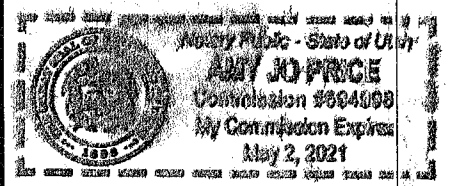


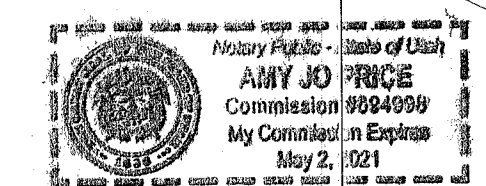
OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SURVEYED INTO LOTS AND STREETS TO BE HEREIN KNOWN AS
Frostwood Parcel F6 Townhomes
DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.
IN WITNESS WHEREOF, WE HAVE HERETO SIGNED THIS PLAT
THIS 15th DAY OF June, 2017
Charles E. Waller
By Joseph E. French Recording in file

NOTARY PUBLIC ACKNOWLEDGEMENT
THE SIGNERS OF THE ABOVE INSTRUMENT PERSONALLY APPEARED BEFORE ME THIS
15th DAY OF June, 2017
NOTARY PUBLIC
MY COMMISSION EXPIRES 5/29/21
STATE OF Utah
COUNTY OF Summit



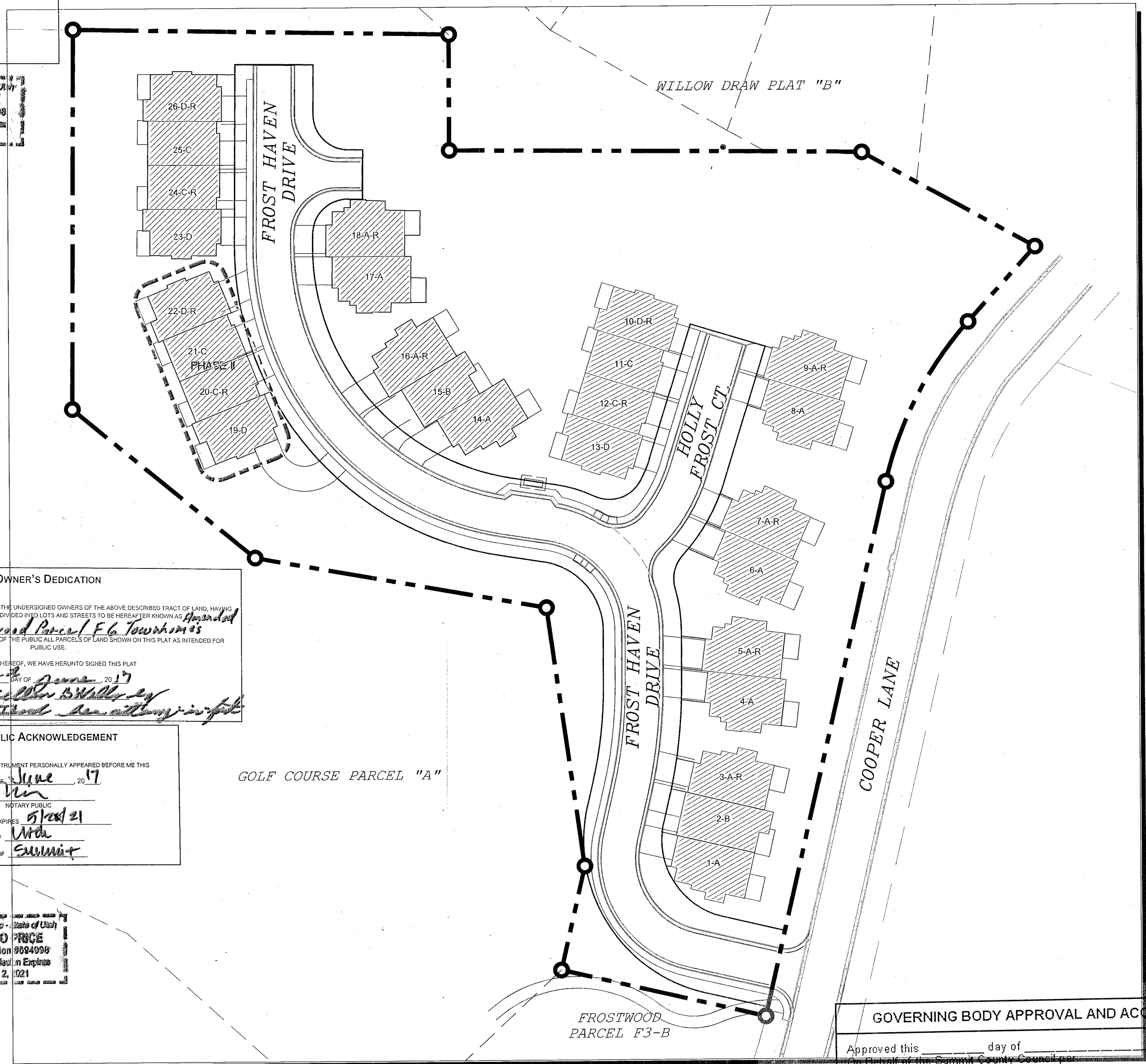
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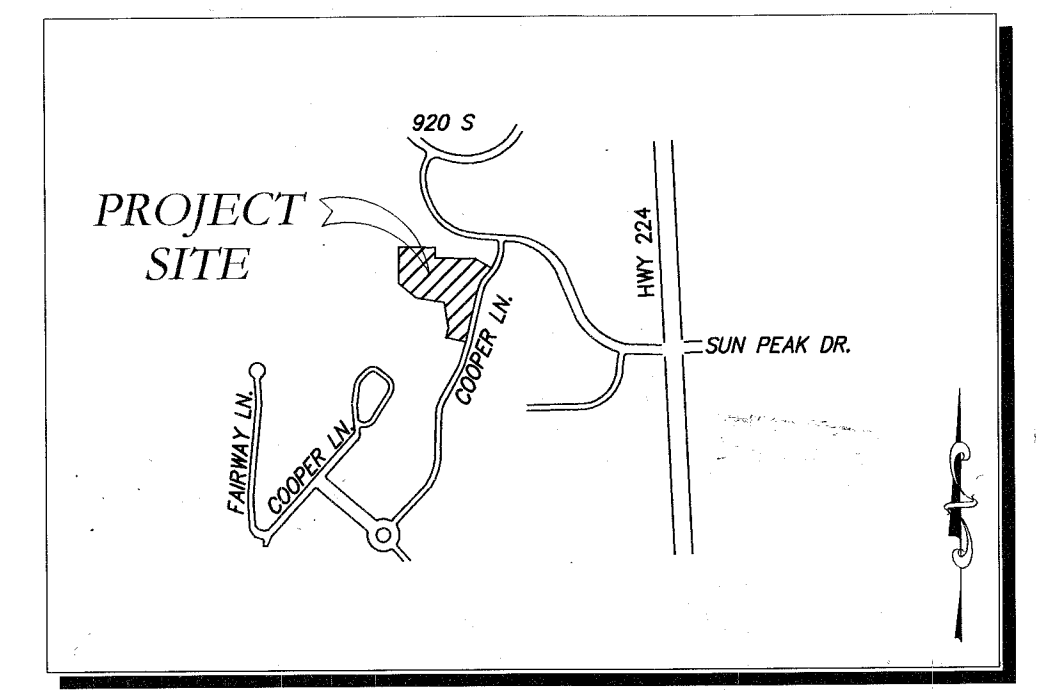


FROSTWOOD PARCEL F6 TOWNHOMES AMENDED

LOCATED IN THE NORTHWEST QUARTER OF SECTION 31 TOWNSHIP 1 SOUTH, RANGE 4 EAST,
LOCATED IN THE NORTHEAST QUARTER OF SECTION 36 TOWNSHIP 1 SOUTH, RANGE 3 EAST,
SALT LAKE BASE AND MERIDIAN
SUMMIT COUNTY, UTAH



TOWNHOMES AT FROSTWOOD F6						
Total Allowable Square Footage as per Canyons Spa Guidelines					Total Sellable Square Footage	
Lot Number	UNIT TYPE	Level 0	Level 1	Basement Level	Total S. F. for CVMA	Total Sellable Sq. Ft.
Unit 1-A	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 2-B	Unit Type B	1077	0	1,077.00	1077	1,077.00
Unit 3A-R	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 4-A	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 5A-R	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 6-A	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 7A-R	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 8-A	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 9A-R	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 10D-R	Unit Type D	1412	918	2,330.00	1412	2,330.00
Unit 11-C	Unit Type C	1267	803	2,070.00	1267	2,070.00
Unit 12-C-R	Unit Type C	1267	803	2,070.00	1267	2,070.00
Unit 13-D	Unit Type D	1412	918	2,330.00	1412	2,330.00
Unit 14-A	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 15-B	Unit Type B	1077	0	1,077.00	1077	1,077.00
Unit 16-A-R	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 17-B	Unit Type B	1103	0	1,103.00	1103	1,103.00
Unit 18-A-R	Unit Type A	1103	0	1,103.00	1103	1,103.00
Unit 19-E	Unit Type E	852	1412	2,264.00	1412	2,264.00
Unit 20-F	Unit Type E	785	1267	2,052.00	1267	2,052.00
Unit 21-F-R	Unit Type E	785	1267	2,052.00	1267	2,052.00
Unit 22-E-R	Unit Type F	852	1412	2,264.00	1412	2,264.00
Unit 23-D	Unit Type D	1412	918	2,330.00	1412	2,330.00
Unit 24-C-R	Unit Type C	1267	803	2,070.00	1267	2,070.00
Unit 25-C	Unit Type C	1267	803	2,070.00	1267	2,070.00
Unit 26-D-R	Unit Type D	1412	918	2,330.00	1412	2,330.00
					43,706.00	64,310.00



VICINITY MAP
NTS

DRAWING INDEX	
DRAWING TITLE	SHEET NO.
COVER SHEET	CV1
UTILITY PLAN	UT1
GRADING PLAN	GP1
EROSION CONTROL PLAN	EC1
BUILDING ELEVATIONS	A200
BUILDING ELEVATIONS	A201
BUILDING FLOOR PLAN	A101
BUILDING FLOOR PLAN	A102
BUILDING SECTIONS	A301
LANDSCAPE PLAN	L101
LANDSCAPE PLAN	L102

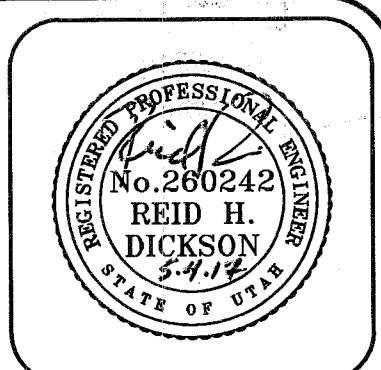
NOTE:
NO FINAL PLAT HAS BEEN INCLUDED IN THIS SITE PLAN PACKAGE. THE FINAL PLAT HAS BEEN APPROVED AND RECORDED IN A SEPARATE PROCESS. ANY REFERENCE TO THE FINAL PLAT BY ANY SIGNATORY HEREON IS SUBORDINATE TO THE RECORDED FINAL PLAT. NO EASEMENT IS OFFERED OR INTENDED TO BE OFFERED BY THIS SITE PLAN PACKAGE.

ROCKY MOUNTAIN POWER NOTE:
1. PURSUANT TO UTAH CODE ANN. SS 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. SS 17-27a-603(4)(c)(i) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
1. A RECORDED EASEMENT OR RIGHT OF WAY
2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
3. TITLE 54, CHAPTER 86, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
4. ANY OTHER PROVISION OF LAW.
3. COMMON SPACE AREAS ARE TO BE CONSIDERED UTILITY EASEMENTS.

DEVELOPMENT BY :
KENT HOGGAN

QUESTAR GAS COMPANY APPROVED THIS <u>4th</u> DAY OF <u>MAY</u>, A.D. 2017. <u>[Signature]</u> Pre-con TITLE	OWNER'S DEDICATION AND CONSENT TO RECORD BY: <u>[Signature]</u> PRINT NAME: <u>Kent Hoggan</u> TITLE: <u>Manager - Frostwood 6 LLC</u> DATE: <u>5-26-17</u>
SUMMIT WATER DISTRIBUTION COMPANY APPROVED AND ACCEPTED THIS <u>4th</u> DAY OF <u>MAY</u>, A.D. 2017. <u>[Signature]</u> AUTHORIZED AGENT	SNYDERVILLE BASIN WATER RECLAMATION DISTRICT REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS <u>10th</u> DAY OF <u>May</u>, A.D. 2017. <u>[Signature]</u> BY: S.B.W.R.D.
THE CANYONS RESORT VILLAGE ASSOCIATION, INC. APPROVED AND ACCEPTED THIS <u>11th</u> DAY OF <u>May</u>, A.D. 2017. <u>[Signature]</u> BY PARK CITY FIRE SERVICE DISTRICT, FIRE MARSHAL	APPROVAL AS TO FORM APPROVED AS TO FORM THIS <u>6th</u> DAY OF <u>June</u>, A.D. 2017. ATTEST: CITY RECORDER - <u>[Signature]</u> SUMMIT COUNTY ATTORNEY
THE CANYONS RESORT VILLAGE ASSOCIATION, INC. APPROVED AND ACCEPTED THIS <u>11th</u> DAY OF <u>May</u>, A.D. 2017. <u>[Signature]</u> BY PARK CITY FIRE SERVICE DISTRICT, FIRE MARSHAL	RECORDED # <u>1071609</u> STATE OF UTAH, COUNTY OF SUMMIT, RECORDED AND FILED AT THE REQUEST OF <u>Frostwood 6 LLC</u> DATE <u>6/15/17</u> TIME <u>12:27 p.m.</u> BOOK <u>---</u> PAGE <u>---</u> <u>\$356.00</u> FEE \$ <u>[Signature]</u> SUMMIT COUNTY RECORDER

SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT APPROVED AND ACCEPTED THIS DAY OF <u>16th</u>, A.D. 2017. <u>[Signature]</u> TRAILS PROJECT MANAGER COUNTY ASSESSOR REVIEWED AND ACCEPTED BY THE SUMMIT COUNTY ASSESSOR THIS <u>15th</u> DAY OF <u>June</u>, A.D. 2017. <u>[Signature]</u> COUNTY ASSESSOR, Chief Deputy	ROCKY MOUNTAIN POWER THE UTILITY EASEMENTS SHOWN HEREON HAVE BEEN APPROVED AND ACCEPTED THIS <u>4th</u> DAY OF <u>MAY</u>, A.D. 2017. <u>[Signature]</u> BY ROCKY MOUNTAIN POWER, A DIVISION OF PACIFIC CORP., AUTHORIZED AGENT COUNTY COMMISSION APPROVAL PRESENTED TO THE BOARD OF SUMMIT COUNTY COMMISSIONERS THIS <u>---</u> DAY OF <u>---</u>, A.D. 20 <u>---</u>, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED. SUMMIT COUNTY CHAIRMAN SUMMIT COUNTY CLERK	THE CANYONS RESORT VILLAGE ASSOCIATION, INC. BY: <u>[Signature]</u> PRINT NAME: <u>Scott Perkins</u> TITLE: <u>Manager, Planning & Transp.</u> DATE: <u>5/22/17</u> COUNTY ENGINEER I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. <u>[Signature]</u> 6-1-17 SUMMIT COUNTY ENGINEER DATE	PARK CITY FIRE SERVICE DISTRICT APPROVAL APPROVED AND ACCEPTED THIS <u>11th</u> DAY OF <u>May</u>, A.D. 2017. <u>[Signature]</u> BY PARK CITY FIRE SERVICE DISTRICT, FIRE MARSHAL COUNTY PLANNING COMMISSION APPROVED AND ACCEPTED BY SNYDERVILLE BASIN PLANNING COMMISSION THIS <u>7th</u> DAY OF <u>June</u>, A.D. 2017. <u>[Signature]</u> CHAIRMAN
--	--	---	--



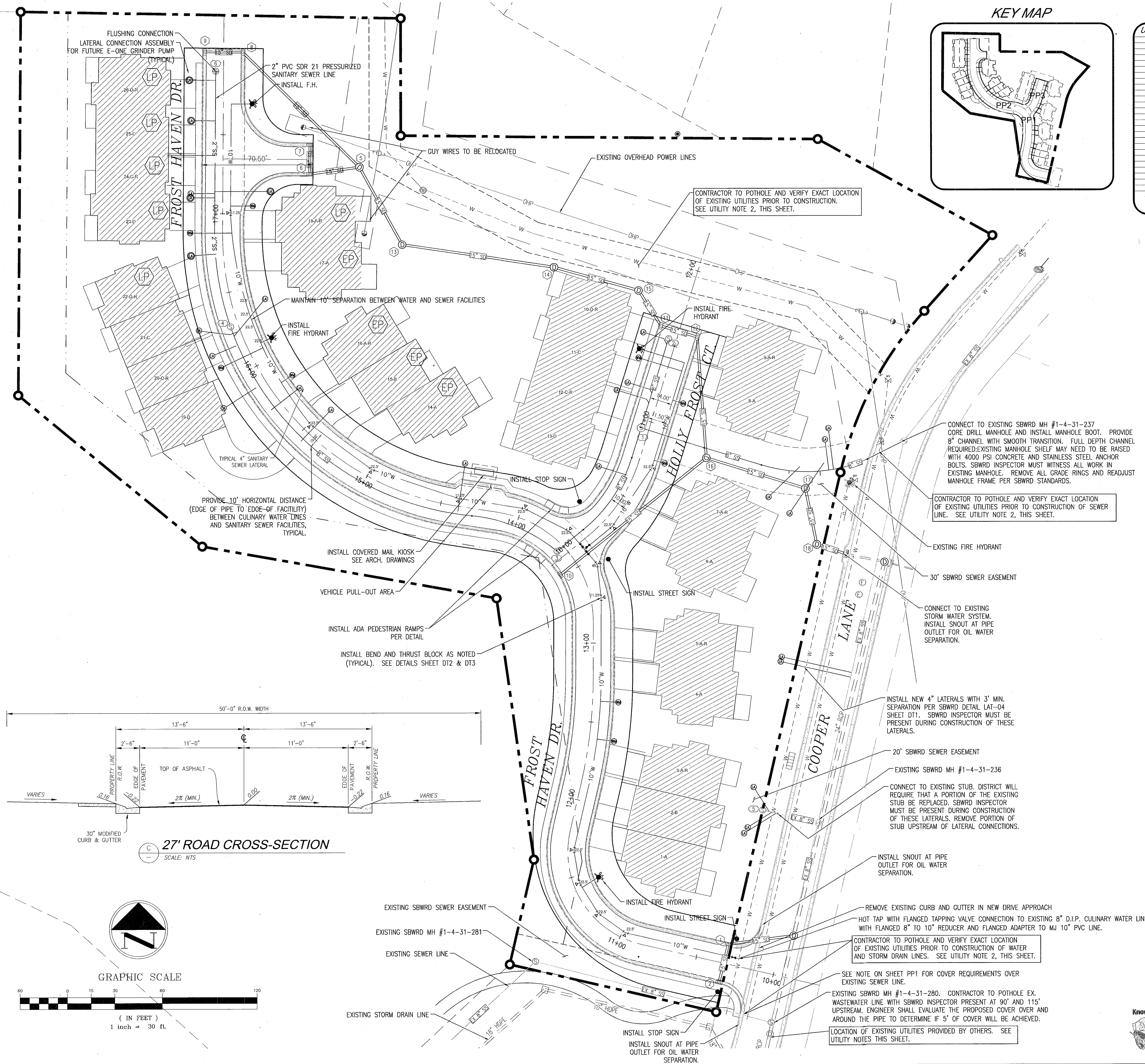
REVISIONS	NO.	DESCRIPTION	DATE
1	1	REVISED BUILDING FOOTPRINTS AND LOCATION	12/28/2017

SCALE (HORIZ): N/A
SCALE (VERT): N/A
DRAWN BY: JHT
CHECKED BY: RHD
DATE: 03.30.2016
PROJECT No. 2044

infinity CONSULTANTS
3940 North Traverse Mountain Blvd, Suite 206
Lehi, Utah 84043 • Tel: 801.541.3040

FROSTWOOD PARCEL F6 TOWNHOMES
SITE PACKAGE COVER SHEET
SUMMIT COUNTY, UTAH
SHEET
CV1

P:\Shared Files\Projects\2044 Frostwood at the Canyons\00-Coord\03-Final\2044-04-UT1 Utility Plan.dwg Apr 12, 2017 - 9:26am



KEY MAP

SEWER LATERAL TABLE

UNIT	SIZE / TYPE	STA.	LENGTH	LOWEST ELEVATION	LATERAL ELEVATION	SLOPE
1	4" PVC	10+33.92	57.18	6682.36	6683.36	21%
2	4" PVC	10+31.09	33.92	6682.36	6683.36	32%
3	4" PVC	10+29.09	34.42	6682.36	6684.36	33%
4	4" PVC	12+47.88	75.83	6682.36	6683.36	31%
5	4" PVC	12+48.38	80.25	6682.36	6683.36	30%
6	4" PVC	11+48.32	75.88	6682.36	6683.36	29%
7	4" PVC	10+48.34	31.00	6682.36	6683.36	32%
8	4" PVC	11+48.32	31.00	6682.36	6683.36	30%
9	4" PVC	11+48.32	31.00	6682.36	6683.36	30%
10	4" PVC	11+48.32	31.00	6682.36	6683.36	30%
11	4" PVC	11+48.32	31.00	6682.36	6683.36	30%
12	4" PVC	11+48.32	31.00	6682.36	6683.36	30%
13	4" PVC	10+48.32	31.00	6682.36	6683.36	30%
14	4" PVC	14+38.31	53.82	6682.36	6683.36	29%
15	4" PVC	15+48.32	42.15	6682.36	6683.36	29%
16	4" PVC	15+48.32	42.15	6682.36	6683.36	29%
17	4" PVC	10+48.32	31.00	6682.36	6683.36	30%
18	1.25" HDPE	17+15.18	32.87	6682.36	6683.36	N/A
19	4" PVC	15+48.32	27.84	6682.36	6683.36	28%
20	4" PVC	10+48.32	29.83	6682.36	6683.36	18%
21	4" PVC	16+28.19	33.71	6682.36	6683.36	2%
22	1.25" HDPE	10+15.11	15.75	6682.36	6683.36	N/A
23	1.25" HDPE	10+15.11	15.75	6682.36	6683.36	N/A
24	1.25" HDPE	17+31.85	15.75	6682.36	6683.36	N/A
25	1.25" HDPE	17+31.85	15.75	6682.36	6683.36	N/A
26	1.25" HDPE	17+31.85	15.75	6682.36	6683.36	N/A

NOTES:
1. MAINTAIN A MINIMUM OF 3' BETWEEN SEWER LATERALS.
2. LATERAL ELEVATIONS PROVIDE FOR 5' OF COVER MINIMUM.

SBWRD NOTES

1. UNITS 18, 22, 23, 24, 25, & 26 ARE DESIGNATED AS LOW PRESSURE SEWER SYSTEM UNITS.
2. UNITS 14, 15, 16, & 17 MAY REQUIRE PRIVATELY OWNED AND OPERATED EJECTOR PUMPS FOR WASTEWATER SERVICE.

PARK CITY FIRE SERVICE DISTRICT (PCFSD) NOTES

1. FIRE HYDRANTS MUST BE CLEARLY IDENTIFIED TO PREVENT OBSTRUCTION BY PARKING AND OTHER OBSTRUCTIONS. FIRE HYDRANT LOCATIONS MUST BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE MARKERS AND FLAGS.
2. ALL DWELLINGS MUST BE CONSTRUCTED WITH A FIRE SPRINKLER SYSTEM INSTALLED AS REQUIRED AND APPROVED BY PCFSD.

UTILITY NOTES:

1. CONSTRUCTION OF THE WASTEWATER SYSTEM IMPROVEMENTS SHALL CONFORM TO THE SBWRD DEVELOPMENT PROCEDURES, DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF ALL EXISTING UNDERGROUND UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITIES. ENGINEER SHALL BE NOTIFIED OF ANY POTENTIAL CONFLICTS AND ALLOWED TEN DAYS TO MITIGATE.
3. ALL WATER SYSTEM CONSTRUCTION SHALL COMPLY WITH SBWRD DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. IF TESTING THE CULINARY WATERLINE AGAINST EXISTING VALVES AND THE HYDROSTATIC TEST DOES NOT PASS, THE VALVES WILL BE REPLACED.

SNOW STORAGE NOTES

1. TOTAL AREA OF ROADWAY = 25,480 S.F. (INCLUDES ASPHALT AND GUTTER PAN)
2. AREA ALLOCATED FOR SNOW STORAGE = 9310 S.F. (INCLUDES 4 FEET ON EACH SIDE OF STREETS, THE WEST SIDE IS ABOVE THE SIDEWALK AND THE EAST SIDE IS ABOVE LANDSCAPING)
3. PERCENT OF ROADWAY ALLOCATED FOR SNOW STORAGE = 36%

LEGEND

---	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN LINE
---	5' SIDEWALK
---	30" MODIFIED CURB AND GUTTER
---	PVC C-900 (DR-18 BLUE) WATER LINE
---	RCP STORM DRAIN LINE (SIZE AS NOTED)
---	2" CULINARY WATER LATERAL
---	SANITARY SEWER LATERAL, AS NOTED
⊙	STORM DRAIN MANHOLE, COMBO BOX, INLET
⊙	SEWER MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙	AGENCY STANDARD FIRE HYDRANT
⊙	EXISTING STREET LIGHT
⊙	AGENCY STANDARD STREET LIGHT
⊙	8" WATER VALVE
⊙	PVC BEND (M+M) PER PLAN WITH THRUST BLOCK

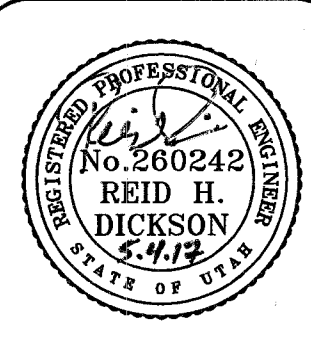
BASIS OF BEARINGS

THE BEARING NORTH 00°00'55" EAST ALONG THE LINE FROM THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 4 EAST, AND THE WEST QUARTER OF SECTION 36.

PROJECT BENCHMARK

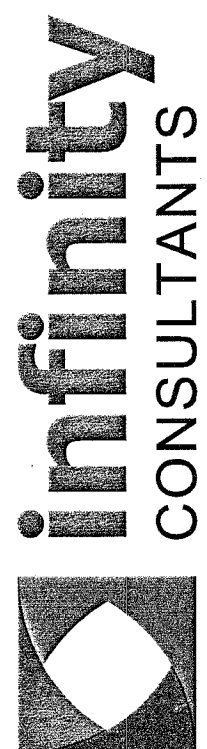
SANITARY SEWER MANHOLE RIM LOCATED AT IN COOPER LANE AT THE EXTENSION OF THE NORTHERLY LINE OF PARCEL F6. PROJECT ELEVATION = 6649.21 ELEVATION = 6641.60 (NAVD88)

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NO.	DESCRIPTION	DATE
1	ADDRESS SUMMIT COUNTY AND SBWRD COMMENTS	10.06.2015
2	ADDRESS PARK CITY FIRE SERVICE DISTRICT COMMENTS	3.18.2015
3	ADDRESS RMA COMMENTS	3.9.2015

SCALE (HORIZ): 1"=30'	SCALE (VERT): N/A
DRAWN BY: JHT	CHECKED BY: RHD
DATE: 02.12.2015	PROJECT NO. 2044



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FROSTWOOD PARCEL F6 TOWNHOMES

UTILITY PLAN

SUMMIT COUNTY, UTAH

SHEET
UT1

FROSTWOOD PARCEL F6 TOWNHOMES AMENDED SITE PLAN

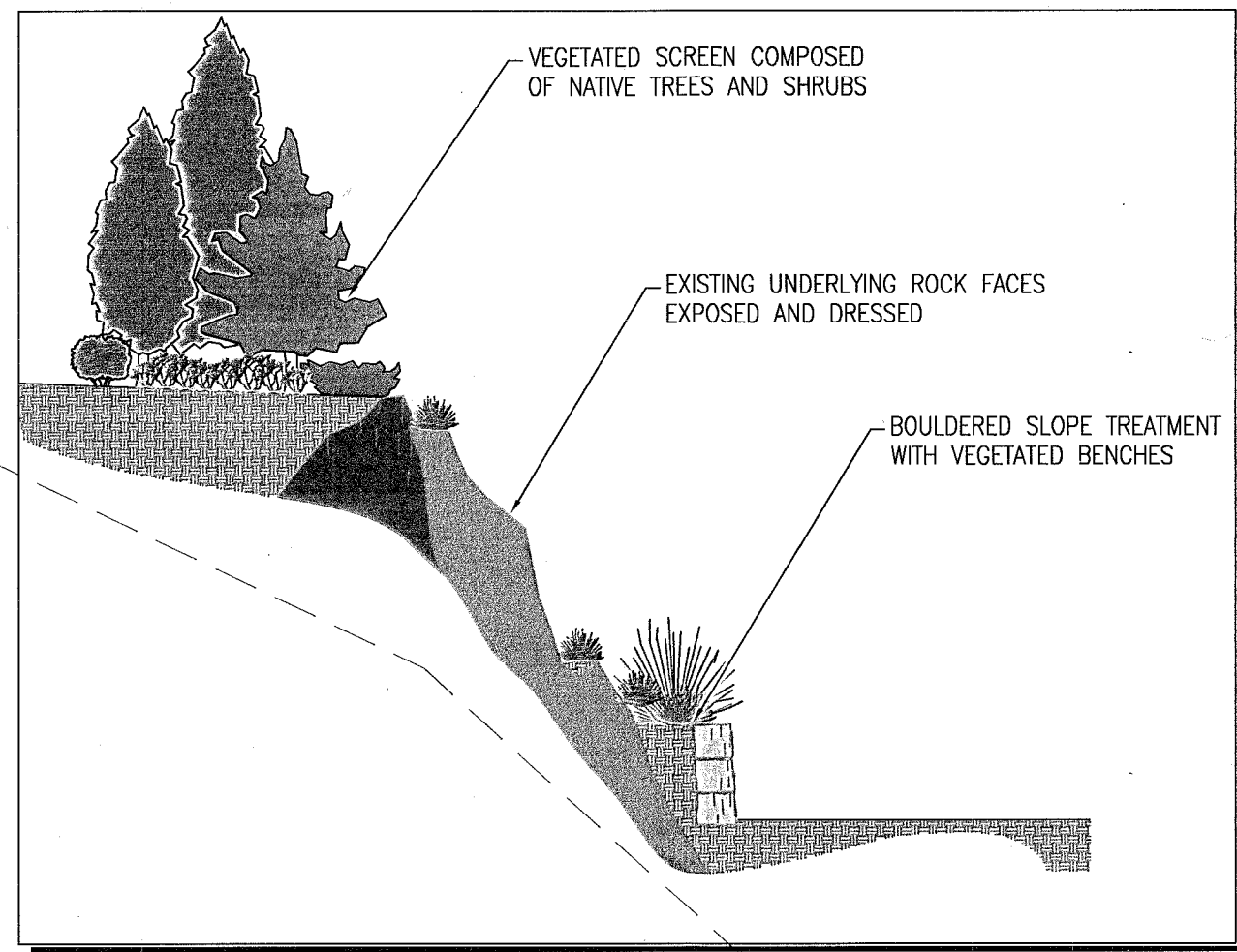
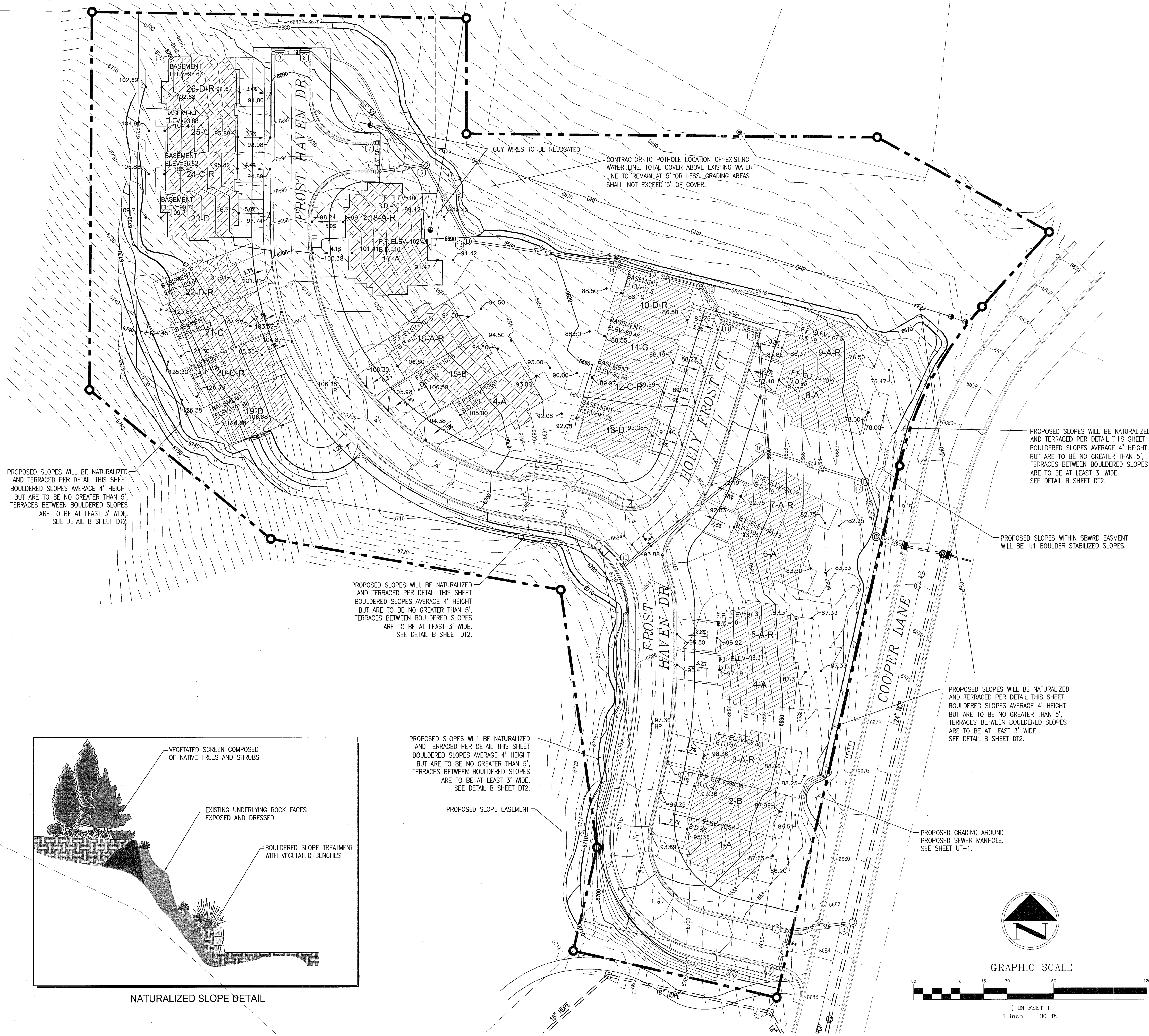
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Scale: Plan: 1/2"=1'-0"

DATE: 06/15/2017 BY: FROSTWOOD G LLC

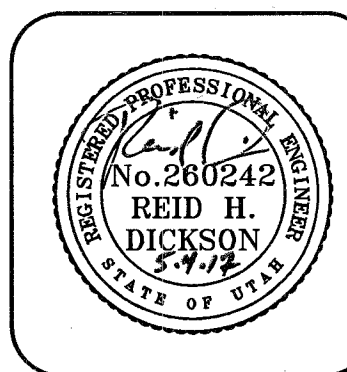
PROJECT: 2044 FROSTWOOD PARCEL F6 TOWNHOMES



NATURALIZED SLOPE DETAIL

UNIT ADDRESS TABLE

UNIT	STREET ADDRESS
1	4248 FROST HAVEN DRIVE
2	4254 FROST HAVEN DRIVE
3	4260 FROST HAVEN DRIVE
4	4276 FROST HAVEN DRIVE
5	4292 FROST HAVEN DRIVE
6	4308 FROST HAVEN DRIVE
7	4324 FROST HAVEN DRIVE
8	4340 FROST HAVEN DRIVE
9	4356 FROST HAVEN DRIVE
10	4372 FROST HAVEN DRIVE
11	4388 FROST HAVEN DRIVE
12	4404 FROST HAVEN DRIVE
13	4420 FROST HAVEN DRIVE
14	4436 FROST HAVEN DRIVE
15	4452 FROST HAVEN DRIVE
16	4468 FROST HAVEN DRIVE
17	4484 FROST HAVEN DRIVE
18	4500 FROST HAVEN DRIVE
19	4516 FROST HAVEN DRIVE
20	4532 FROST HAVEN DRIVE
21	4548 FROST HAVEN DRIVE
22	4564 FROST HAVEN DRIVE
23	4580 FROST HAVEN DRIVE
24	4596 FROST HAVEN DRIVE
25	4612 FROST HAVEN DRIVE
26	4628 FROST HAVEN DRIVE



NO.	DESCRIPTION	BY	DATE
1	ADDRESS SUMMIT COUNTY AND SBWRD COMMENTS	JLS	10.06.2015
2	ADDRESS PARK CITY FIRE SERVICE DISTRICT COMMENTS	JHT	3.18.2015
3	ADDRESS RMA COMMENTS	JHT	3.9.2015

SCALE (HORIZ): 1"=30'	SCALE (VERT): N/A
DRAWN BY: JHT	CHECKED BY: RHD
DATE: 02.12.2015	PROJECT NO. 2044

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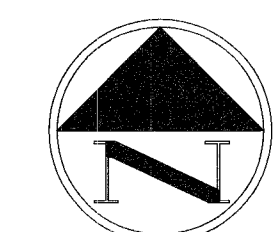
FROSTWOOD PARCEL F6 TOWNHOMES
GRADING PLAN
SUMMIT COUNTY, UTAH

SHEET
GP1

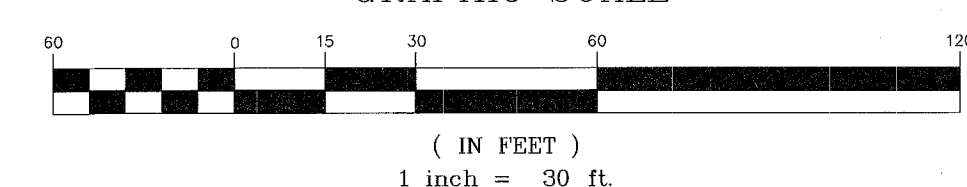
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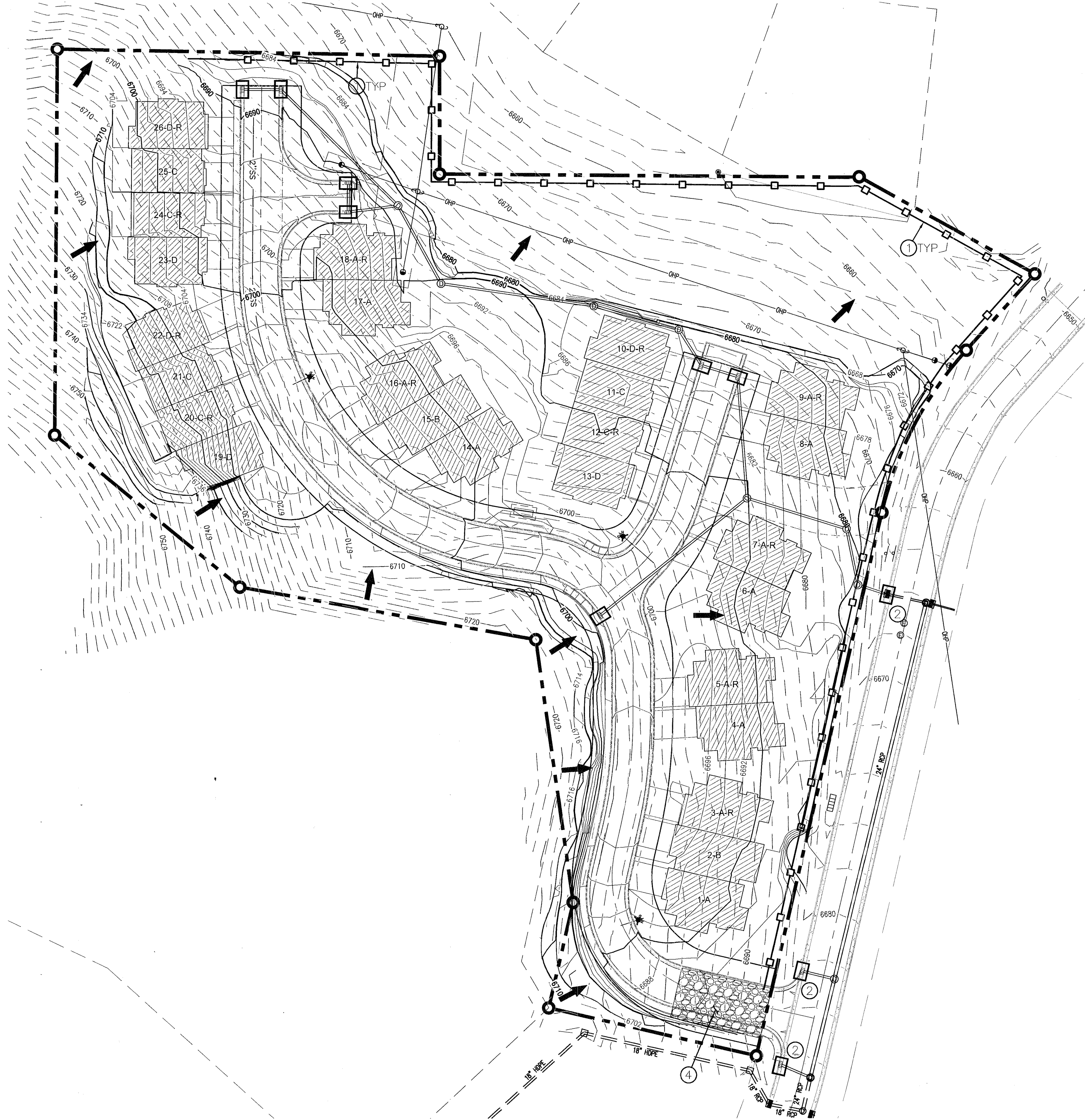
PROJECT BENCHMARK
SANITARY SEWER MANHOLE RIM LOCATED AT IN COOPER LANE AT THE EXTENSION OF THE NORTHERLY LINE OF PARCEL F6.
PROJECT ELEVATION = 6649.21
ELEVATION = 6641.60 (NAVD83)

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GRAPHIC SCALE





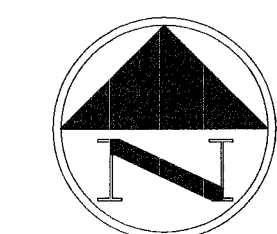
LOCATED AND PROTECT ANY STORM DRAIN INLETS THAT MAY BE AFFECTED BY DEVELOPMENT OF THIS PROJECT.

GENERAL NOTES:

- 1) SEE SHEET EC2 FOR DETAILS AND ADDITIONAL NOTES.
- 2) CONTRACTOR TO OBTAIN AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN (SWPPP). SEE SWPPP FOR FULL DESCRIPTION OF EROSION CONTROL MEASURES.
- 3) RE-SEED DISTURBED AREAS WITH NATIVE SEED MIX.
- 4) DISTURBED SLOPES ARE TO BE ROUGHENED TO DECREASE EROSION. REFER TO SWPPP FOR MORE INFO.
- 5) DUST CONTROL MEASURES ARE TO BE EMPLOYED DURING THE ENTIRE COURSE OF THIS PROJECT.

LEGEND

	① SILT FENCE
	② INLET PROTECTION
	PROJECT BOUNDARY
	DIRECTION OF EXISTING GROUND OVERLAND FLOW
	PROPOSED FLOW DIRECTION
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR



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1-800-662-4111

BASIS OF BEARINGS
THE BEARING NORTH 00°00'55" EAST ALONG THE LINE FROM THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 1 SOUTH, RANGE 4 EAST, AND THE WEST QUARTER OF SECTION 36.

PROJECT BENCHMARK
SANITARY SEWER MANHOLE RIM LOCATED AT IN COOPER LANE AT THE EXTENSION OF THE NORTHERLY LINE OF PARCEL F6.
ELEVATION = 6641.60 (NAVD88)

FROSTWOOD PARCEL F6 TOWNHOMES

EROSION CONTROL PLAN

SHEET
EC1

infinity
CONSULTANTS

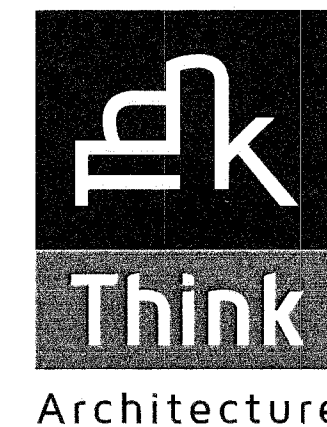
3940 North Traverse Mountain Blvd, Suite 206
Lehi, Utah 84043 • Tel: 801.541.3040

SCALE (HORIZ): 1"=40'
SCALE (VERT): N/A

DRAWN BY: JHT
CHECKED BY: RHD
DATE: 02.12.2015
PROJECT No. 2044

No.	DESCRIPTION	BY	DATE
3	ADDRESS SUMMIT COUNTY AND SBIRD COMMENTS	JLS	9.02.2015
2	ADDRESS PARK CITY FIRE SERVICE DISTRICT COMMENTS	JHT	3.18.2015
1	ADDRESS RNMA COMMENTS	JHT	3.9.2015

PROFESSIONAL SEAL
No. 260242
REID H. DICKSON
STATE OF UTAH



Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

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ELEVATION / SECTION MATERIAL LEGEND

HATCH PATTERN	DESCRIPTION
	BRICK VENEER SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH. SELECTED BRICK TO BE INTERSTATE BRICK COLOR TO BE AUGUSTA.
	BOARD AND BATT SIDING FIBER CEMENT AS PER SPECIFICATIONS
	LAP SIDING FIBER CEMENT 8" EXPOSURE AS PER SPECIFICATIONS
	DIRECT APPLIED SYNTHETIC STUCCO SYSTEM SEE SPECIFICATIONS FOR TYPE AND FINISH
	ROOF ASPHALT SEE SPECIFICATIONS FOR TYPE, PATTERN AND COLOR.

KEYNOTE SPECIFICATION	
03-05	CAST IN PLACE FOOTINGS - SEE STRUCTURAL DRAWINGS
03-06	CAST IN PLACE FOUNDATION WALLS - SEE STRUCTURAL DRAWINGS
04-11	STONE MASONRY VENEER
04-15	STONE MASONRY CAP
07-21	ASPHALT SHINGLES - SEE SPECIFICATIONS
07-132	BOARD AND BATTEN SIDING - SEE DETAILS, SPECIFICATIONS AND ELEVATIONS FOR PATTERN
08-138	VINYL-FRAMED WINDOWS - SEE SCHEDULE, DETAILS AND SPECIFICATIONS

NORTH ELEVATION

1/4" = 1'-0"

MASONRY VENEER STONE IN NOT TO CONTINUE BELOW GRADE. STONE TO BE 2" MIN. ABOVE HARD SURFACE AND 4" MIN. ABOVE EARTH.

EAST ELEVATION

1/4" = 1'-0"

ENTRY NO. 01071609

06/15/2017 12:27:32 PM B: 2414 P: 0685

Site Plan PAGE 1/1

PROJ: 001 TRUSSILL SUMMIT COUNTY RECORDER

FEE: \$36.00 BY FROSTWOOD & LLC

06/15/2017 12:27:32 PM B: 2414 P: 0685

FROSTWOOD PARCEL F6 TOWNHOMES AMENDED SITE PLAN

2016, MARCH 01 - BUILDING SET / CONSTRUCTION SET

FROSTWOOD F6 - BUILDING TYPE 2
FROSTWOOD F6 TOWNHOMES
CANYONS RESORT,
SUMMIT COUNTY, UTAH

PROJECT NO. 14122
DATE: MAR 1, 2016

REVISIONS:
1 2016.02.12 PLAN
CHECK
COMMENT
IS TO
SUMMIT
COUNTY

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A201

Rev Date: 3/8/2016 8:29:28 AM



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HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE
	WOOD STUD WALL
	CMU WALL
	STONE VENEER

HATCH PATTERN	DESCRIPTION
	CARPET FINISH
	TILE FINISH
	EXTERIOR CONCRETE SLABS
	ASPHALT ROOFING

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (R/F:0.5) UNLESS NOTED OTHERWISE
2. CEILING HEIGHTS MEASURED FROM PLINTHOOD OR CONCRETE-SEE SECTIONS
3. REFER TO ENLARGED PLANS FOR ALL UNIT OPENINGS, WINDOW TYPES, DOORS AND WALLS.
4. REFER TO ENLARGED PLANS FOR ALL DECORATIONS.
5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
9. COORDINATE WITH BUILDING OWNER FOR ALL INTERIOR FINISHES
10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 24" STUD WALLS UNLESS SHOWN OTHERWISE.
12. ALL INTERIOR WALLS ARE ASSIGNED TO BE 12" STUD WALLS UNLESS SHOWN OTHERWISE.
13. ALL ROOF INSULSION TO HAVE A MINED SYSTEMS VALUE CONTRIBUTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RED-CHECKS).

Specification Keynote	Instructional Keynote
Key Note Info	Key Note Info

FL-15	RATED ASSEMBLIES INCLUDING BATHUBS, MECHANICAL, FURN. DOMNS, CABINETS, ETC. MUST BE INSTALLED AFTER THE RATING OF THE ASSEMBLY IS ESTABLISHED
-------	---

	INTERIOR ELEVATION		CEILING GRID TAG
	BUILDING SECTION		WALL SECTION
	SPECIFICATION KEYNOTE		INSTRUCTIONAL KEYNOTE
	DOOR NUMBER TAG		WINDOW NUMBER TAG
	WALL TYPE		DETAIL HEAD
	CEILING TYPE		FINISHED CEILING HEIGHT
	REVERSION TAG		CEILING FIXTURE TAG
	MINIFENDANT LIGHT		EXHAUST FAN LIGHT
	10V SMOKE DETECTOR		HARDWIRED BACKUP
	WALL MOUNT FIXTURE		BATHROOM WALL MOUNT FIXTURE
	TRACK LIGHTING		CEILING FAN
	2x4 FLUORESCENT FIXTURE		MULTIMEDIA NETWORK OUTLET
	12V WALL MOUNT OUTLET		FIRE SPRINKLER HEAD

2016, MARCH 01 - BUILDING SET / CONSTRUCTION SET

REVISIONS:

SHEET TITLE:
LEVEL 0 FLOOR PLAN

SHEET NUMBER:
A101

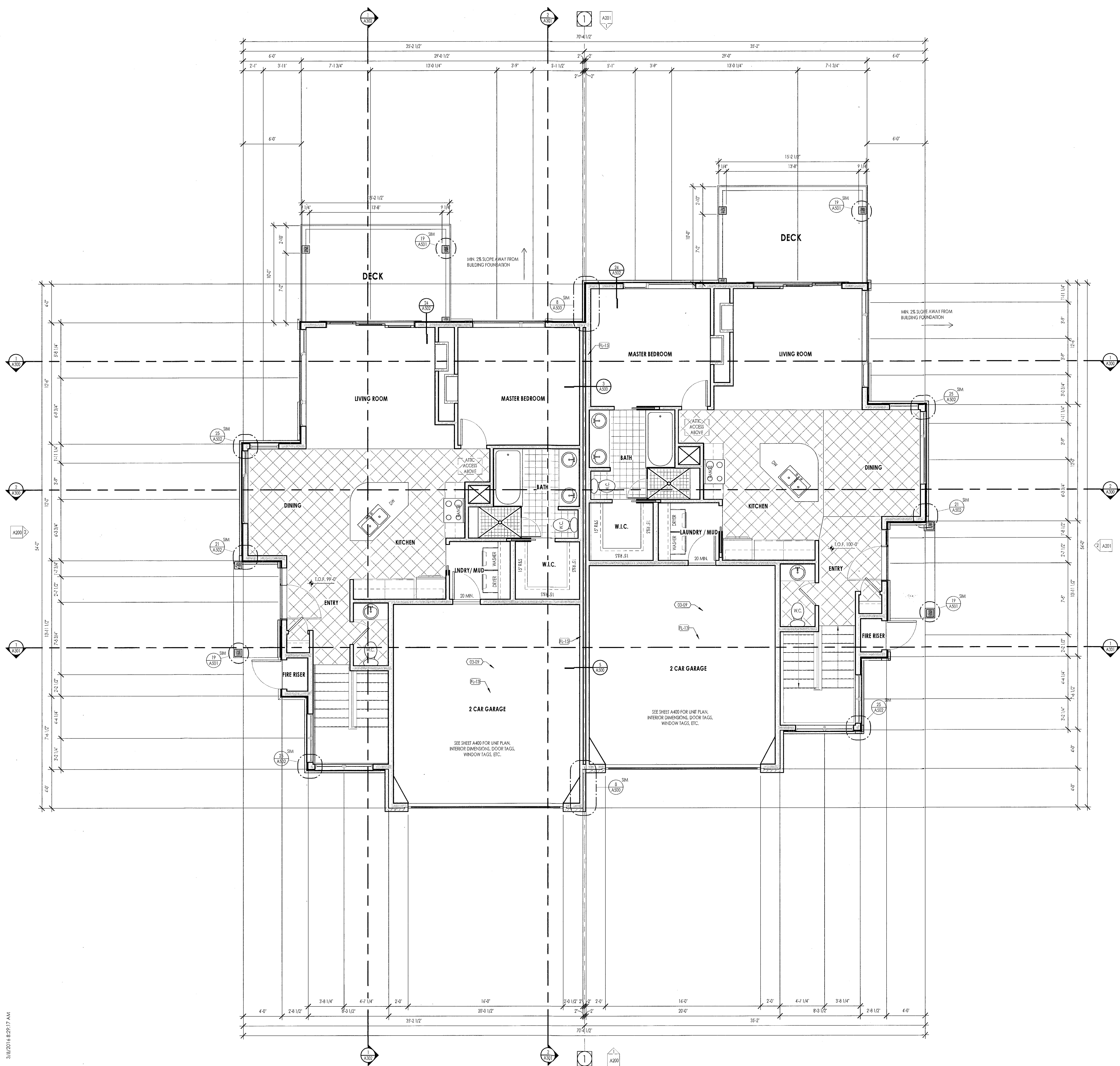
3/8/2016 8:29:14 AM

ENTRY NO. 01071609
06/15/2017 12:27:32 PM B: 2414 P: 0685

Site Plan PAGE 1/1
MARY ANN TRUSSELL, SUMMIT COUNTY RECORDER
FEE 356.00 BY FROSTWOOD S LLC

LEVEL 0 - FLOOR PLAN
1/4" = 1'-0"

FROSTWOOD PARCEL F6 TOWNHOMES AMENDED SITE PLAN



LEVEL 1 - FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch]	POURED IN PLACE CONCRETE
[Hatch]	WOOD STUD WALL
[Hatch]	CMU WALL
[Hatch]	STONE VENEER

FLOOR PLAN MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch]	CARPET FINISH
[Hatch]	TILE FINISH
[Hatch]	EXTERIOR CONCRETE SLABS
[Hatch]	ASPHALT ROOFING

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO INTERIOR FACE OF STUD (P.O.S.) UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS MEASURED FROM FLOOR TO CEILING OR CONCRETE - SEE SECTIONS.
- REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
- REFER TO ENLARGED PLANS FOR ALL DECORATIONS.
- COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
- ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
- SEE SHEET A400 FOR PROJECT GENERAL NOTES AND SHEET A400 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
- COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
- COORDINATE WITH RULDER/OWNER FOR ALL INTERIOR FINISHES.
- COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
- ALL EXTERIOR WALLS ARE ASSUMED TO BE 24" STUD WALLS UNLESS SHOWN OTHERWISE.
- ALL INTERIOR WALLS ARE ASSUMED TO BE 24" STUD WALLS UNLESS SHOWN OTHERWISE.
- ALL ROOF TRUSSES TO HAVE BASED ENERGY RATED CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESPECTIVE).

FLOOR PLAN KEY NOTES	
Specification Keynote	Instructional Keynote
[Symbol] Key Note Info	[Symbol] Key Note Info

KEYNOTE SPECIFICATION	
03-09	CAST IN PLACE EXTERIOR CONCRETE SLABS-SEE STRUCTURAL

KEYNOTE INSTRUCTIONAL	
FL-13	FINISH FLOOR TO BE EXPOSED CONCRETE, POWER WASH AND SEAL
FL-15	RATED ASSEMBLIES INCLUDING BATHS, MECHANICAL, FURNISHINGS, CABINETS, ETC. MUST BE INSTALLED AFTER THE RATING OF THE ASSEMBLY IS ESTABLISHED

SYMBOL LEGEND	
[Symbol] INTERIOR ELEVATION	[Symbol] 4" LED RECESSED CAN (FIGURE & TRIM PER SCHEDULE)
[Symbol] BUILDING GRID TAG	[Symbol] 4" LED RECESSED CAN (CLOSET, FIGURE & TRIM PER SCHEDULE)
[Symbol] BUILDING SECTION	[Symbol] RECESSED CAN (WELL LOCATION, FIGURE & TRIM PER SCHEDULE)
[Symbol] WALL SECTION	[Symbol] CEILING MOUNT FEATURE
[Symbol] SPECIFICATION KEYNOTE	[Symbol] MINI PENDANT LIGHT
[Symbol] INSTRUCTIONAL KEYNOTE	[Symbol] EXHAUST FAN LIGHT
[Symbol] DOOR NUMBER TAG	[Symbol] 110V SMOKE DETECTOR
[Symbol] WINDOW NUMBER TAG	[Symbol] HANDWHEELED WYATT BACKUP CARSON MONITOR DETECTOR
[Symbol] WALL TYPE	[Symbol] WALL MOUNT FEATURE
[Symbol] DETAIL HEAD	[Symbol] BATHROOM WALL MOUNT FEATURE
[Symbol] CEILING TYPE	[Symbol] TRACK LIGHTING
[Symbol] FINISHED CEILING HEIGHT	[Symbol] CEILING FAN
[Symbol] REVISION TAG	[Symbol] 24" FLUORESCENT FEATURE
	[Symbol] MULTIMEDIA NETWORK OUTLET (CAT 5E W/POE) W/PORT OUTLET
	[Symbol] FIRE SUPPRESSOR HEAD

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FROSTWOOD F6 - BUILDING TYPE 2
FROSTWOOD F6 TOWNHOMES
CANYONS RESORT,
SUMMIT COUNTY, UTAH

2016, MARCH 01 - BUILDING SET / CONSTRUCTION SET

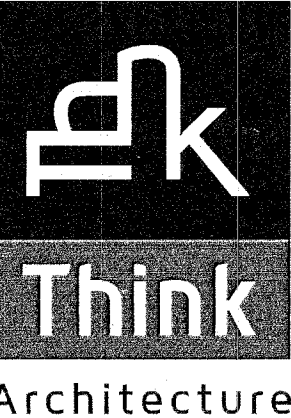
PROJECT NO. 14122
DATE: MAR 1, 2016

REVISIONS:

SHEET TITLE:
LEVEL 1 FLOOR PLAN

SHEET NUMBER:
A102

ENTRY NO. 01071609
06/15/2017 12:27:32 PM B: 2414 P: 0655
Site Plan, PAGE 1/1
FROSTWOOD TOWNHOMES - SUMMIT COUNTY RECORDER
FEE: \$36.00 BY FROSTWOOD & LLC
FROSTWOOD PARCEL F6 TOWNHOMES AMENDED SITE PLAN



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FROSTWOOD F6 - BUILDING TYPE 2
FROSTWOOD F6 TOWNHOMES
CANYONS RESORT,
SUMMIT COUNTY, UTAH

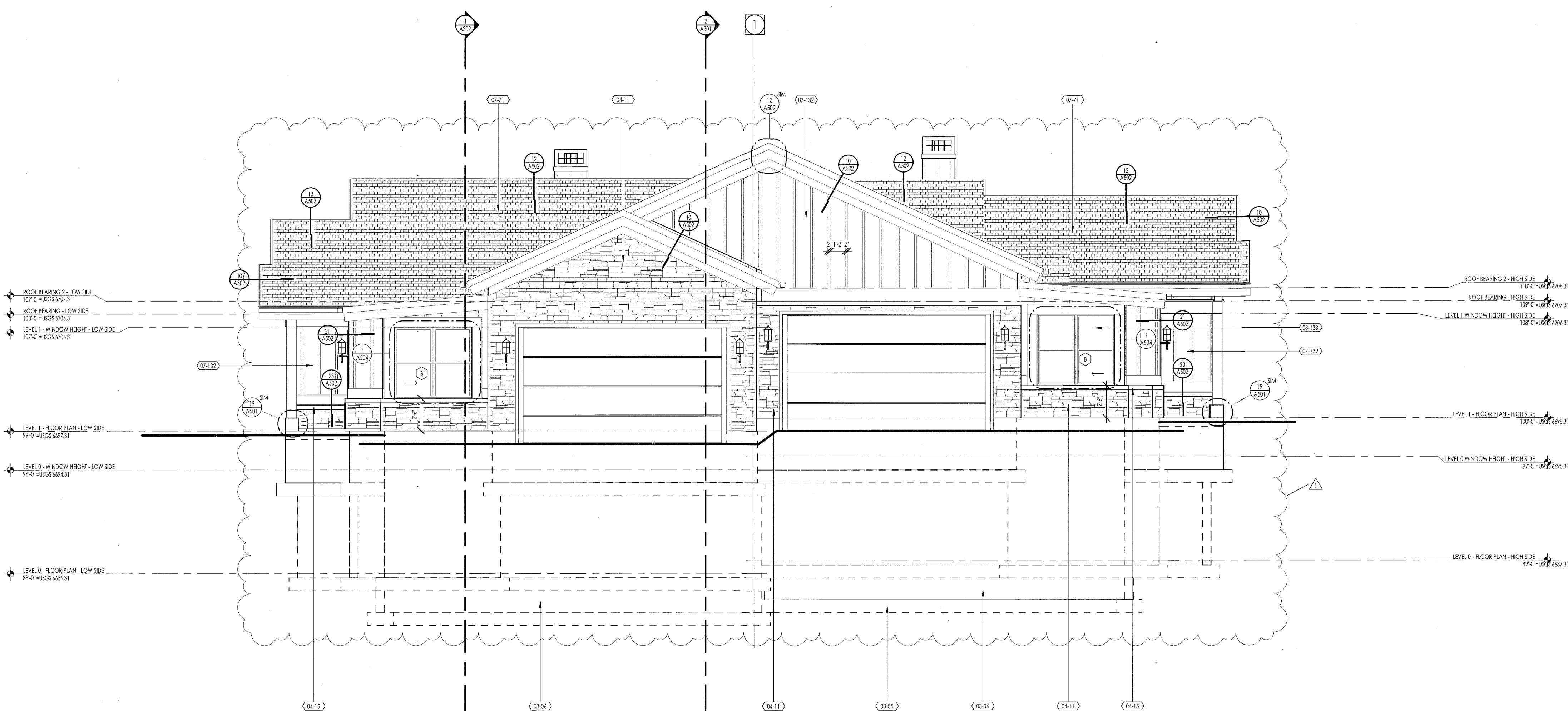
PROJECT NO. 14122
DATE: MAR 1, 2016

REVISIONS:
1 2016.02.12 PLAN CHECK COMMENTS TO SUMMIT COUNTY

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A200

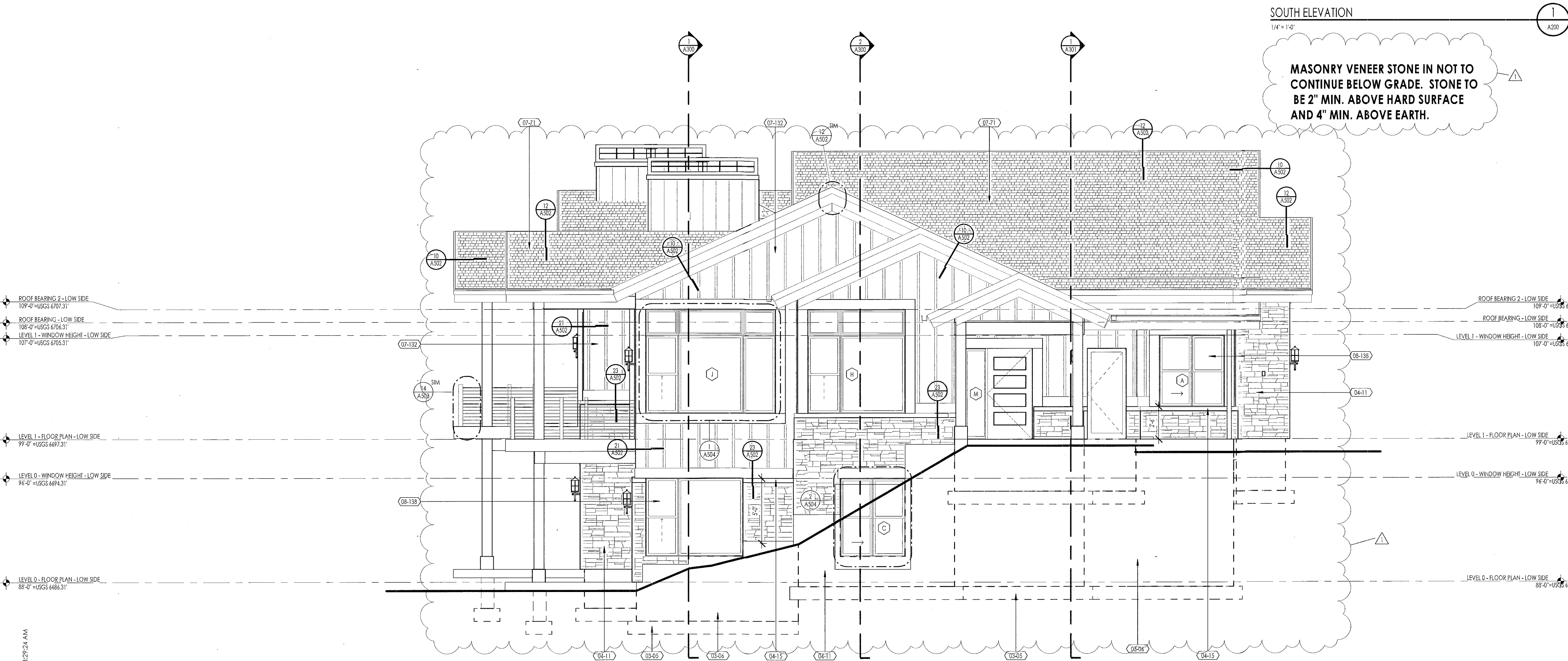
ELEVATION / SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
	BRICK VENER SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH. SELECTED BRICK TO BE WINDSHIELD BRICK COLOR TO BE "AUGUSTA"
	BOARD AND BATTEN SIDING FIBER CEMENT AS PER SPECIFICATIONS
	LAP SIDING FIBER CEMENT 4" EXPOSURE AS PER SPECIFICATIONS
	DIRECT APPLIED SYNTHETIC STUCCO SYSTEM SEE SPECIFICATIONS FOR TYPE AND FINISH
	ROOF ASPHALT SEE SPECIFICATIONS FOR TYPE, PATTERN AND COLOR.
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.	
KEYNOTE SPECIFICATION	
03-05	CAST IN PLACE FOOTINGS - SEE STRUCTURAL DRAWINGS
03-06	CAST IN PLACE FOUNDATION WALLS - SEE STRUCTURAL DRAWINGS
04-11	STONE MASONRY VENER
04-15	STONE MASONRY CAP
07-21	ASPHALT SHINGLES - SEE SPECIFICATIONS
07-132	BOARD AND BATTEN SIDING - SEE DETAILS, SPECIFICATIONS AND ELEVATIONS FOR PATTERN
08-138	VINYL-FRAMED WINDOWS - SEE SCHEDULE, DETAILS AND SPECIFICATIONS



SOUTH ELEVATION

1/4" = 1'-0"

MASONRY VENER STONE IN NOT TO CONTINUE BELOW GRADE. STONE TO BE 2" MIN. ABOVE HARD SURFACE AND 4" MIN. ABOVE EARTH.



WEST ELEVATION

1/4" = 1'-0"

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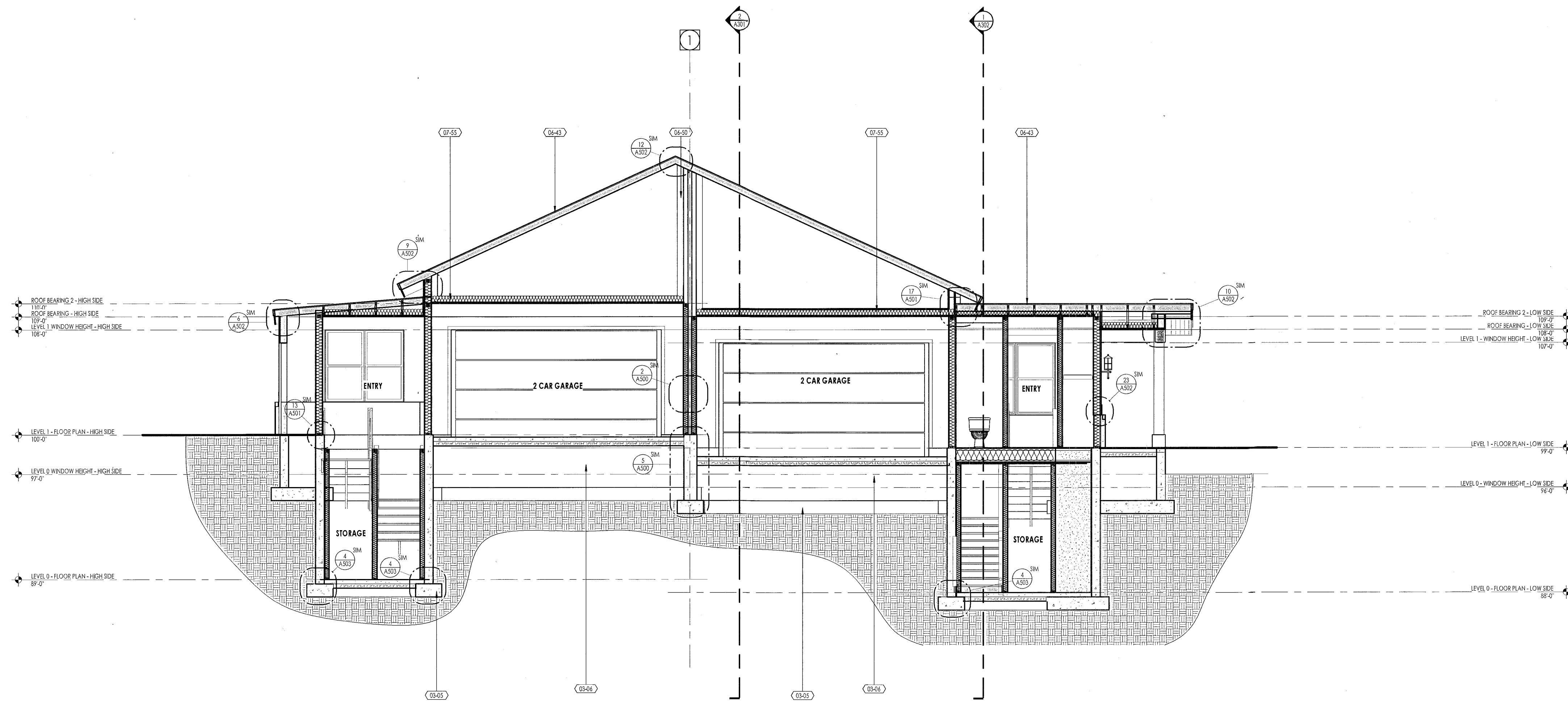
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Site Plan PAGE 1/1

DESK: JMM, TRISSELL, SUMMIT COUNTY RECORDER

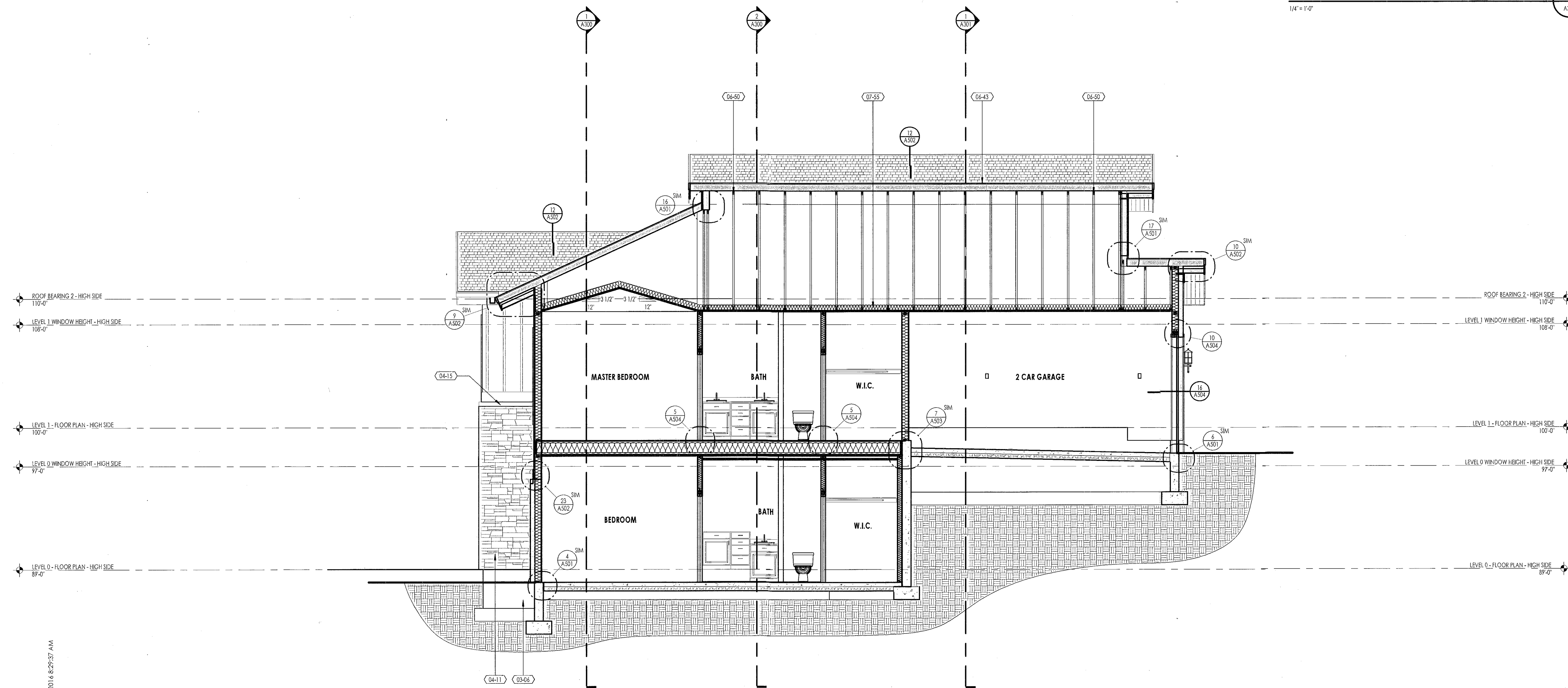
FEE: \$55.00 BY FROSTWOOD 6 LLC

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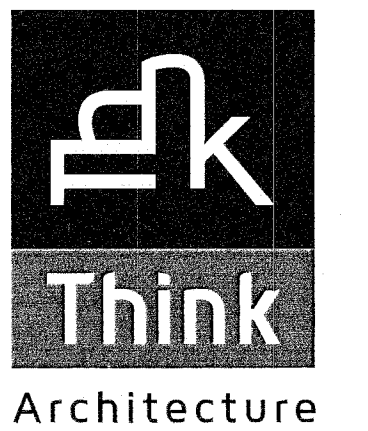
Section 3
1/4" = 1'-0"

ELEVATION / SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
	BRICK VENEER SEE SPECIFICATIONS FOR TYPE, LAY, AND FINISH. SELECTED BRICK TO BE INTERSTATE BRICK COLOR TO BE "ALCUSTA"
	BOARD AND BAT SIDING FIBER CEMENT AS PER SPECIFICATIONS
	LAP SIDING FIBER CEMENT & EXPOSURE AS PER SPECIFICATIONS
	DIRECT APPLIED SYNTHETIC STUCCO SYSTEM SEE SPECIFICATIONS FOR TYPE AND FINISH
	ROOF ASPHALT SEE SPECIFICATIONS FOR TYPE, PATTERN AND COLOR.
NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.	
KEYNOTE SPECIFICATION	
03-05	CAST IN PLACE FOOTINGS - SEE STRUCTURAL DRAWINGS
03-06	CAST IN PLACE FOUNDATION WALLS - SEE STRUCTURAL DRAWINGS
04-11	STONE MASONRY VENEER
04-15	STONE MASONRY CAP
06-43	ROOF SHEATHING - SEE STRUCTURAL DRAWINGS
06-50	PRE-ENGINEERED ROOF TRUSSES - SEE STRUCTURAL DRAWINGS
06-62	WOOD TRIM - SEE DETAILS AND SPECIFICATIONS
07-55	THERMAL INSULATION



Section 4
1/4" = 1'-0"

ENTRY NO. 01071609
06/15/2017 12:27:32 PM B: 2414 P: 0685
314 & 314th PRCE 1/1
PRRY RUSSELL SUMMIT COUNTY RECORDER
FEE: \$56.00 BY: FROSTWOOD & LLC



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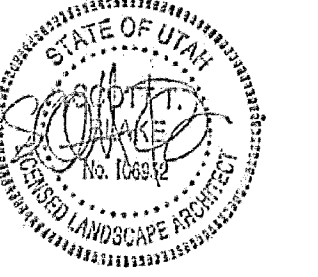
FROSTWOOD F6 - BUILDING TYPE 2
FROSTWOOD F6 TOWNHOMES
CANYONS RESORT,
SUMMIT COUNTY, UTAH

PROJECT NO. 14122
DATE: MAR 1, 2016
REVISIONS:

2016, MARCH 01 - BUILDING SET / CONSTRUCTION SET

SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
A301



ISSUE DESCRIPTION	DATE
	4.11.2016

#	REV.	DESCRIPTION	DATE
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**TOWNHOMES AT
FROSTWOOD F6**
4235 NORTH COOPER LANE
THE CANYONS RESORT, SUMMIT COUNTY, UTAH

SITE PLAN

LANDSCAPE
PLAN

L101

LANDSCAPE SCHEDULE

Sym.	Tag	Qty	Botanical Name	Common Name	Size	Spacing
	TREES					
	R.M. MA	39	Acer grandidentatum 'Rocky Mtn. Glow'	Big Tooth Maple	2" Cal	As Shown
	C. SPR	20	Picea pungens - green varieties only	Colorado Spruce	6' - 7'	As Shown
	B. PINE	28	Pinus aristata	Bristlecone Pine	6' - 7'	As Shown
	Q. ASP	60	Populus tremuloides - Single	Quaking Aspen	2" Cal / Min 10'	As Shown
		60	Populus tremuloides - Clump	Quaking Aspen	20 Gal.	As Shown
	C.R. CH	24	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	2" Cal / Min 10'	As Shown
	SHRUBS					
	S. SER	40	Amelanchier alnifolia	Saskatoon Serviceberry	5 Gal.	8' o.c.
	A.C. DG	79	Cornus sericea 'Alleman's Compact'	Alleman's Compact Dogwood	5 Gal.	4' o.c.
	R.O. DG	33	Cornus sericea	Red Osier Dogwood	5 Gal.	8' o.c.
	C.O. GR	85	Mahonia aquifolium compacta	Compact Oregon Grape	5 Gal.	4' o.c.
	D.M. PI	61	Pinus mugo mugo	Dwarf Mugo Pine	5 Gal.	3' o.c.
	SPI	50	Spiraea bumalda var.	Spiraea var.	5 Gal.	3' o.c.
	CH. CH	31	Prunus virginiana	Chokecherry	5 Gal.	8' o.c.
	G. CUR	68	Ribes aureum	Golden Currant	5 Gal.	4' o.c.
	G.M. CR	12	Ribes alpinum 'Green Mound'	Green Mound Currant	5 Gal.	3' o.c.
	ORNAMENTAL GRASSES, AND GROUNDCOVERS					
	F. GR	31	Miscanthus sinensis purpurascens	Flame Grass	1 Gal.	4' o.c.
	R. SAG	12	Perovskia atriplicifolia	Russian Sage	1 Gal.	5' o.c.
	P. MIX	264	PERENNIAL MIX			
		15%	Coreopsis verticillata var.	Tickseed var.	1 Gal.	30" o.c.
		10%	Echinacea var.	Coneflower var.	1 Gal.	30" o.c.
		20%	Hemerocallis varieties	Daylily varieties	1 Gal.	30" o.c.
		15%	Geranium var.	Hardy Geranium var.	1 Gal.	30" o.c.
		25%	Leucanthemum superbum varieties	Shasta Daisy Varieties	1 Gal.	30" o.c.
		15%	Rudbeckia var.	Black Eyed Susan var.	1 Gal.	30" o.c.
	TURF GRASS					
	28,817 S.F.		Chanshire Imperial Blue		Sod	
	REVEGETATION AREAS					
	28,316 S.F.		SEED MIX:			5 lbs. / 1,000 sq. ft.
			Bromus marginata	Mountain Brome	30 %	
			Achnatherum hymenoides	Indian Rice Grass	25 %	
			Elymus trachycaulus	Slender Wheatgrass	25 %	
			Festuca arizonica	Arizona Fescue	7.5 %	
			Festuca ovina	Sheep Fescue	7.5 %	
			Poa sandbergii	Sandberg Bluegrass	5 %	
					100 %	
	NATIVE VEGETATION TO REMAIN					
	MULCH					
	S.F.		Wood Mulch, Medium - All Planters Unless Noted Otherwise			4" Depth
	3,663 S.F.		Decorative Gravel Mulch, 2", color to match or complement site rock			
	575 S.F.		Decorative Cobble, 4" - 6", color to match or complement site rock			
	BOULDERS					
	Landscape Boulders to Match / Complement Site. Various Sizes - 2' - 4'					
	SITE GRADE CHANGE / WALLS					
	See Sheet GPI for Naturalized Slope Detail					



LANDSCAPE PLAN
SCALE: 1"=20'-0" NORTH

