

The undersigned lien holder hereby consents to the recordation of this plat.

COMPANY: \_\_\_\_\_ BY: \_\_\_\_\_

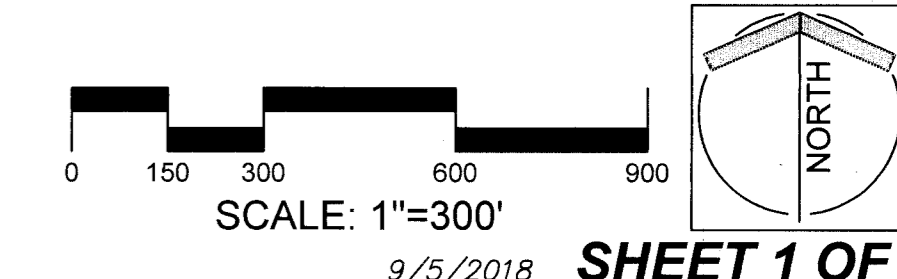
NAME and TITLE: \_\_\_\_\_

The foregoing consent to record was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

By: \_\_\_\_\_

Notary Public: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



<p>DOMINION ENERGY</p> <p>ACCEPTED THIS <u>2</u> DAY OF <u>Oct</u>, 2018 BY THE DOMINION ENERGY WHICH HAS COMMITTED TO PROVIDING SERVICE TO THE LOTS INCLUDED ON THIS PLAT.</p> <p><u>WJA</u></p> <p>AUTHORIZED AGENT OF DOMINION ENERGY</p>	<p>ROCKY MOUNTAIN POWER</p> <p>SATISFACTORY ARRANGEMENTS HAVE BEEN MADE FOR THE PROVISION OF ELECTRICAL SERVICE TO THE AREAS SHOWN ON THIS PLAT.</p> <p><u>Kevin Tuma</u></p> <p>AUTHORIZED AGENT OF ROCKY MOUNTAIN POWER</p>	<p>MOUNTAIN REGIONAL WATER DISTRICT</p> <p>ACCEPTED THIS <u>2nd</u> DAY OF <u>October</u>, 2018 BY THE MOUNTAIN REGIONAL WATER SPECIAL SERVICE DISTRICT WHICH HAS COMMITTED TO PROVIDING WATER SERVICE TO THE LOTS INCLUDED ON THIS PLAT.</p> <p><u>Garrett</u></p> <p>AUTHORIZED AGENT</p>	<p>SNYDERVILLE BASIN WATER RECLAMATION DISTRICT</p> <p>REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS <u>2<sup>ND</sup></u> DAY OF <u>October</u>, 2018.</p> <p>BY: <u>B. J. White</u></p>			
<p>S.B.S.R.D.</p> <p>THIS PLAT HAS BEEN REVIEWED BY OUR OFFICE AND IS HEREBY APPROVED AND ACCEPTED.</p> <p><u>10/2/18</u></p> <p><u>Bank</u></p> <p>SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT AUTHORIZED REPRESENTATIVE</p>	<p>COUNTY ASSESSOR</p> <p>REVIEWED AND ACCEPTED BY THE OFFICE OF THE SUMMIT COUNTY ASSESSOR THIS <u>24</u> DAY OF <u>October</u>, 2018.</p> <p><u>[Signature]</u></p> <p>SUMMIT COUNTY ASSESSOR</p>	<p>PARK CITY FIRE SERVICE DISTRICT</p> <p>THIS PLAT HAS BEEN REVIEWED AND APPROVED BY THE PARK CITY FIRE SERVICE DISTRICT.</p> <p><u>Oct 2, 2018</u></p> <p><u>[Signature]</u></p> <p>PARK CITY FIRE MARSHAL</p>	<p>COUNTY ENGINEER</p> <p>I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT REVIEWED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH AVAILABLE INFORMATION ON FILE IN THIS OFFICE.</p> <p><u>10-10-18</u></p> <p><u>[Signature]</u></p> <p>SUMMIT COUNTY ENGINEER</p>	<p>GOVERNING BODY APPROVAL AND ACCEPTANCE</p> <p>APPROVED THIS <u>25</u> DAY OF <u>Oct</u>, 2018 ON BEHALF OF THE SUMMIT COUNTY COUNCIL PER SUMMIT COUNTY DEVELOPMENT CODE, SECTION 10-3-14.</p> <p><u>[Signature]</u></p> <p>SUMMIT COUNTY MANAGER</p>	<p>APPROVAL AS TO FORM</p> <p>APPROVED AS TO FORM ON THIS <u>2nd</u> DAY OF <u>November</u>, 2018.</p> <p><u>[Signature]</u></p> <p>SUMMIT COUNTY ATTORNEY</p>	<p>RECORDED</p> <p>ENTRY NO <u>1102101</u></p> <p>STATE OF <u>UTAH</u> COUNTY OF <u>SUMMIT</u></p> <p>DATE <u>11/20/2018</u> TIME <u>10:44 a.m.</u></p> <p>RECORDED AND FILED AT THE REQUEST OF:</p> <p><u>Liberty Capital Lending LLC</u></p> <p><u>Jennifer G. Chappell</u></p> <p>COUNTY RECORDER</p>

# SILVER CREEK VILLAGE CENTER LOT 2 SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15  
TOWNSHIP 1 SOUTH, RANGE 4 EAST,  
SALT LAKE BASE AND MERIDIAN  
SUMMIT COUNTY, UTAH

### LEGAL DESCRIPTION SILVER CREEK VILLAGE CENTER LOT 2:

All of Lot 2 of the Silver Creek Village Center Subdivision, recorded April 04, 2017 in the office of the Summit County Recorder as Entry number 1066785, Lot 5 being located in the Southwest quarter of Section 15, Township 1 South, Range 4 East, Salt Lake Base & Meridian.

Contains 83.78 acres, 3,649,510 square feet.  
Contains 83 units.

LOT #	ADDRESS	STREET NAME
2	1254	Coneflower Way
3	1260	Coneflower Way
4	1266	Coneflower Way
5	1272	Coneflower Way
6	1278	Coneflower Way
7	1284	Coneflower Way
8	1290	Coneflower Way
9	1296	Coneflower Way
10	1285	Coneflower Way
11	1263	Coneflower Way
12	1257	Coneflower Way
13	1253	Coneflower Way
14	1277	Goldeneye Loop
15	1283	Goldeneye Loop
16	1289	Goldeneye Loop
17	1295	Goldeneye Loop
18	1301	Goldeneye Loop
19	1307	Goldeneye Loop
20	1313	Goldeneye Loop
21	1319	Goldeneye Loop
22	1325	Goldeneye Loop
23	1298	Red Twig Drive
24	6806	Mountain Maple Drive
25	6792	Mountain Maple Drive
26	6795	Serviceberry Drive
27	6805	Serviceberry Drive
28	6815	Serviceberry Drive
29	6823	Serviceberry Drive
30	6831	Serviceberry Drive
30	1316	Red Twig Drive
31	1346	Red Twig Drive
31	6832	Serviceberry Drive
32	6824	Serviceberry Drive
33	6816	Serviceberry Drive
34	6808	Serviceberry Drive
35	6800	Serviceberry Drive
36	6792	Serviceberry Drive
37	6799	Woods Rose Drive
38	6811	Woods Rose Drive
39	6821	Woods Rose Drive
40	6831	Woods Rose Drive
41	6841	Woods Rose Drive
42	6855	Woods Rose Drive

LOT #	ADDRESS	STREET NAME
44	6853	Lavender Loop
45	6859	Lavender Loop
46	6865	Lavender Loop
47	6871	Lavender Loop
48	6877	Lavender Loop
49	6883	Lavender Loop
50	6889	Lavender Loop
51	6895	Lavender Loop
52	6901	Lavender Loop
53	6907	Lavender Loop
54	6913	Lavender Loop
55	6900	Lavender Loop
56	6872	Lavender Loop
57	6868	Lavender Loop
58	6854	Lavender Loop
59	6936	Woods Rose Drive
59	1351	Snowberry Circle
60	1361	Snowberry Circle
61	1371	Snowberry Circle
62	1377	Snowberry Circle
63	1383	Snowberry Circle
64	1384	Snowberry Circle
65	1378	Snowberry Circle
66	1372	Snowberry Circle
67	1362	Snowberry Circle
68	1352	Snowberry Circle
68	6902	Woods Rose Drive
69	6862	Woods Rose Drive
69	1387	Sumac Circle
70	1391	Sumac Circle
71	1397	Sumac Circle
72	1403	Sumac Circle
73	1402	Sumac Circle
74	1394	Sumac Circle
75	1388	Sumac Circle
75	6826	Woods Rose Drive
76	6810	Woods Rose Drive
77	6800	Woods Rose Drive
78	6792	Woods Rose Drive
79	6782	Woods Rose Drive
80	1473	Dogwood Court
81	1286	Goldeneye Loop
82	6780	Mountain Maple Drive
82	6783	Serviceberry Drive
83	6782	Serviceberry Drive
83	6785	Woods Rose Drive

CURVE TABLE						LINE TABLE		
CURVE	RADIUS	LENGTH	DELTA	CHD BEARING	CHD LENGTH	LINE	LENGTH	BEARING
C1	255.00'	381.71'	85°45'56"	N57°57'32"E	347.06'	L1	60.00'	N42°09'48"E
C2	670.50'	181.14'	15°28'45"	N22°48'56"E	180.59'	L2	60.00'	S42°09'48"W
C3	529.50'	283.17'	30°38'28"	N15°14'05"E	279.81'	L3	122.43'	S42°09'48"W
C4	630.00'	507.60'	46°09'51"	N23°10'05"W	493.98'	L4	143.21'	S53°55'36"W
C5	15.00'	23.56'	90°00'00"	N87°09'48"E	21.21'	L5	56.00'	N89°42'56"W
C6	15.00'	23.56'	90°00'00"	N2°50'12"W	21.21'	L6	191.03'	S89°54'51"W
C7	15.00'	23.56'	90°00'00"	N87°09'48"E	21.21'	L7	54.00'	S89°59'36"W
C8	530.00'	108.81'	11°45'48"	S48°02'42"W	108.62'	L8	174.00'	S89°54'51"W
C9	165.00'	154.48'	53°38'32"	S27°06'20"W	148.90'	L9	54.00'	S89°59'36"W
C10	11.00'	17.35'	90°22'14"	N44°54'03"W	15.61'	L10	179.00'	S89°54'51"W
C11	11.00'	17.32'	90°12'40"	S44°48'30"W	15.59'	L11	52.00'	S89°49'09"W
C12	11.00'	17.24'	89°49'18"	N45°10'30"W	15.53'	L12	204.68'	N0°05'09"W
C13	11.00'	17.30'	90°07'53"	S44°50'54"W	15.57'	L13	50.00'	N9°49'36"W
C14	11.00'	17.26'	89°52'55"	N45°08'42"W	15.54'	L14	42.31'	S79°59'55"W
C15	11.00'	17.30'	90°05'42"	S44°52'00"W	15.57'	L15	41.55'	N90°00'00"W
C16	575.00'	58.40'	5°49'10"	N2°59'44"W	58.38'	L16	69.63'	N58°50'39"E
C17	15.00'	24.63'	94°05'46"	N52°57'12"W	21.96'	L17	78.34'	N73°49'03"E
C18	1175.00'	407.87'	19°53'20"	S89°56'35"W	405.83'	L18	125.00'	N53°03'42"W
C19	55.00'	99.67'	103°49'52"	N51°54'56"E	86.58'	L19	90.00'	S47°50'12"E
C20	465.00'	951.94'	117°17'42"	N62°30'30"W	794.20'	L20	151.51'	S42°09'48"W
C21	250.00'	65.33'	14°58'24"	N66°19'51"E	65.15'	L21	10.76'	S85°16'31"W
C22	350.00'	225.28'	36°52'44"	N55°22'40"E	221.41'	L22	123.52'	N76°10'08"W
C23	225.00'	65.73'	16°44'21"	N28°34'08"E	65.50'	L23	42.16'	S79°59'55"W
C24	15.00'	21.11'	80°38'33"	N60°31'14"E	19.41'	L289	11.49'	N5°57'14"W
C25	15.00'	23.56'	90°00'00"	S2°50'12"E	21.21'			
C26	505.00'	369.49'	41°55'16"	N21°12'10"E	361.30'			
C27	15.00'	22.29'	85°07'55"	S42°49'03"W	20.29'			
C28	165.00'	115.00'	39°55'59"	N74°46'05"W	112.69'			
C29	165.00'	158.61'	55°04'39"	N27°15'45"W	152.58'			
C32	1225.00'	433.51'	20°16'34"	N86°18'24"W	431.25'			
C36	1225.00'	76.04'	3°33'24"	S81°46'37"W	76.03'			
C309	59.00'	159.45'	154°50'54"	N83°22'41"W	115.17'			
C310	16.00'	23.63'	84°38'01"	S61°30'52"W	21.54'			
C344	630.00'	17.44'	1°35'11"	N47°02'36"W	17.44'			
C345	1175.00'	80.88'	3°56'37"	S78°08'26"E	80.86'			

SEE SHEET 3

ENTRY NO. 01102101

11/26/2018 10:44:01 AM B: 2487 P: 1754  
FILE PRICE 1/1  
SUMMIT COUNTY UTILITY RECORDS  
FILE 218.00 BY LIBERTY CAPITAL LENDING LLC

### DEVELOPMENT STANDARDS

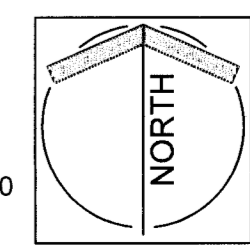
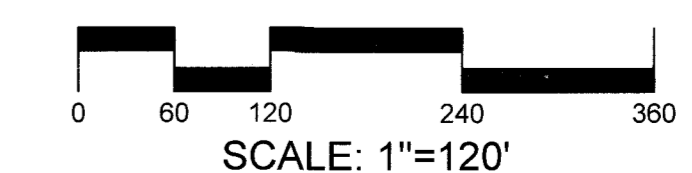
See Master Development Agreement, Entry 1025271, recorded 08-20-2015 in the office of the Summit County Recorder.

Lot 80 (Parcel 22.1)	Lot Use - Townhomes
Maximum Lot Size	4,000 SF
Minimum Front Setback	20 feet to front façade
Maximum Front Setback	30 feet to front façade
Minimum Side Setback	10 feet to side lot line
Minimum Rear Setback	20' to any structure
Minimum Setback from Parking	12 feet to Main Structure
	6 Feet to Stairs
Maximum Height	32 feet
Surface Parking Setback	20' From any Lot Line
Minimum Distance Between Buildings	12 feet
Not Sharing a Common Wall	
Parking Required	2 off street spaces per unit

### LEGEND

- PUBLIC TRAIL EASEMENT
- ACCESS EASEMENT
- NON-EXCLUSIVE EASEMENT

**CORNERPOINT**  
PROFESSIONAL LAND SURVEYS INC.  
2075 So. Sir Monte Drive, St. George, UT 84770  
Call (435) 619-5528  
mike.cpsurveying@gmail.com



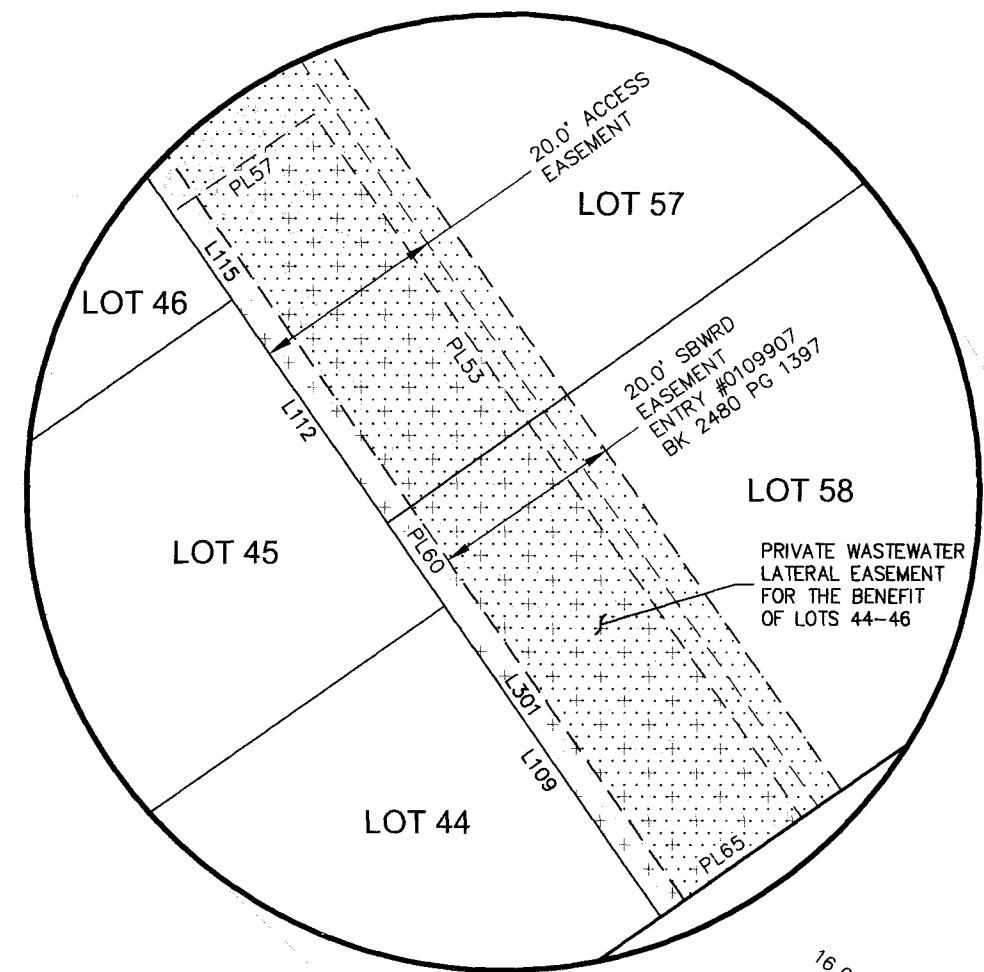
# SILVER CREEK VILLAGE CENTER LOT 2 SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15  
TOWNSHIP 1 SOUTH, RANGE 4 EAST,  
SALT LAKE BASE AND MERIDIAN  
SUMMIT COUNTY, UTAH

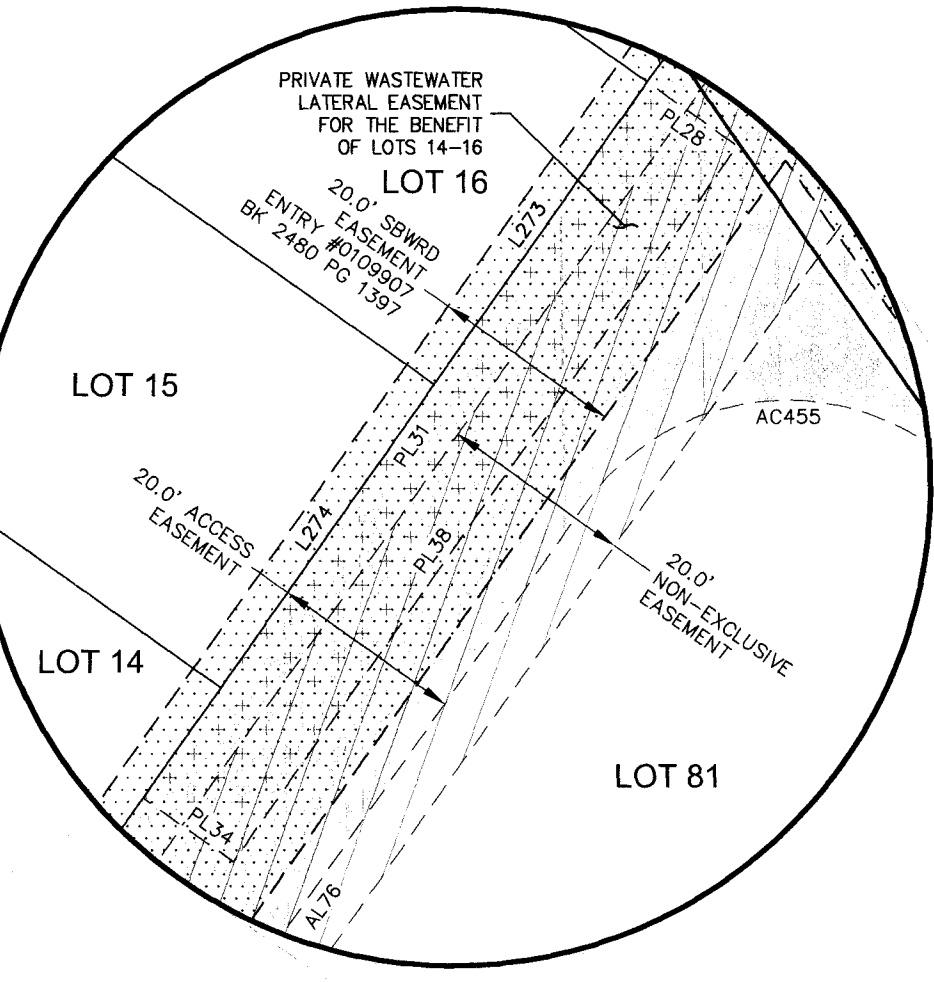
## LEGEND

- PUBLIC TRAIL EASEMENT
- ACCESS EASEMENT
- NON-EXCLUSIVE EASEMENT
- SBWRD EASEMENT
- PRIVATE WASTEWATER LATERAL EASEMENT

## DETAIL 'B' SCALE: 1"=20'



## DETAIL 'A' SCALE: 1"=20'



## DEVELOPMENT STANDARDS

See Master Development Agreement, Entry 1025271, recorded 08-20-2015 in the office of the Summit County Recorder.

Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family
Maximum lot Size	6,000 SF	Maximum lot Size	8,000 SF
Minimum Front Setback	15 feet to front façade	Minimum Front Setback	15 feet to front façade
Maximum Front Setback	12 feet to porch or balcony	Maximum Front Setback	12 feet to porch or balcony
Frontage Build Out	20 feet to front façade.	Frontage Build Out	20 feet to front façade.
* Minimum Side Setback	40%	* Minimum Side Setback	40%
Minimum Rear Setback	4 feet to home or garage	Minimum Rear Setback	5 feet to home or garage
Rear Setback from Alley	2.5 feet to detached garage	Rear Setback from Alley	3 feet to detached garage
Min. Distance between Buildings	8 feet to Home or Garage when adjacent to Mountain Maple Drive and Village Green Trail	Min. Distance between Buildings	7.5 feet to Home or Garage when adjacent to River Birch Trail
Maximum Height	15 feet to home	Maximum Height	20 feet to home
Maximum Lot Coverage	5 feet or less or 20 feet or more to rear loaded garage	Maximum Lot Coverage	3 feet to front/side loaded detached garage
Driveway Setback	3 feet from detached garage to house	Driveway Setback	5 feet or less or 20 feet or more to rear loaded garage
Alley access required	32 feet	Alley access required	32 feet
Parking Required	65%	Parking Required	65%
	15 feet from detached garage to house		15 feet from detached garage to house
	3 feet from side lot line		3 feet from side lot line
	No		No
	2 Off-Street stalls per Unit		2 Off-Street stalls per Unit

Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family
Maximum lot Size	3,000 SF	Maximum lot Size	8,000 SF
Minimum Front Setback	10 feet to front façade	Minimum Front Setback	15 feet to front façade
Maximum Front Setback	10 feet to porch or balcony	Maximum Front Setback	12 feet to porch or balcony
Frontage Build Out	** 15 feet to front façade	Frontage Build Out	20 feet to front façade.
* Minimum Side Setback	60%	* Minimum Side Setback	40%
Minimum Rear Setback	5 feet to home or garage	Minimum Rear Setback	5 feet to home or garage
Rear Setback from Alley	2.5 feet to detached garage	Rear Setback from Alley	3 feet to detached garage
Min. Distance between Buildings	7.5 feet to Home or Garage when adjacent to Mountain Maple Drive and River Birch Trail	Min. Distance between Buildings	10 feet to Home or Garage when adjacent to Woods Rose Drive
Maximum Height	15 feet to home	Maximum Height	20 feet to home
Maximum Lot Coverage	5 feet or less or 20 feet or more to rear loaded garage	Maximum Lot Coverage	3 feet to front/side loaded detached garage
Driveway Setback	37 feet	Driveway Setback	32 feet
Alley access required	12 feet from detached garage to house	Alley access required	15 feet from detached garage to house
Parking Required	2.5 feet from side lot line	Parking Required	3 feet from side lot line
	Yes		No
	2 Off-Street stalls per Unit		2 Off-Street stalls per Unit

Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family
Maximum lot Size	6,000 SF	Maximum lot Size	4,000 SF
Minimum Front Setback	15 feet to front façade	Minimum Front Setback	20 feet to front façade
Maximum Front Setback	12 feet to porch or balcony	Maximum Front Setback	30 feet to front façade.
Frontage Build Out	20 feet to front façade.	Frontage Build Out	12 feet to side lot line
* Minimum Side Setback	40%	* Minimum Side Setback	20' to any structure
Minimum Rear Setback	4 feet to home or garage	Minimum Rear Setback	12 feet to Main Structure
Rear Setback from Alley	2.5 feet to detached garage	Rear Setback from Alley	6 feet to Stairs
Min. Distance between Buildings	8 feet to Home or Garage when adjacent to River Birch Trail	Min. Distance between Buildings	32 feet
Maximum Height	20 feet to home	Maximum Height	20' From any Lot Line
Maximum Lot Coverage	2.5 feet to front/side loaded detached garage	Maximum Lot Coverage	Minimum Distance Between Buildings 12 feet
Driveway Setback	32 feet	Driveway Setback	Not Sharing a Common Wall
Alley access required	2.5 feet from side lot line	Alley access required	Parking Required
Parking Required	2 Off-Street stalls per Unit	Parking Required	As per Use

Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family
Maximum lot Size	7,000 SF	Maximum lot Size	2,500 SF
Minimum Front Setback	15 feet to front façade	Minimum Front Setback	10 feet to front façade
Maximum Front Setback	12 feet to porch or balcony	Maximum Front Setback	10 feet to porch or balcony
Frontage Build Out	20 feet to front façade.	Frontage Build Out	15 feet to front façade.
* Minimum Side Setback	40%	* Minimum Side Setback	60%
Minimum Rear Setback	5 feet to home or garage	Minimum Rear Setback	5 feet to home or garage
Rear Setback from Alley	2.5 feet to detached garage	Rear Setback from Alley	7.5 feet to Home or Garage
Min. Distance between Buildings	more to rear loaded garage	Min. Distance between Buildings	5 feet or less or 20 feet or
Maximum Height	37 feet	Maximum Height	37 feet
Maximum Lot Coverage	2.5 feet from side lot line	Maximum Lot Coverage	2.5 feet from side lot line
Driveway Setback	Yes	Driveway Setback	Yes
Alley access required	2 Off-Street stalls per Unit	Alley access required	2 Off-Street stalls per Unit
Parking Required	12 feet from detached garage to house	Parking Required	12 feet from detached garage to house

Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family	Lot Use - Single Family
Maximum lot Size	7,000 SF	Maximum lot Size	2,500 SF
Minimum Front Setback	15 feet to front façade	Minimum Front Setback	10 feet to front façade
Maximum Front Setback	12 feet to porch or balcony	Maximum Front Setback	10 feet to porch or balcony
Frontage Build Out	20 feet to front façade.	Frontage Build Out	15 feet to front façade.
* Minimum Side Setback	40%	* Minimum Side Setback	60%
Minimum Rear Setback	5 feet to home or garage	Minimum Rear Setback	4 feet to home or garage
Rear Setback from Alley	2.5 feet to detached garage	Rear Setback from Alley	8 feet to Home or Garage
Min. Distance between Buildings	more to rear loaded garage	Min. Distance between Buildings	15 feet to Home
Maximum Height	37 feet	Maximum Height	5 feet or less or 20 feet or
Maximum Lot Coverage	2.5 feet from side lot line	Maximum Lot Coverage	37 feet
Driveway Setback	Yes	Driveway Setback	2.5 feet from side lot line
Alley access required	2 Off-Street stalls per Unit	Alley access required	Yes
Parking Required	12 feet from detached garage to house	Parking Required	2 Off-Street stalls per Unit

\* Side setbacks do not apply to townhomes at the common wall but do apply to public streets Mountain Maple Drive, Serviceberry Drive and Woods Rose Drive

ENTRY NO. 01102101

11/26/2018 10:44:01 AM B: 2487 P: 1754

PLAT PAGE 1/1

SUBMIT TO: UTAH RECORDER

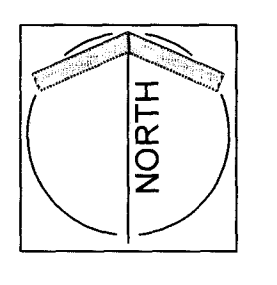
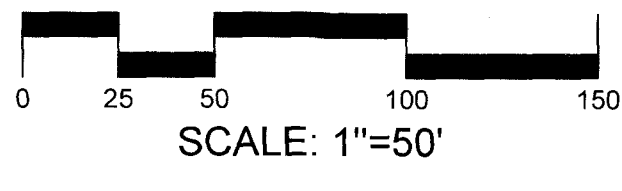
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2075 So. Sir Monte Drive, St. George, UT 84770

Call (435) 619-5528

mike.cpsurveying@gmail.com

**CORNERPOINT**  
PROFESSIONAL LAND SURVEYS INC.



SHEET 3 OF 4

9/28/2018

# SILVER CREEK VILLAGE CENTER LOT 2 SUBDIVISION

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15  
TOWNSHIP 1 SOUTH, RANGE 4 EAST,  
SALT LAKE BASE AND MERIDIAN  
SUMMIT COUNTY, UTAH

**LINE TABLE**

LINE	LENGTH	BEARING
L19	90.00'	S47°50'12"E
L20	151.51'	S42°09'48"W
L21	10.76'	S85°16'31"W
L22	123.52'	N76°10'08"W
L23	42.16'	S79°59'55"W
L24	103.62'	S52°16'08"W
L25	104.54'	S52°16'08"W
L26	16.59'	S05°05'09"E
L27	30.26'	S89°54'51"W
L29	98.00'	S05°05'09"E
L30	55.43'	S89°54'51"W
L32	108.00'	S05°05'09"E
L33	32.00'	S89°54'51"W
L35	108.00'	S05°05'09"E
L36	32.00'	S89°54'51"W
L37	36.22'	S89°54'51"W
L39	103.68'	N54°01'59"E
L41	102.58'	N47°07'01"E
L42	101.39'	N40°13'31"E
L43	39.12'	N35°12'07"E
L44	75.00'	S54°47'53"E
L46	38.48'	N35°12'07"E
L47	75.00'	S54°47'53"E
L49	38.48'	N35°12'07"E
L50	75.00'	S54°47'53"E
L52	75.00'	S54°47'53"E
L54	38.48'	N35°12'07"E
L55	38.48'	N35°12'07"E
L56	75.00'	S54°47'53"E
L58	75.00'	S54°47'53"E
L59	17.18'	S35°12'07"W
L61	38.48'	N35°12'07"E
L62	61.20'	N55°04'07"E
L63	39.74'	S34°55'53"E
L64	77.00'	S55°04'07"W
L67	36.00'	S34°55'53"E
L68	77.00'	S55°04'07"W
L70	6.00'	N35°12'07"E
L71	37.50'	S34°55'53"E
L72	100.00'	S63°46'22"W
L73	7.32'	S55°04'07"W
L74	100.00'	S68°27'00"W
L75	103.88'	S89°54'51"W
L78	100.00'	N72°24'09"E
L80	100.00'	N68°50'22"E
L81	100.00'	N65°16'35"E
L82	100.00'	N61°42'49"E
L83	6.27'	S35°12'07"W
L84	85.70'	N55°04'07"E
L85	100.00'	S61°04'50"W
L86	100.00'	S64°38'32"W
L87	100.00'	S68°12'14"W
L88	100.00'	S71°45'56"W
L89	100.00'	S75°19'38"W
L90	101.72'	S89°54'51"W
L91	175.84'	S89°54'51"W
L93	106.40'	S89°54'51"W
L94	105.00'	N77°01'05"E
L95	105.00'	N73°45'49"E
L96	105.00'	N70°30'32"E
L97	105.00'	N67°15'15"E
L98	105.00'	N63°59'58"E
L99	105.00'	N60°44'41"E
L100	89.50'	N55°04'07"E
L101	91.64'	S55°04'07"W
L102	11.14'	N34°55'53"W
L103	122.64'	N54°28'44"E
L105	125.12'	N60°32'43"E
L106	77.00'	S55°04'07"W
L107	39.28'	N34°55'53"W
L108	75.00'	N55°04'07"E
L109	39.28'	S34°55'53"E
L110	38.78'	N34°55'53"W
L111	75.00'	N55°04'07"E
L112	38.78'	S34°55'53"E

**LINE TABLE**

LINE	LENGTH	BEARING
L113	38.78'	N34°55'53"W
L114	75.00'	N55°04'07"E
L115	58.14'	S34°55'53"E
L116	40.31'	N34°55'53"W
L117	63.05'	N55°04'07"E
L119	79.00'	N54°47'53"W
L120	35.00'	N35°12'07"E
L121	79.00'	S54°47'53"E
L122	29.00'	S35°12'07"W
L123	35.00'	N35°12'07"E
L124	79.00'	S54°47'53"E
L125	35.00'	S35°12'07"W
L126	35.00'	N35°12'07"E
L127	79.00'	S54°47'53"E
L128	35.00'	S35°12'07"W
L129	79.00'	S54°47'53"E
L130	35.00'	S35°12'07"W
L132	35.00'	N35°12'07"E
L133	79.00'	S54°47'53"E
L134	35.00'	S35°12'07"W
L135	35.00'	N35°12'07"E
L137	35.00'	S35°12'07"W
L138	53.00'	S55°04'07"W
L139	32.03'	S35°12'07"W
L140	35.00'	N35°12'07"E
L141	61.18'	S54°47'53"E
L142	75.00'	S55°04'07"W
L143	132.40'	S64°02'05"W
L145	88.14'	N35°12'07"E
L146	109.13'	S55°04'07"W
L148	120.00'	S25°57'55"E
L149	46.00'	S64°02'05"W
L150	62.73'	N25°57'55"W
L151	120.00'	S25°57'55"E
L152	54.00'	S64°02'05"W
L153	115.72'	S25°57'55"E
L154	14.48'	S64°02'05"W
L155	95.71'	S25°57'55"E
L156	117.54'	S25°57'55"E
L157	31.66'	S47°04'55"W
L158	7.90'	N65°26'26"W
L159	40.72'	N78°33'03"E
L160	120.00'	S25°57'55"E
L161	54.00'	S64°02'05"W
L162	93.33'	N25°57'55"W
L163	115.89'	N89°54'51"E
L164	122.13'	S25°57'55"E
L165	54.00'	S64°02'05"W
L166	120.00'	N25°57'55"W
L167	4.28'	N64°02'05"E
L168	54.00'	S64°02'05"W
L169	148.80'	N25°57'55"W
L170	54.00'	S64°02'05"W
L171	120.00'	N25°57'55"W
L172	54.00'	N64°02'05"E
L173	59.00'	S64°02'05"W
L174	19.93'	N25°57'55"W
L175	56.16'	N64°02'05"E
L176	67.26'	N65°14'59"E
L177	129.43'	S24°45'01"E
L178	42.74'	S65°14'59"W
L179	54.00'	N65°14'59"E
L180	105.96'	S24°45'01"E
L182	139.43'	N24°45'01"W
L183	54.00'	N65°14'59"E
L184	106.34'	S24°45'01"E
L185	96.34'	S24°45'01"E
L186	15.17'	S13°41'17"W
L187	54.00'	N65°14'59"E
L188	141.80'	S24°45'01"E
L189	41.90'	S58°03'27"W
L190	133.69'	S15°57'27"E
L191	50.89'	S74°02'33"W
L192	43.48'	N65°14'59"E
L194	108.90'	S15°57'27"E

**LINE TABLE**

LINE	LENGTH	BEARING
L195	48.00'	S74°02'33"W
L196	36.23'	S64°48'04"E
L197	109.43'	S0°24'00"W
L198	46.01'	S74°02'33"W
L199	112.50'	S74°02'33"W
L200	112.50'	S77°12'06"W
L201	112.50'	S80°21'39"W
L202	112.50'	S83°31'12"W
L203	112.50'	S86°40'45"W
L205	204.68'	N0°05'09"W
L208	20.00'	S54°47'53"E
L211	62.94'	N35°12'07"E
L212	20.00'	N54°47'53"W
L214	54.00'	S64°02'05"W
L218	191.01'	N89°54'51"E
L221	174.01'	N89°54'51"E
L222	179.00'	N89°54'51"E
L225	20.46'	S25°57'55"E
L226	20.07'	S25°57'55"E
L230	102.69'	N89°54'51"E
L231	84.33'	N55°04'07"E
L232	86.09'	N55°04'07"E
L233	171.73'	S89°54'51"W
L240	79.04'	N54°47'53"W
L243	20.00'	S55°04'07"W
L245	19.12'	S25°57'55"E
L246	91.11'	S25°57'55"E
L249	7.90'	N25°57'55"W
L253	103.63'	S43°44'08"W
L259	38.78'	N34°55'53"W
L260	24.88'	N34°55'53"W
L261	53.25'	N34°55'53"W
L262	20.25'	N64°02'05"E
L264	40.50'	N35°12'07"E
L265	21.30'	S35°12'07"W
L266	38.48'	S35°12'07"W
L267	34.01'	N35°12'07"E
L268	121.57'	S34°55'53"E
L269	37.50'	S34°55'53"E
L270	36.00'	S34°55'53"E
L271	23.50'	S34°55'53"E
L272	4.47'	S35°12'07"W
L273	38.48'	S35°12'07"W
L274	38.48'	S35°12'07"W
L275	42.57'	S35°12'07"W
L276	26.08'	N89°54'51"E
L277	10.00'	N0°05'09"W
L278	32.00'	N89°54'51"E
L279	32.00'	N89°54'51"E
L280	5.42'	N89°54'51"E
L281	11.62'	S30°33'21"W
L282	75.15'	S18°04'37"W
L283	121.29'	S25°57'55"E
L285	0.74'	S65°14'59"W
L289	11.49'	N5°57'14"W
L294	58.97'	N84°05'53"W
L295	59.00'	S32°10'29"W
L296	59.00'	S70°48'09"E
L297	59.00'	N82°53'42"W
L298	59.00'	N33°23'39"E
L299	42.16'	S79°59'55"W
L300	29.26'	N86°40'45"E
L301	49.79'	N34°55'53"W
L302	61.62'	S64°02'05"W
L303	54.00'	S64°02'05"W
L304	145.58'	S25°57'55"E
L305	54.00'	S64°02'05"W
L306	54.00'	S64°02'05"W
L307	206.57'	N89°54'51"E
L308	208.12'	N89°54'51"E
L309	108.00'	N0°05'09"W
L310	69.42'	N89°54'51"E
L311	73.49'	N54°47'53"W

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHD BEARING	CHD LENGTH
C25	15.00'	23.56'	90°00'00"	S25°50'12"E	21.21'
C26	505.00'	369.49'	41°55'16"	N211°12'01"E	361.30'
C27	15.00'	22.29'	89°07'55"	S42°49'03"W	20.29'
C28	165.00'	115.00'	39°55'59"	N74°46'05"W	112.69'
C29	165.00'	158.61'	55°04'39"	N27°15'45"W	152.58'
C32	1225.00'	433.51'	20°16'34"	N86°18'24"W	431.25'
C36	1225.00'	76.04'	3°33'24"	S81°46'37"W	76.03'
C52	375.00'	49.98'	7°38'09"	N36°33'46"W	49.94'
C54	425.00'	21.27'	2°52'01"	S57°40'50"E	21.26'
C72	225.00'	33.51'	8°31'58"	N50°32'06"W	33.48'
C74	225.00'	33.51'	8°31'58"	N42°00'08"W	33.48'
C76	225.00'	36.16'	9°12'25"	N33°07'57"W	36.12'
C78	15.00'	18.63'	7°10'916"	N54°30'31"W	17.45'
C79	225.00'	37.69'	9°35'52"	N23°43'49"W	37.65'
C81	425.00'	96.32'	12°59'08"	S17°54'16"E	96.12'
C82	15.00'	26.53'	10°19'33"	S39°15'04"W	23.20'
C84	425.00'	85.82'	11°34'11"	S30°10'56"E	85.67'
C88	425.00'	51.30'	6°54'57"	S39°25'30"E	51.27'
C90	425.00'	51.12'	6°53'30"	S46°19'44"E	51.09'
C92	425.00'	48.01'	6°28'21"	S53°00'39"E	47.99'
C93	475.00'	20.03'	2°24'58"	N57°54'21"W	20.03'
C96	575.00'	62.34'	6°12'44"	S29°20'00"E	62.31'
C97	15.00'	25.40'	9°70'02"	S41°24'37"W	22.47'
C98	675.00'	60.02'	5°05'41"	S9°38'27"E	60.00'
C100	575.00'	41.68'	4°09'11"	S30°21'47"E	41.67'
C101	575.00'	35.76'	3°33'47"	S26°30'18"E	35.75'
C102	575.00'	46.94'	4°40'38"	S23°53'19"E	46.93'
C103	675.00'	63.73'	5°24'34"	S14°53'35"E	63.70'
C104	575.00'	35.76'	3°33'47"	S22°56'31"E	35.75'
C105	575.00'	35.76'	3°33'47"	S19°22'45"E	35.75'
C106	575.00'	32.75'	3°15'49"	S15°57'57"E	32.75'
C107	675.00'	41.97'	3°33'47"	S19°22'45"E	41.97'
C108	675.00'	41.97'	3°33'47"	S22°56'31"E	41.97'
C109	675.00'	41.97'	3°33'47"	S26°30'18"E	41.97'
C111	15.00'	24.47'	9°32'29"	S78°11'39"E	21.85'
C114	15.00'	22.34'	8°51'03"	N12°24'35"E	20.33'
C115	475.00'	33.34'	4°01'18"	N28°14'18"W	33.33'
C116	475.00'	38.78'	4°40'38"	N23°53'19"W	38.76'
C119	475.00'	65.29'	7°52'32"	N13°28'54"W	65.24'
C120	725.00'	36.87'	2°54'49"	N30°22'34"W	36.86'
C121	15.00'	22.75'	8°6'54'05"	N11°37'04"E	20.63'
C123	825.00'	56.73'	3°56'23"	S31°13'30"E	56.72'
C124	825.00'	61.57'	4°16'32"	S31°03'26"E	61.55'
C125	725.00'	45.07'	3°33'42"	N27°08'19"W	45.06'
C126	825.00'	46.86'	3°15'17"	S27°37'40"E	46.86'
C127	825.00'	46.86'	3°15'17"	S24°22'23"E	46.86'
C128	725.00'	45.07'	3°33'42"	N23°34'37"W	45.06'
C129	825.00'	51.28'	3°33'42"	S23°34'37"E	51.28'
C130	825.00'	46.86'	3°15'17"	S21°07'07"E	46.86'
C131	725.00'	45.07'	3°33'42"	N20°00'55	