

AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF JON'S PARK

12-803-0101 thru 0116 SUBDIVISION PHASE 1
12-837-0201 thru 0212 D

The undersigned Wall Brothers Construction, LLC, as the present owner of the hereinafter described property, hereby discloses the following:

1. Section 1.15 shall be amended as follows (Bold is amended portion):

"Project" shall mean and refer to the Jon's Park Subdivision Phase 1, and Phase 2 consisting of 26 Lots.

2. The property described below has been developed as the second of a two phase subdivisions known as Jon's Park Subdivision. This described property will be known as Phase 2 and will consist of 13 total Lots. It is referred to in the Enabling Declaration Of Covenants Conditions And Restrictions Of Phase 1 Section 1.4.5 as "Future Lot Owner". The below described Property or Phase 2 (Lots 201-212), when properly recorded will be subject to existing Covenants, Conditions, and Restrictions as follows :

A. Declaration recorded August 7th, 2014, as Entry Number 2817027 of Official Records.

It should be noted that Lot 213 is to be excluded from this Declaration and it's Amendment, as it was an existing home.

The current description of the subject property included by this amendment is as follows:

See attached Exhibit "A"

E 2897275 B 6366 P 76-78
RICHARD T. MAUGHAN
DAVIS COUNTY, UTAH RECORDER
10/06/2015 09:02 AM
FEE \$41.00 Pgs: 3
DEP RT REC'D FOR CLEARFIELD CITY

Dated this 8 day of Sept, 2015

[Signature]
Wall Brothers Construction, LLC

STATE OF UTAH

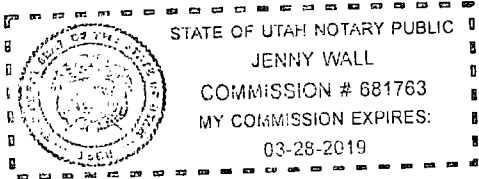
COUNTY OF DAVIS

On this 8th Day of Sept., in the year 2015, before me Jenny Wall, a notary public, personally appeared, Neil Wall, proved on the basis of satisfactory evidence to be the person(s) whose name(s), (is/are) subscribed to this instrument, and acknowledged (he/she/they) executed the same. Witness my hand and official seal.

[Signature]

Notary Public

Seal



12-803-0101 → 0116 Phase 1

BOUNDARY DESCRIPTION

A SUBDIVISION LOCATED IN THE NORTHEAST ~~45~~ QUARTER OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF PHEASANT CREEK PHASE 2 SUBDIVISION AS RECORDED WITH THE OFFICE OF THE DAVIS COUNTY RECORDER, SAID POINT BEING LOCATED SOUTH 00°11'45" WEST ALONG SECTION LINE 1172.10 FEET AND EAST 1077.38 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION AND RUNNING
THENCE NORTHERLY AND WESTERLY ALONG SAID SUBDIVISION THE FOLLOWING TWO (2) CALLS:
NORTH 00°35'00" EAST 258.28 FEET,
NORTH 84°32'04" WEST 173.28 FEET TO A POINT ON THE SOUTH LINE OF SMITHTOWNE SUBDIVISION No. 1 AS RECORDED WITH SAID RECORDER;
THENCE NORTH 00°11'45" EAST ALONG THE EAST LINE OF SAID SUBDIVISION 36.99 FEET TO A POINT ON THE SOUTH LINE OF JON'S PARK SUBDIVISION PHASE 2 (NOT YET RECORDED);
THENCE EASTERLY, SOUTHEASTERLY, SOUTHERLY AND EASTERLY THE FOLLOWING ELEVEN (11) CALLS ALONG SAID SUBDIVISION (NOT YET RECORDED);
(1) NORTH 89°19'00" EAST 100.12 FEET TO A POINT OF CURVATURE (2) SOUTHEASTERLY ALONG THE ARC OF A 119.74 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 27°41'03" A DISTANCE OF 57.86 FEET (CHORD BEARS: S 76°50'28" E 57.30 FEET) (3) SOUTH 62°59'57" EAST 10.00 FEET TO A POINT ON THE ARC OF 50-FOOT NON-TANGENT CURVE TO THE LEFT (4) SOUTHEASTERLY ALONG SAID ARC THROUGH A CENTRAL ANGLE OF 107°09'44" A DISTANCE OF 93.52 FEET (CHORD BEARS S 42°50'25" E 80.47 FEET) TO A POINT OF REVERSE CURVATURE (5) SOUTHEASTERLY ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH CENTRAL ANGLE OF 43°49'57" A DISTANCE OF 11.48 FEET (CHORD BEARS: S 74°30'18" E 11.20 FEET) (6) SOUTH 07°57'27" WEST 74.28 FEET (7) SOUTH 09°21'24" EAST 48.49 FEET (8) SOUTH 89°49'30" EAST 18.38 FEET, (9) SOUTH 78°12'49" EAST 101.24 FEET, (10) SOUTH 89°49'30" EAST 206.06 FEET, (11) NORTH 58°53'17" EAST 77.58 FEET TO THE SOUTHEAST CORNER OF SAID SUBDIVISION AND THE EASTERLY RIGHT OF WAY LINE (PER DEED); THENCE SOUTHEASTERLY ALONG SAID EAST LINE THE FOLLOWING FIVE (5) CALLS: (1) SOUTH 29°56'00" EAST 7.70 FEET (2) EAST 11.82 FEET (3) SOUTH 29°56'00" EAST 264.71 FEET (4) THENCE NORTH 89°59'59" WEST 11.82 FEET (5) THENCE SOUTH 29°56'00" EAST 74.71 FEET TO THE NORTH LINE OF SADDLEWOOD SUBDIVISION PHASE 2 EXTENDED AS RECORDED WITH THE OFFICE OF THE DAVIS COUNTY RECORDER; THENCE NORTH 89°49'30" WEST 623.08 FEET TO AND ALONG SAID SUBDIVISION AND ALONG THE NORTH LINE OF PHASE 1 OF SAID SUBDIVISION TO THE EAST LINE OF SAID PHEASANT CREEK PHASE 2 SUBDIVISION AS RECORDED WITH SAID COUNTY RECORDER; THENCE NORTH 00°35'00" EAST 168.23 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING.
CONTAINING: 163,321 SQ.FT. (3.75 ACRES - 14 LOTS)

Exhibit "A"

A SUBDIVISION LOCATED IN THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 4 NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 7 PACIFIC PARK AMENDED SUBDIVISION SAID POINT BEING LOCATED SOUTH 00°11'45" WEST ALONG SECTION LINE 747.54 FEET AND EAST 906.57 FROM THE NORTH QUARTER CORNER OF SAID SECTION AND RUNNING THENCE NORTH 89°19'00" EAST ALONG THE SOUTH LINE OF SAID SUBDIVISION 450.97 FEET TO THE EASTERLY RIGHT OF WAY LINE (PER DEED); THENCE SOUTHEASTERLY THE FOLLOWING EIGHT (8) CALLS ALONG SAID RIGHT OF WAY: (1) SOUTH 29°56'00" EAST 1.16 FEET (2) SOUTH 89°32'00" EAST 16.31 FEET (3) SOUTH 26°00'29" EAST 127.15 FEET (4) SOUTH 30°57'52" EAST 139.94 FEET (5) WEST 14.10 FEET (6) SOUTH 29°56'00" EAST 12.12 FEET (7) WEST 0.73 FEET (8) SOUTH 29°56'00" EAST 61.53 FEET; THENCE SOUTH 58°53'17" WEST 77.58 FEET; THENCE NORTH 89°49'30" WEST 206.06 FEET; THENCE NORTH 78°12'49" WEST 101.24 FEET; THENCE NORTH 89°49'30" WEST 18.38 FEET; THENCE NORTH 09°21'24" WEST 48.49 FEET; THENCE NORTH 07°57'27" EAST 74.28 FEET TO A POINT ON THE ARC OF A 15.00 FOOT NON-TANGENT CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 43°49'57" A DISTANCE OF 11.48 FEET (CHORD BEARS: N 74°30'18" W 11.20 FEET) TO A POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY ALONG THE ARC OF 50.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 107°09'44" A DISTANCE OF 93.52 FEET (CHORD BEARS: N 42°50'25" W 80.47 FEET); THENCE NORTH 62°59'57" WEST 10.00 FEET TO A POINT OF CURVATURE; THENCE NORTHWESTERLY ALONG THE ARC OF A 119.74 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 27°41'03" A DISTANCE OF 57.86 FEET (CHORD BEARS: N 76°50'28" W 57.30 FEET); THENCE SOUTH 89°19'00" WEST 100.12 FEET TO THE EAST LINE OF SMITHTOWNE SUBDIVISION No.1 AS RECORDED WITH THE OFFICE OF THE DAVIS COUNTY RECORDERS OFFICE; THENCE NORTH 00°11'45" EAST 112.79 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO THE POINT OF BEGINNING.

CONTAINS: 137,832 SQ.FT.(3.16 ACRES - 13 LOTS, (201-213)

Less and excepting Lot 213 with its existing home, as shown on the recorded Plat of Phase 2