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GARY W. OTT  
RECORDER, SALT LAKE COUNTY, UTAH  
KIRTON MCCONKIE  
1800 WORLD TRADE CENTER  
@ CITY CREEK 60 E SOUTH TEMPLE  
SLC UT 84111  
BY: SMP, DEPUTY - WI 37 P.

WHEN RECORDED, PLEASE MAIL TO:

Kirton McConkie  
c/o Loyal C. Hulme  
1800 World Trade Center at City Creek  
60 East South Temple  
Salt Lake City, Utah 84111

**DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND  
RESTRICTIONS FOR CREEK RIDGE**

THIS DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND RESTRICTIONS FOR CREEK RIDGE (this "**Declaration**") is made and executed this 29<sup>th</sup> day of April, 2014, by Suburban Land Reserve, Inc., a Utah corporation ("**Declarant**").

**RECITALS**

A. Declarant is the owner of certain real property in Salt Lake County, Utah, more particularly described on Exhibit A attached hereto (the "**Property**").

B. Declarant intends to sell tracts of portions of the Property that in turn will be subdivided into residential lots (individually, a "**Lot**") and primarily developed as single family homes, townhomes, or apartments, and associated amenities and improvements.

C. Declarant desires to establish a common scheme and plan for the possession, use, enjoyment, repair, maintenance, restoration, and improvement of the Property so that the various tracts and residential developments located on the Property will be developed in a consistent and harmonious manner.

**DECLARATION**

NOW, THEREFORE, it is hereby declared that the Property shall be held, sold, conveyed, leased, rented, encumbered, and used subject to the following easements, rights, assessments, liens, charges, covenants, servitudes, restrictions, limitations, conditions, and uses, which are for the purpose of protecting the value and desirability of, and which shall run with, the Property and be binding on all parties having any right, title, or interest in the described Property or any part thereof, their heirs, successors, and assigns, and shall inure to the benefit of each owner thereof.

1. **DESIGN REVIEW COMMITTEE**

1.1. Purpose. In order to create, maintain and improve the Property as a pleasant and desirable environment, to establish and preserve a harmonious design for the community and to protect and promote the value of the Property, all exterior design, landscaping and changes or alterations to

existing use, landscaping and exterior design and development shall be subject to design review by the Design Review Committee (the "**Committee**").

1.2. **Creation.** The initial Committee will consist of three members to be appointed by Declarant in its sole discretion. The majority of the Committee shall constitute a quorum, and the concurrence of the majority shall be necessary to carry out the provisions applicable to the Committee. In the event of death or resignation of any of the members, the Declarant shall have full authority to appoint another person to fill the said vacancy. If the Declarant has vacated its right to appoint the members of the Committee, the surviving members of the Committee shall appoint the vacant office on the Committee.

In the event of violation of any of the provisions of this Declaration, the Declarant and/or the Committee is authorized and empowered to take such action as may be necessary to restrain or enjoin the violations of these codes and covenants. All costs, including attorneys' fees, of such enforcement shall be borne by the owner of any Lot or other parcel of real property located within the Property (an "**Owner**") who is in violation of this Declaration.

1.3. **Powers.** The Committee is hereby authorized to perform (or to retain the services of one or more consulting architects, landscape architects, or urban designers, who need not be licensed to practice in the State of Utah, to advise and assist the Committee in performing) the design review functions prescribed in this Declaration to carry out the provisions set forth therein.

## 2. COVENANTS, CONDITIONS AND RESTRICTIONS

2.1. **Land Use and Building Type.** No Lot shall be used except for a residential purpose, except as otherwise permitted by the Committee and permitted by applicable law.

2.2. **Design Review.** To maintain a degree of protection to the investment which Owners within the Property may make, improvements within the Property shall comply with the Design Guidelines, attached hereto and incorporated herein as Exhibit B. The Committee may modify the Design Guidelines at any time. The Design Guidelines and the terms and conditions of this Declaration represent private covenants for the benefit of the Declarant and are in addition to and not in lieu of any requirements of any applicable laws. Designs shall be limited to those prepared by architects or by qualified residential designers of outstanding ability whose previous work may be reviewed as a part of the approval process. Except as approved by the Committee, no landscaping, excavation, building, fence, wall, residence, or other structure, or alteration of any kind, shall be commenced, erected, maintained, improved, altered, or made until the construction plans and specifications, along with a topographical plan showing the location of all improvements, including a detailed landscaping plan, have been approved in writing by the Committee. All subsequent additions to or changes or alterations in any building, fence, wall, or other structure, including exterior color scheme, and all changes in the grade on any Lot, shall be subject to the prior written approval of the Committee. Once approved by the Committee, no changes or deviations in or from the plans and specifications shall be made without the prior written approval of the Committee.

No construction of residential dwellings or landscaping may commence without approval by the Committee of the working drawings.

- (a) Plot Plans to scale showing the entire site, building, garages, walks, drives, fences, lights, and retaining walls, with elevations of the existing and finished grades and contours including those at the outside corners of the buildings and at adjacent property lines and street fronts and elevations of floors from a designated point on the street.
- (b) Detailed floor plans showing dimensions and measurements.
- (c) Detailed elevations, indicating all materials and showing existing and finished grades.
- (d) Color and material samples for all exterior surfaces.
- (e) Detailed sections, cross and longitudinal.
- (f) Details of cornices, porches, windows, doors, garages, garden walls, steps, patios, fences, carriage lights, etc.

Specifications shall give complete descriptions and color samples of materials to be used on the exterior of the residence.

2.3. Construction Quality, Size, and Cost. The Committee will base its approval of construction plans, specifications, landscaping plans, and other alterations on the acceptability and harmony of the external design of the proposed structures with respect to topography and grade, quality of materials, size, height, color, etc. and consistency with the Design Guidelines. All Owners shall strictly comply with all state laws and city ordinances. Approval by the Committee does not replace any required approval by Herriman City and the necessity of obtaining any required building permit. Each Owner shall obtain any and all required approvals and building permits from Herriman City.

2.4. Construction Time. The Committee shall have final control for approval of all color and material plans. There is no time limit for beginning construction; however, upon commencement, the construction time for the exterior portion of any residential structure shall not exceed 12 months from start to finish. "Start" shall be the instant any foliage is cut or removed in anticipation of the landscaping or construction to be built. All building debris, excavation, dirt, etc. associated with the building process shall be removed within the 12-month period. Such debris and excavation dirt shall not be permitted on any of the streets or sidewalks within the Property.

2.5. Building Location and Setback. Structures shall comply with the setback requirements set forth in the Design Guidelines and applicable law.

2.6. Landscaping. Only such foliage shall be removed from each Lot as is necessary for clearing the driveway, excavating for the foundation, and for lawns and patio areas. Lawn, patio, and garden areas must be designed in accordance with the Design Guidelines and approved by the Committee (unless otherwise agreed to by the Committee). Owners are encouraged to plant trees and shrubs to enhance the natural beauty, provide windbreaks, and improve erosion control. Unless otherwise agreed to by the Committee, no plantings or structures shall be placed or permitted which may damage or interfere with established slope ratios, create erosion, or change the direction of drainage channels. All materials used to retain and contour the slope of any Lot or improvement must conform with the natural beauty and color of the Property and must be approved by the Committee.

Each dwelling shall have installed surrounding it an outdoor irrigation/sprinkler system for fire protection and irrigation.

Landscaping may include a combination of lawn, shrubs, or ground cover. Ground cover may include vegetative vines, low-spreading shrubs, or annual or perennial flowering or foliage plants. Ground cover may also include mineral or non-living organic permeable material in not more than 25% of the net landscaped area. Mineral ground cover may include such materials as rocks, boulders, gravel, or brick over sand. Species, size, and placement of landscape elements shall be determined by the Owner and approved by the Committee prior to commencement of landscaping.

(a) Deadline for Completion of Landscaping. The front yard of each Lot (from the street to the front line of the residence on the Lot) shall be landscaped within one (1) year of the occupancy date of any structure built upon said Lot. The remainder of the Lot shall be landscaped within two (2) years of the occupancy date of any structure built upon said Lot.

(b) Revegetation of Slopes. Where any slope on any Lot has a slope of 30% or greater, the Owner thereof shall be required to immediately revegetate said slope and present a revegetation plan to the Committee for review and approval.

2.7. Temporary Occupancy and Temporary Buildings. No trailer, basement of any incomplete building, tent, shack, garage, or barn, and no temporary buildings or structures of any kind, shall be used at any time for a residence, either temporary or permanent. Temporary buildings or structures used during the construction of a dwelling on any property shall be removed immediately after the completion of construction.

2.8. Accessory Structures. Patio structures, trellises, sunshades, gazebos, and any other appurtenant buildings shall be constructed of materials consistent with the colors, textures, and materials approved for the dwelling and shall be integral to the architecture of the house and subject to the prior written approval of the Committee. It is understood that out buildings such as swimming pool and tennis court dressing facilities may be constructed on any Lot as long as they are in conformity with the requirements of this Declaration. All pools must be fenced in strict compliance with local ordinances and with the prior written approval of the Committee as to fence design and material.

Any detached accessory building erected on the lots shall conform in design and materials with the primary residential home on the lot and must be approved as to its permissibility, design and location by the Committee.

2.9. Nuisances, Construction Activities. No rubbish or debris of any kind shall be placed or permitted to accumulate upon or adjacent to any Lot, and no odors or loud noises shall be permitted to arise or emit there from, so as to render any such property or any portion thereof, or activity thereon, unsanitary, unsightly, offensive or detrimental to any other property in the vicinity thereof or to the occupants of such other property. No other nuisance shall be permitted to exist or operate upon any Lot so as to be offensive or detrimental to any other property in the vicinity thereof or its occupants. Normal construction activities and parking in connection with the building of improvements on a Lot shall not be considered a nuisance or otherwise prohibited by this Declaration, but Lots shall be kept in a neat and tidy condition during construction periods, trash and debris shall not be permitted to accumulate, and supplies of brick block, lumber, and other building materials will be piled only in such

areas as may be approved by the Committee. In addition, any construction equipment and building materials stored or kept on any Lot during construction of improvements may be kept only in areas approved by the Committee, which may require screening of the storage areas.

No articles, material, equipment, or vehicles of any nature shall be parked or stored on any street located within the Property. Licensed, regularly used passenger vehicles (i.e., visitor vehicles) may be parked on streets within the Property for brief periods of time (i.e., less than twenty-four hours). Overnight parking of such vehicles should generally be restricted to the driveway of the dwelling being visited.

The use or operation of snowmobiles on streets within the Property is not permitted. The use of motorcycles and other motorized recreational vehicles which may produce audible annoyance to the Owners shall be limited to ingress and egress of the Property.

No oil or gas drilling, development, operations, refining, storage, quarrying, or mining operation of any kind shall be permitted upon or in any Lot.

The burning of rubbish, leaves, or trash on the Property is prohibited. Trash containers shall be covered and kept screened from view from the street in suitable enclosed areas, except during collection.

No Owner shall permit any thing or condition to exist upon any Lot which shall induce, breed, or harbor infectious plant diseases or noxious insects.

The Committee, in its sole discretion, shall have the right to determine the existence of any nuisance.

2.10. Signs. Except as provided in this Section 2.10, no signs of any kind shall be displayed to public view on any Lot except one sign of not more than five square feet advertising the property for sale or rent. Notwithstanding the foregoing, signs used by a builder or developer may be up to 160 square feet in size and may be displayed to advertise the improvement or Lots during the construction period. The placement of signs, graphics, or advertisements which are permanent in nature or represent advertisement for small business conducted in the home or on a Lot is prohibited.

2.11. Animals. No native wildlife shall not be fed or hunted within the Property. No animal, bird, fowl, poultry, or livestock of any kind shall be raised, bred, or kept on any Lot except that domestic dogs (a maximum of two), cats, and other household pets may be permitted as long as they are maintained in accordance with this Declaration and any additional rules and regulations imposed by the Committee and are not a nuisance or kept, bred, or maintained for any commercial purposes. No dog shall be allowed to roam unattended within the Property. The manner and location of all dog runs or kennels must be approved by the Committee. No farm animals are permitted.

2.12. Repair of Building. No building or structure on any Lot shall be permitted to fall into disrepair, and each such building and structure shall at all times be kept in good condition and repair and adequately painted or otherwise finished. In the event any building or structure is damaged or

destroyed, then, subject to the approvals required by Section 2.1 above, such building or structure shall be immediately repaired or rebuilt or shall be demolished.

2.13. Restriction on Further Subdivision, Property Restrictions, and Rezoning. No Lot shall be further subdivided or separated into smaller lots by any Owner, and no portion less than all of any such Lot, nor any easement or other interest therein, shall be conveyed or transferred by any Owner, without the prior written approval of the Committee, which approval must be evidenced on the Plat or other instrument creating the subdivision, easement, or other interest. No further covenants, conditions, restrictions, or easements shall be recorded by any Owner or other person against any Lot without the provisions thereof having been first approved in writing by the Committee, and any covenants, conditions, restrictions, or easements recorded without such approval being evidenced thereon shall be null and void. No application for rezoning of any Lot and no applications for variances or use permits shall be filed with any governmental authority unless the proposed use of the Lot has been approved by the Committee and the proposed use otherwise complies with this Declaration.

2.14. Fuel Storage. No tank for storage of fuel may be maintained above the surface of the ground without the prior written consent of the Committee.

2.15. Building Material Storage. No building material of any kind or character shall be placed or stored upon any Lot until the Owner thereof is ready to commence improvements, and then the material shall be placed within the property lines of the Lot upon which the improvements are to be erected and shall not be placed in the streets or between the curb and the property line.

2.16. Easements. Easements for installation of and maintenance of utilities, drainage facilities, and water lines are reserved as shown on the recorded Plat. Within these easements, no structure, planting, or other materials shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities or water lines or which may change the direction of flow of drainage channels in the area or which may obstruct or retard the flow of water through drainage channels in the easements. The easement area of each of the Lots and all improvements in it shall be maintained continuously by the Owner of the Lot, except for those improvements for which a public authority or utility company is responsible.

2.17. Paving. Driveway and other flat paved areas may be concrete, exposed aggregate concrete, stamped concrete, asphalt, quarry tile, brick, or paving blocks. Gravel areas are not permitted.

2.18. Solar Equipment. Solar panels are to be integrated into roof design. Panels and frames must be compatible with roof colors, all equipment must be screened from view, and prior written approval must be obtained from the Committee.

2.19. Pools, Spas, Fountains, Game Courts. Pools, spas, fountains, and game courts must be approved by the Committee and shall be located to avoid impacting adjacent properties with light or sound. No pools, spas or game courts shall be located in front yards. Pool heaters and pumps must be screened from view and sound insulated from neighboring houses. Nothing herein shall be construed as permitting the construction of skateboard areas and/or similar areas and ramps, which structures shall be prohibited.

2.20. Fences and Walls. Fencing and walls shall be stucco, wood, brick, masonry, stone, vinyl, or wrought iron. Fences and walls are to be color coordinated with the approved dwelling colors. Use of landscaping materials for hedges and fencing is encouraged. Fences, walls, or hedges shall not

exceed six (6) feet in height; provided, however, that no wall, fence, or opaque hedge or screening materials (other than pre-construction natural vegetation) shall be maintained within: (i) a required front yard; (ii) any portion of a rear yard which is highly visible from any street or non-adjointing Lot because of the elevation or slope of the portion of the rear yard concerned unless specifically permitted by the Committee; and (iii) any portion of the Lot having a slope greater than 30%.

2.21. Parking and Storage. No major mechanic work or repairs are to be conducted in streets or front yards of houses. No inoperative automobile or vehicle shall be placed or remain on any Lot or adjacent street for more than 72 hours. No commercial-type vehicles and no trucks shall be parked or stored on the front yard setback of any Lot or within the side yard buildings setback on the street side of a corner Lot, or on the residential street except while engaged in transportation. Trailers, mobile homes, trucks over three quarter ton capacity, boats, campers not on a truck bed, motor homes, buses, tractors, and maintenance or commercial equipment of any kind shall be parked or stored behind the front yard setback in an enclosed area screened from street view as approved by the Committee. Sufficient side yard gate access should be planned and provided for in the design of the home to permit ingress, egress, and storage of trailers and recreational type vehicles on the side and rear yards. The storage or accumulation of junk, trash, manure, or other offensive or commercial materials is prohibited. No pads used for the storage of vehicles or other material either temporarily (longer than 48 hours) or permanently shall be constructed within the front yard set back requirements of a given Lot.

2.22. Water Discharge. It shall be unlawful for any person owning, occupying, or having control of any Lot to suffer or permit irrigation or water from the roof or eaves of any house, building, or other structure or from any source under the control of such person, to be discharged and spread upon the surface of any sidewalk, street, or adjoining Lot. This is intended to require that the Owner maintains water on his property.

2.23. Declarant's Exemption. Nothing contained in this Declaration shall be construed to prevent the erection or maintenance by Declarant, a developer, or their duly authorized agents, of temporary structures, trailers, improvements or signs necessary or convenient to the development, marketing, or sale of property within the Property.

### 3. AMENDMENTS

3.1. Term; Method of Termination. This Declaration shall be effective upon the date of recordation hereof and, as amended from time to time, shall continue in full force and effect for a term of thirty (30) years from the date of recordation. From and after said date, this Declaration, as amended, shall be automatically extended for successive periods of ten (10) years each, unless terminated by the Declarant. If this Declaration is terminated, the Committee shall cause to be recorded in the Salt Lake County records a "Certificate of Termination," duly signed by a member of the Committee and acknowledged before a Notary Public. Thereupon the covenants herein contained shall have no further force and effect, and the Committee shall be dissolved pursuant to the terms set forth in its articles.

3.2. Amendments. Declarant can modify the Declaration to accommodate any public use, school use, park use, church use, or street or easement use. In addition, this Declaration may be amended by the mutual agreement of the Committee and the Declarant by recording in the office of the

Utah County Recorder a "Certificate of Amendment," duly signed by all members of the Committee and acknowledged. The Certificate of Amendment shall set forth in full the amendment adopted.

4. MISCELLANEOUS

4.1. Interpretation of the Covenants. Except for judicial construction, the Declarant shall have the exclusive right to construe and interpret the provisions of this Declaration. In the absence of any adjudication to the contrary by a court of competent jurisdiction, the Declarant's construction or interpretation of the provisions hereof shall be final, conclusive, and binding as to all persons and property benefitted or bound by the covenants and provisions hereof.

4.2. Severability. Any determination by any court of competent jurisdiction that any provision of this Declaration is invalid or unenforceable shall not affect the validity or enforceability of any of the other provisions hereof.

4.3. Rule Against Perpetuities. Each provision contained in this Declaration which is subject to the laws or rules sometime referred to as the rule against perpetuities or the rule prohibiting unreasonable restraints or alienation shall continue and remain in full force and effect for the period of 21 years following the death of the last survivor of the issue of Queen Elizabeth II of England, and the now living children of such issue, or until this Declaration is terminated as hereinafter provided, whichever first occurs. All other provisions contained in this Declaration shall continue and remain in full force and effect in accordance with Section 3.1 hereof.

4.4. Rules and Regulations. In addition to the right to adopt rules and regulations on the matters expressly mentioned elsewhere in this Declaration, the Committee shall have the right to adopt rules and regulations with respect to all other aspects of the Committee's rights, activities, and duties, provided such rules and regulations are not inconsistent with the provisions of this Declaration.

4.5. General Reservations. Declarant reserves the right to grant, convey, sell, establish, amend, release, and otherwise deal with easements, reservations, exceptions, and exclusions with respect to the Property which do not materially interfere with the best interests of Owners including, but not limited to, access and utility easements, road easements, pedestrian and equestrian easements, pedestrian and hiking trails, and easements and drainage easements.

4.6. Assignment. Declarant may assign its rights and interests in this Declaration to any entity or group of entities. If Declarant assigns its rights and interest to more than one assignee, all the assignees must mutually agree upon any action taken by them.

4.7. Run with the Land. Declarant for itself, its successors, and assigns, hereby declares that all of the Property shall be held, used, and occupied subject to the provisions of this Declaration, and to the covenants and restrictions contained herein, and that the provisions hereof shall run with the land and be binding upon all persons who hereafter become the Owner of any interest in the Property.



IN WITNESS WHEREOF, Declarant has executed this Declaration this 29<sup>th</sup> day of April, 2014.

SUBURBAN LAND RESERVE, INC.,  
a Utah corporation,

By: R. Steven Romney  
Name (Print): R. STEVEN ROMNEY  
Its: President

STATE OF UTAH            )  
  ) SS:  
COUNTY OF SALT LAKE )

On the 29<sup>th</sup> day of April, 2014, personally appeared before me R Steven Romney, who, being by me duly sworn, did say that he is the President of SLR, a Utah Corporation, and that the within and foregoing instrument was signed in behalf of the Company by authority of its Operating Agreement, and that the Company executed the same.

[SEAL]



Colette D. Yates  
Notary Public

**EXHIBIT A**

**Description of the Property**

**LEGAL DESCRIPTION  
PREPARED FOR  
SUBURBAN LAND RESERVE  
SALT LAKE COUNTY, UTAH  
(September 9, 2011)**

**300 ACRE PARCEL**

A portion of Section 27, Township 3 South, Range 2 West, Salt Lake Base & Meridian, more particularly described as follows:

Beginning at a point located S0°15'06"W along the section line 33.00 feet from the Northeast Corner of Section 27, Township 3 South, Range 2 West, Salt Lake Base & Meridian; thence S0°15'06"W along said section line 2493.17 feet; thence along that real property recorded at Entry No. 8110216:2002 in the office of the Salt Lake County Recorder the following three (3) courses: N89°31'10"W 120.00 feet; thence S0°15'06"W 120.00 feet; thence S0°15'15"W 2649.90 feet to a point on the south line of Section 27 with said point being N89°30'19"W along the section line 120.00 feet from the Southeast Corner of Section 27; thence N89°30'19"W along the section line 2544.14 feet to the South Quarter Corner of Section 27; thence N0°28'08"E along the center section line 1324.81 feet; thence N89°31'13"W along the north line of the south half of the Southwest Quarter of Section 27 238.48 feet; thence N40°40'58"E 299.39 feet; thence N61°18'00"E 314.12 feet; thence N63°11'03"E 636.04 feet; thence N75°28'26"E 311.68 feet; N84°42'17"E 199.43 feet; thence North 1090.24 feet; thence West 234.19 feet; thence North 104.76 feet; thence West 611.03 feet; thence N60°00'00"W 130.14 feet; thence North 246.82 feet; thence West 324.35 feet; thence S60°00'00"W 207.64 feet; thence West 97.31 feet; thence N60°00'00"W 94.02 feet; thence West 39.59 feet; thence S60°00'00"W 367.50 feet; thence West 122.60 feet; thence N45°00'00"W 291.25 feet; thence N17°19'10"E 345.48 feet; thence N13°53'34"E 1127.69 feet; thence East 833.37 feet; thence North 277.03 feet to a point on the south right-of-way line of 11800 South Street; thence S89°29'48"E parallel to and 33.00 feet south the north line section 27 2496.61 feet to the point of beginning.

Contains: ±300.00 Acres

*Ck by JJB 13 September 2011*

4840-2483-2026.1

**BK 10313 PG 1505**

**EXHIBIT B**  
**Design Guidelines**



# Design Guidelines

*Creek Ridge Property*

*Administered by Design Review Committee*

*79 S. Main Street, Suite 500  
Salt Lake City, UT 84111*

*Phone 801-321-8773*

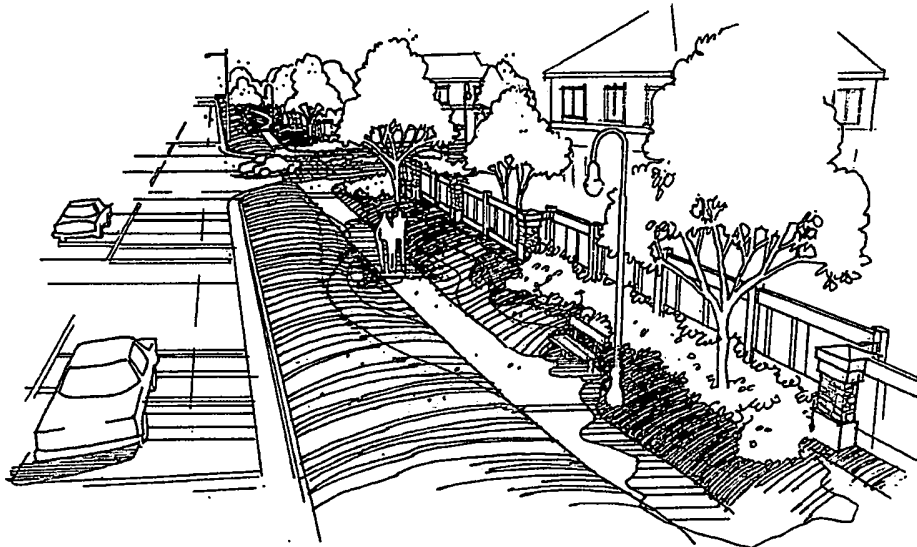
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## A. Introduction

The following is a summary of the major points describing the project:

1. **Project area**—The project area is 300.00 acres.
2. **Project Zoning**—The project is zoned R-2-10 with an approved Preliminary PUD overlay, with the exception of two zoned C-2 commercial pads on the southwest corner of 11800 South & 6400 West and the northwest corner of Herriman Parkway & 6400 West. The total area of these commercial parcels is approximately 7.0 acres.
3. **Density**—The project is approved with underlying zones of C-2 and of R-2-10 with a PUD overlay. The total allowed residential units for the project (total area less the commercial parcels) shall be 1,990 units. The property is divided in three density zones (Areas A, B & C) and shall be allocated as per the standards identified in Section C.
4. **Major Streets**—The major and minor arterial streets servicing the property (i.e., 11800 South Street, 6400 West Street, and Herriman Parkway) shall be as per the approved Preliminary PUD as adopted by the City. The interior street network will be determined upon approval of final plat applications.
5. **Open Space**—The PUD overlay requires a dedication of 20% open space for the total property zoned R-2-10. Based on the projected area of the R-2-10 zone, the project would be required to allocate approximately 58.60 acres of open space. Open space is defined by the Master Development Agreement entered into between the City and the master developer.
6. **Flexibility**—The Preliminary PUD overlay was developed with the ability to adapt to the changing market, cultural and commercial conditions during the course of the project build-out. While the plan allows a high degree of flexibility in layout and distribution of land uses throughout the site, these project guidelines incorporate additional constraints to limit the location of some land uses. (See *Preliminary PUD approved in the MDA*).



## B. Project Guidelines

- 1. Design Review Committee**  
Residential land within the property will be subject to a Declaration of Covenants, Conditions and Restrictions (CC&Rs). The CC&Rs establishes a Design Review Committee (DRC), which DRC will make decisions by referring to these guidelines but shall have the ability to reject any land use, building type or architectural elevations at its own discretion in accordance with the terms and conditions of the CC&Rs.
- 2. Purpose & Intent**  
The purpose of this document is to establish design criteria which shall govern the site development, architectural, and landscape concepts for neighborhoods within the property boundaries. The DRC will use the guidelines and other unspecified criteria as the basis for review of each individual application. These guidelines aim to ensure consistency in the application of the community's design standards. While certain design features and principles are mandated, these project guidelines are intended to promote, encourage and suggest design ideas rather than require a specific solution.
- 3. Review Schedule & Approval**  
The DRC will take action on design review submittals in accordance with the process set forth in the CC&Rs.
- 4. Compliance with Guidelines**  
Applicants should consult the DRC, regarding any revisions/changes to the governing project guidelines, prior to commencement of any design work. Any review, study and/or approval by the DRC shall not constitute an approval, ratification or endorsement of any life-safety aspects of the improvements, the quality or architectural or engineering soundness of the proposed plan or improvements, marketability of plans and designs, nor the suitability of the improvements for its intended use. The purchaser shall hold the DRC harmless regarding any liability in connection with or related to approved plans, specifications or improvements.
- 5. Modification of Project Guidelines**  
These guidelines are subject to change when the DRC determines such change is in the best interest of the property. Any change in these guidelines shall be in writing or documented and shall be at the sole discretion of the property owner.

## C. Design Review Process

### 1. Design Review Committee

The Design Review Committee (DRC) will accept applications for development from landowners or those under contract to purchase land within the project boundaries. The DRC has the responsibility to administer these guidelines and review all applications. The guidelines are not the exclusive basis for decisions of the DRC and compliance with the guidelines does not guarantee approval of any application.

All submittals must also comply with all applicable City, State and Federal codes/laws. Review and approval of any application is made on the basis of aesthetic considerations only and the DRC shall not bear any responsibility for ensuring the structural integrity or soundness of approved construction or modifications, nor for ensuring compliance with building codes and other governmental requirements.

### 2. Submittal Requirements

The applicant shall submit requested plans electronically (as identified below). Plans shall detail the proposed building by including the following documents:

- a. Design Review Application
- b. Site Development plans and documentation to include:
  - i. Site Boundary dimensions
  - ii. Easements, rights-of-way and setbacks
  - iii. Existing conditions (buildings, significant landscape features, etc.)
  - iv. Proposed site layout
  - v. Architectural “cut sheets” (refer to Appendix A)
  - vi. Building type “cut sheets” (refer to Appendix B)
    - a) Proposed elevations for each house plan of each building type
    - b) Architectural renderings of the proposed building
  - vii. Color & material maps (refer to Appendix C)
    - a) List of all exterior materials and color choices.
  - viii. Open space “cut sheets” (refer to Appendix D)
  - ix. Landscape plans including plant list
- c. The applicant will be required to demonstrate compliance with the principles outlined below for:
  - i. Building character
  - ii. Lot character
  - iii. Street character
  - iv. Block character
  - v. Neighborhood character
- d. The applicant may be required to submit additional information if the DRC determines that the submitted information is insufficient to make a complete assessment of the proposed development.
- e. The DRC will retain sole responsibility of approval for all development within the project boundary. The decisions of the DRC will be based on protecting the overall value, character and aesthetics of the entire project.
- f. The applicant will be required to obtain all necessary and required approvals and pay all applicable fees to Herriman City for all development within the project after completion of the design review process. Applicant is expected to submit an application for Final PUD Approval and comply with all codes and conditions of Herriman City Codes that otherwise are not addressed within these Project Guidelines.



### 3. Electronic Submittal Standards

All design submittals are required to be made electronically with files in PDF format (Adobe Acrobat) with the exception of color and material board(s). Electronic submissions will assist in a more timely review process and better communication between developers/homebuilders, consultants and DRC.

The standards for electronic submittals shall consist of the following requirements:

- a. File formats shall be in Adobe Acrobat (PDF) format. PDF documents shall be from an original document. No scanned PDF files shall be accepted. Final PDF documents must be assembled as complete sets (as it would be done in a hard copy format), rather than individual pages.
- b. PDF output settings must consist of:
  - i. Adobe Acrobat compatibility of 9.0 or higher.
  - ii. 300 DPI minimum
  - iii. No security settings
- c. Electronic files shall use a naming convention that will easily allow reviewers to know what each file is without having to open the file.
- d. All files shall be submitted by E-mail or hand-delivered on flash drive, CD or DVD.

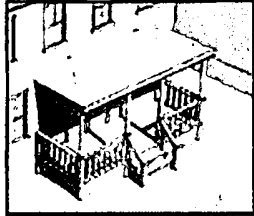
## D. Project Character

The land owner will require a developer's application to submit plans and documents that illustrate the proposed development and how it addresses design issues as it relates to the following:

### 1. Building Character

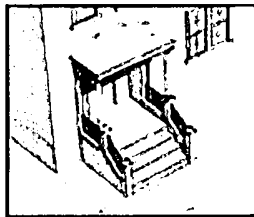
- a. **Architectural styles** - Architectural styles should tie to regional precedent (what has been used historically) and natural context (ability to play to climate and geography). Architectural styles will demonstrate a full array of architectural elements and materials associated with their chosen styles. Styles will be measured through the creation of architectural "cut sheets" (refer to Appendix A) which will clearly identify the key components and features associated with the proposed style. No three homes adjacent to, or across the street from each other, shall utilize the same house plan without the application of different architectural styles.
- b. **Elevations** - Elevations should be composed according to an architectural logic (based on its applicable style), with openings, attached architectural elements, and fixtures that relate to one another proportionally.
- c. **Frontages** - Frontages should be designed to correspond with the appropriateness of the respective architectural style being applied to a building. Subject to any applicable laws, frontages may intrude front or side setbacks (on a corner lot) to within 10 feet of the sidewalk. Frontage types may include (but are not limited to) common yard, porch, terrace, light well, stoop, or forecourt. Frontage types not described under these Guidelines may be proposed, but must be explained, demonstrated and approved by the DRC as part of the project review process.

*Building Frontage / Engagement with Street*



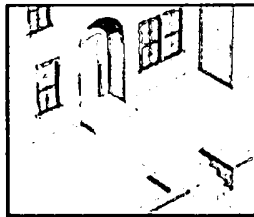
**Porch.** A structure attached to a residential building, forming a covered entrance to its interior vestibule or doorway. It is external to the walls of the building itself. The elevated ground floor of buildings with porches provide privacy for ground-floor rooms. Buildings that utilize the porch frontage tend to have larger, less urban, setbacks than buildings that employ the stoop frontage.

- Porch floors should be raised above the adjacent grade.
- Porches should be designed with sufficient depth and width to function as usable spaces.
- Porch designs should be consistent with the form, character, style and proportions of the building to which they are attached.



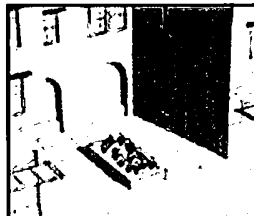
**Stoop.** A stair that provides access to the entrance of a residential home or building, typically with short front or side street setbacks. The elevated ground floor of buildings with stoops provides privacy for ground floor rooms. A roof or awning may cover a stoop.

- Stoop floors should be raised above the adjacent grade.
- Stoops may be covered, uncovered, or trellised.
- Stoop designs should be consistent with the form, character, style and proportions of the building to which they are attached.



**Terrace.** An elevated front yard that separates and sets back a building's façade from the sidewalk and the street. The terrace buffers residential uses from urban sidewalks, while removing private yards from public encroachment. Terraces of mixed-use buildings are suitable for outdoor commercial activities and must be appended onto a shop front frontage. In a residential neighborhood, terraces are typically used to absorb differences in topography across the depth of a site. Subterranean garages should not extend beneath the terrace area unless sufficient soil depth is provided for proper planting.

- Terrace heights should be of a dimension that does not isolate them from the activity of the sidewalk.
- Terraces should be designed with sufficient depth and width to function as usable spaces.



**Forecourt.** A semi-public space formed by a setback in a portion of the façade of a building. Forecourts are generally appropriate for commercial or civic use, and in some cases for vehicular drop-off.

- A variety of frontage types may be employed around the inside perimeter of a forecourt.
- Corresponding storefront openings around the inside perimeter of a forecourt are subject to the shop front design conditions.
- The forecourt may be raised from the sidewalk creating a small retaining wall at the property line with entry steps to the court. ADA access to raised courts should be accommodated within the parcel.

- d. **Design consistency** - All buildings within a project site - including accessory buildings and buildings associated with parking - should be designed to be consistent with the primary structure.
- e. **Simplicity** - Building masses should be organized as simple and well-scaled volumes. Excessive roof breaks and overly complicated hipped or gabled roofs should be avoided.
- f. **Proportion** - Building masses and building facades should be designed with simple, harmonious proportions. Arbitrary proportions should be avoided. All architectural elements (i.e. porches, balconies, canopies, doors, windows) should relate stylistically and proportionally to one another.
- g. **Exterior materials & colors** - The selection of materials, window and door assemblies, colors, and finishes should result in a finely detailed and harmonious design, whatever the choice of style. Use exterior materials in an authentic manner, consistent with selected architectural styles, and their

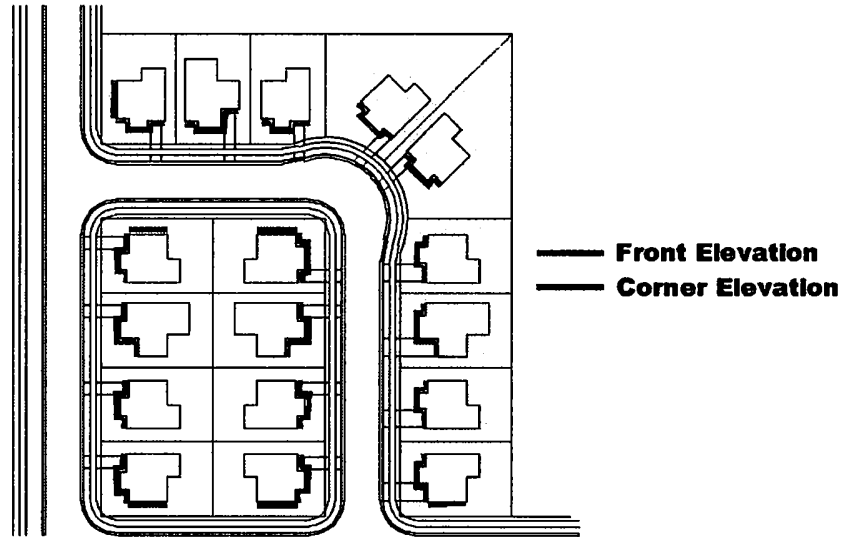
historic appearance/placement on the building. Massing should work to emphasize house entries and deemphasize the garage.

- i. Material usage shall match the architectural style and mixing of materials shall be done sensitively, not to detract from the design of the home.
  - ii. Materials shall be appropriate to the scale of the building and consistent with the character of the development.
  - iii. Heavier (load bearing) materials should be closer to the base of the building (i.e. wood above stucco or masonry, or stucco above masonry).
  - iv. Change of materials shall occur naturally (according to style) rather than indiscriminately.
  - v. Materials should wrap outside corners; termination of materials should occur at inside corners or continue for a minimum of at least 2'.
  - vi. Placement of materials should occur horizontally (vertical placement tends to defy structural and visual logic).
  - vii. Consistent use of materials should occur on all building *facades*.
  - viii. Colors for all exterior materials (siding, trim, brick, stone, mortar, stucco, etc.) should be selected appropriate to the building's architectural style and to local precedent. A variety of colors, tones and hues that are appropriate to the approved architectural styles are encouraged.
  - ix. Color change should clarify, not clutter the building design. Color changes should occur in the following locations:
    - a) Inside corners
    - b) Horizontal breaks at changes in plane or material (vertical stripes are not permitted)
    - c) Breaks between trim and wall planes
    - d) Gable ends and other accent panels
    - e) Changes in plane
  - x. A "Color & Material Map" is required for each color scheme to demonstrate color and material placement on the elevation and ensure proper relationships (refer to Appendix C).
- h. **Accessory buildings & structures** - Detached accessory buildings or structures, including but not limited to: cabana, pool houses, detached garages, green houses, or other structures, must appear as integral elements of the principal building. Unless otherwise approved by the DRC, such structures are limited to locations within rear yards. Materials, colors, finishes and style shall be carefully coordinated on all accessory structures, and demonstrate a visual relationship to the principal building. The location, size, height and placement of all accessory buildings and structures are in the sole discretion of the DRC. The DRC reserves the right to not approve an accessory building or structure that in its sole discretion it feels is too large or oversized for its proposed location on the lot. The maximum allowed height for any such structure shall not exceed the height of the principal building.

## 2. Lot Character

- a. **Staggered front yard setbacks** – A variable front yard setback should be encouraged within each block.
- b. **Variable lot width** – Providing variable lot widths within an individual product line is encouraged

- c. **Façade zones** — Front and corner lot elevations (or façades) and, in some situations rear elevations, that are visible from public areas are important to community character. It is imperative for these façades to be articulated to improve the street scene and aesthetics of the neighborhood. Façade zones will be identified as applicable front elevations, corner lots, and/or visible edges in establishing the level of architectural detail required.



- d. **Corner lots** - Buildings on corner lots should be designed to positively define and frame the public realm of both streets they front. Different frontage types can be used on each of the two street facing facades, the same frontage type can be used on each facade, or a frontage type can wrap around the corner from one facade to the other.
- e. **Landscape & Plant Materials-**
  - i. **Within the park strip**, plant materials shall be consistent with the Herriman City Approved Tree and Shrub List (§4.17.03 Herriman Development Standards)
  - ii. **On a lot the plant material shall be consistent with** the following Tree and Plant Palette:

## Tree & Plant Palette

### Large Shade Trees (>50 feet)

Specific Name	Botanical Name
Bloodgood London Plane Tree	<i>Platanus acerifolia</i> 'Bloodgood'
Bur Oak *	<i>Quercus macrocarpa</i>
Sycamore Maple *	<i>Acer psuedoplatanus</i>
Silver Linden *	<i>Tilia Tomentosa</i>
Espresso Kentucky Coffee Tree	<i>Gymnocladus dioica</i> 'Espresso'
Cimmarron Green Ash *	<i>Fraxinus pennsylvanica</i> 'Cimmarron'
Emerald Queen Norway Maple *	<i>Acer platanoides</i> 'Emerald Queen'
Accolade Hybrid Elm	<i>Ulmus x 'Accolade'</i>
Crimson King Maple	<i>Acer platanoides</i> 'Crimson King'
Austrian Pine	<i>Pinus nigra</i>

Scotch Pine	<i>Pinus sylvestris</i>
Globe Willow	<i>Salix matsudana umbraculifera</i>
English Columnar Oak	<i>Quercus robur 'Fastigiata'</i>

\* Denotes compatibility for use as a street tree.

### Medium Shade Trees (30-45 feet)

Specific Name	Botanical Name
Queen Elizabeth Hedge Maple	<i>Acer Campestre 'Queen Elizabeth'</i>
Rocky Mountain Juniper	<i>Juniperus scopulorum</i>
Shangri-la Maidenhair Tree *	<i>Ginko biloba 'Shangri-la'</i>
Armstrong Maple *	<i>Acer freemanii</i>
Common Hackberry *	<i>Celtis occidentalis</i>
Little Leaf Linden *	<i>Tilia cordata</i>
Sensation Box Elder *	<i>Acer negundo 'Sensation'</i>
Thornless Honeylocust *	<i>Gleditsia triacanthos var. inermis</i>
Gambel Oak	<i>Quercus gambelii</i>
Big Tooth Maple	<i>Acer grandidentatum</i>
Sky Rocket Juniper	<i>Juniperus scopulorum 'Skyrocket'</i>
Frontier Elm *	<i>Ulmus x 'frontier'</i>

\* Denotes compatibility for use as a street tree.

### Small Shade Trees (<25 feet)

Specific Name	Botanical Name
Service Berry	<i>Amelanchia sp.</i>
Tatarian Maple *	<i>Acer Tataricum</i>
Lavalle Hawthorn *	<i>Crataegus x lavallei</i>
Canada Red Chokecherry	<i>Prunus virginiana 'Canada Red'</i>
Amur Maackia	<i>Maackia amurensis</i>
Flowering Plum	<i>Prunus cerasifera 'Thundercloud'</i>
Crabapple	<i>Malus 'Indian Magic'</i>
Crabapple	<i>Malus 'Prairifire'</i>

\* Denotes compatibility for use as a street tree.

### Hedge

Specific Name	Botanical Name
Karl Foerster Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>
Blue Mist Spirea	<i>Caryopteris x clandonensis</i>
Rubber Rabbit Brush	<i>Chrysothamnus nauseosus</i>
Red Osier Dogwood	<i>Cornus sericea</i>
Hedge Cotoneaster	<i>Cotoneaster lucida</i>
Mormon Tea	<i>Ephedra nevadensis</i>
Forsythia	<i>Forsythia</i>
Rose of Sharron	<i>Hibiscus syriacus</i>
Utah Honeysuckle	<i>Lonicera utahensis</i>
Maiden Hair Grass	<i>Miscanthus sinensis</i>
Heavy Metal Switch Grass	<i>Panicum virgatum 'Heavy Metal'</i>
Mock Orange	<i>Philadelphus coronarius</i>
Purple Leaf Sand Cherry	<i>Prunus x cistena</i>
Squawbush Sumac	<i>Rhus trilobata</i>
Golden Currant	<i>Ribes aureum</i>
Wild Rose	<i>Rosa woodsii</i>
Sutherland Gold Elderberry	<i>Sambucus racemosa 'Sutherland Gold'</i>
Snow Berry	<i>Symphoricarpos alba</i>
Amur Maple	<i>Acer ginnala</i>

Utah Serviceberry	<i>Amelanchier utahensis</i>
Boxwood	<i>Buxus sempervirens</i>
River Birch	<i>Betula occidentalis</i> 'font clump'
Hicks Yew	<i>Taxus x media</i>
American Cranberry Bush Viburnum	<i>Viburnum trilobum</i> 'Bailey Compact'

### Ground Cover

Specific Name	Botanical Name
Bugleweed	<i>Ajuga</i>
Basket of Gold	<i>Alyssum</i>
Compinkie Rockcress	<i>Arabis alpina</i> 'Compinkie'
Kinnikinnik	<i>Arctostaphylos uva ursi</i>
Rockcress	<i>Aubrieta</i>
Chocolate Flower	<i>Berlandiera lyrata</i>
Poppy Mallow	<i>Callirhoe involucrata</i>
Snow in Summer	<i>Cerastium arvense</i>
Dwarf Tickseed	<i>Coreopsis</i> 'nana'
Hardy Ice Plant	<i>Delosperma</i>
Yarrow	<i>Achillea millefolium</i>
Sulphur Flower	<i>Eriogonum umbrellatum aureum</i>
Goblin Blanket Flower	<i>Gaillardia</i> 'Goblin'
Mountain Boxwood	<i>Pachistima myrsinides</i>
Sedum	<i>Sedum</i>
Scarlet Globemallow	<i>Sphaeralcea coccinea</i>
Lambs Ear	<i>Stachys Byzantine</i> 'Helen Von Stein'

### Small Shrub

Specific Name	Botanical Name
Silvermound Sage	<i>Artemisia schmidtiana</i>
Black Sage	<i>Artemisia nova</i>
Creeping Potentilla	<i>Potentilla neumanniana</i>
Dwarf Mugo Pine	<i>Pinus mugo</i> Mops

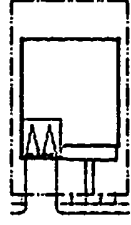
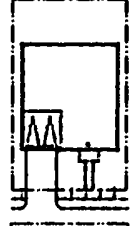
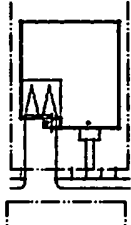
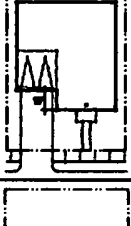
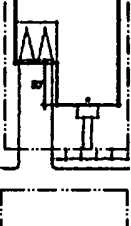
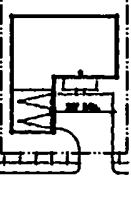
### 3. Street Character

- a. **Relationship to public realm** - Buildings should be oriented to positively define and frame adjacent public streets, and/or public or common spaces, while promoting the collective form of neighborhoods by:
  - i. Matching or complementing adjacent building setbacks;
  - ii. Matching or complementing adjacent building heights and massing;
  - iii. Completing the streetscape pattern of the street they front.
  
- b. **Relationship to neighboring homes** – Houses should be designed to relate to their neighbors rather than as a stand-alone building. This can be accomplished by, among other things:
  - i. Matching existing building heights or exceeding them by only one story.
  - ii. Orienting the side yards in order to preserve the privacy of the outdoor spaces of both.
  - iii. Modulating side yard and rear yard volumes to provide as much distance as possible between the facades in order to preserve privacy of the outdoor spaces of both.
  - iv. The placement and size of windows in side and rear yards should be designed with care and sensitivity for the preservation of privacy between buildings.

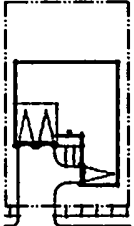
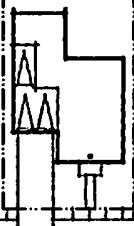
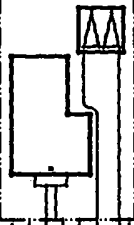
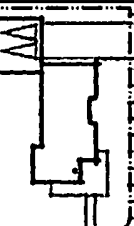
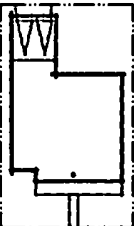
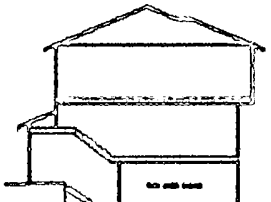
- c. **Activating the street** - Buildings should be designed with frontages that engage the street by providing direct access to the public realm (street or open space).
- d. **Terminated vistas** - The massing of new buildings at street terminations should be designed to acknowledge, through their form, the centrality of their placement relative to the right of way. They should be either placed on the street's center line, or positioned in a manner that convincingly shows that they were not meant to be centered.
- e. **Window and door size and placement** - Windows and doorways should be designed to reflect the character and size of the rooms to which they belong. The composition of street facing elevations should organize these windows, doors, and the space between them into a clear and legible pattern appropriate to both the style of the building and the scale of the street it faces.
- f. **Front yard continuity** - The front-yard landscape of new buildings should be continuous and coordinated with that of existing neighboring ones.

#### 4. Block Character

- a. **Scale** - Buildings should be scaled to respond to their context by sensitively and positively addressing the scale and massing of their adjacent neighbors.
- b. **Transitions** - Higher-density projects need to respond to lower-density, existing buildings through compatible massing and thoughtfully designed side yard elevations.
- c. **Side and rear elevations** - The rear and/or side elevations of new buildings that are visible from the public realm should be designed with equal care and quality as the front or principal façade.
- d. **Side and rear windows** - The placement and size of windows in side yards and rear yards should respect the privacy and need for light and air of existing or neighboring buildings.
- e. **Building entrances** - Buildings should be entered directly and prominently from the street. Entrance ways and doorways should be clearly identifiable as prominent points of access into buildings.
- f. **Garage entrances** - Garage entrances should be minimized when reasonably possible within the front elevation of buildings by varying garage orientation and setbacks based on product type, lot size and architectural style. The scale, shape, character, material, panel pattern, window type and color of the door shall correlate with the architectural style of the home. To incorporate the door into the collective design of the home, the garage door shall be inset within the garage door opening as appropriate to the architectural style. Garage orientations include but are not limited to recessed, tuck under, flush, swing-in, split tandem, detached rear yard, side-entry, alley-loaded, etc. Garage options to accommodate larger cars, SUVs, commercial vehicles and storage area recommended.

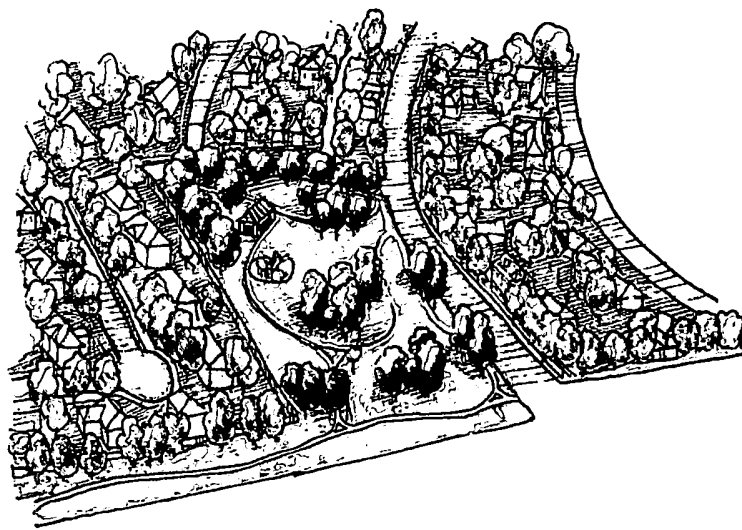
<i>Garage Types</i>	<i>Requirements</i>	<i>Example</i>
<i>Forward</i>	<ul style="list-style-type: none"> <li>Permitted on lots at least 50' in width</li> <li>No recess required. Garage face can be in front of the front façade.</li> <li>Integrate the garage into the architectural design of the home</li> <li>Requires the use of a porch frontage type (6 foot min. porch depth)</li> <li>Garage door(s) shall be inset within the garage door opening a minimum of 8"</li> </ul>	
<i>Flush</i>	<ul style="list-style-type: none"> <li>Permitted on lots at least 45' in width</li> <li>No recess required. Garage face can be parallel to the front façade.</li> <li>Integrate the garage into the architectural design of the home</li> <li>Garage door(s) shall be inset within the garage door opening a minimum of 8"</li> </ul>	
<i>Shallow-Recessed</i>	<ul style="list-style-type: none"> <li>Recessed 5' from front living area or 6' from a front porch</li> <li>Integrate the garage into the architectural design of the home</li> <li>Garage door(s) shall be inset within the garage door opening a minimum of 8"</li> </ul>	
<i>Mid-Recessed</i>	<ul style="list-style-type: none"> <li>Recessed 10' from front living area</li> <li>Integrate the garage into the architectural design of the home</li> <li>Garage door(s) shall be inset within the garage door opening a minimum of 8"</li> </ul>	
<i>Deep Recessed</i>	<ul style="list-style-type: none"> <li>Recessed 20' from front living area</li> <li>Integrate the garage into the architectural design of the home</li> <li>Garage door(s) shall be recessed a minimum of 8'</li> </ul>	
<i>Swing-In</i>	<ul style="list-style-type: none"> <li>Permitted on lots at least 60' in width</li> <li>Street-facing walls shall have the same architectural treatment as the front elevation</li> <li>Include at least one street-facing window</li> <li>Integrate the garage in the architectural design of the home</li> <li>Back-up space of 28' required</li> <li>Garage door(s) shall be recessed a minimum of 8'</li> </ul>	



<p><i>Split</i></p>	<ul style="list-style-type: none"> <li>Permitted on lots at least 60' in width</li> <li>Integrate the garages in the architectural design of the home</li> <li>Back-up space of 28' required</li> <li>Double-car garage doors shall be inset within the garage door opening a minimum of 8"; single-car garage door shall be recessed a minimum of 8"</li> </ul>	
<p><i>Tandem</i></p>	<ul style="list-style-type: none"> <li>Integrate the garage in the architectural design of the home</li> <li>Double-car garage doors shall be inset within the garage door opening a minimum of 8"; single-car garage shall be recessed a minimum of 8"</li> </ul>	
<p><i>Detached Rear Yard</i></p>	<ul style="list-style-type: none"> <li>The garage shall have the same architectural design as the home</li> <li>Garage door(s) shall be recessed a minimum of 8"</li> </ul>	
<p><i>Side-Entry</i></p>	<ul style="list-style-type: none"> <li>Allows garage orientation flexibility for corner lots</li> <li>Integrate the garage into the architectural design of the home</li> <li>Garage door(s) shall be inset within the garage door opening a minimum of 8"</li> </ul>	
<p><i>Alley-Loaded</i></p>	<ul style="list-style-type: none"> <li>Maximum of one (1) plan per product may have second-story living area flush with garage</li> <li>Otherwise, minimum recess or cantilever is 2'</li> <li>Integrate the garage into the architectural design of the home</li> <li>Garage door(s) shall be inset within the garage door opening a minimum of 8"</li> </ul>	
<p><i>Tuck-Under / Subterranean</i></p>	<ul style="list-style-type: none"> <li>Locate garage(s) below living area at a lower grade than the street to reduce the visual impact</li> <li>Set the garage back from the front building face to reduce the mass of the garage</li> </ul>	

**5. Neighborhood Character**

- a. **Neighborhood edge** – Streets on the edge of neighborhoods should be major streets containing public open space or higher intensity buildings which front the street.
- b. **Streets** – Streets should be designed to foster pedestrian comfort.
- c. **Open space** - Open space fulfills many different functions for a community; therefore, different types of open space are appropriate for different areas. The open space descriptions below are provided as examples and are not intended to describe or define open space, which is defined in the MDA. The terms and conditions set forth in the MDA will control the definition and treatment of open space in the project.



<i>Open Space</i>	<i>General Description</i>	<i>Typical Size</i>	<i>Service Radius</i>	<i>Examples</i>
<b>Square</b>	A public space, seldom larger than a block at the intersection of important street and circumscribed spatially by building frontages. Its landscape often consists of paths, lawns, trees, and civic buildings all formally disposed and requiring substantial maintenance. Often understood as the heart or center of a neighborhood or district	1 to 3 acres	1/8 to 1/4 mile radius	Pioneer Square (Portland Square)
<b>Plaza</b>	Available for civic purposes and commercial activities. Spatially defined by building frontages. Design consists primarily of pavement with optional trees. Located at intersections of important streets. Programmed with passive uses and serves as point of respite.	Up to 2 acres	1/4 to 1/2 mile radius	Olympic Plaza @ Gateway (Salt Lake City, UT)
<b>Entrance Park</b>	Formal delineation of a residential community entrance through landscaping and monumentation. It provides passive uses and creates neighborhood identity.	Up to 1 acre	N/A	Daybreak (South Jordan, UT)
<b>Pocket Park</b>	Small and frequent, generally with passive recreation that ensures walkable green space access for everyone. May contain specialized facilities that serve a concentrated or limited population or group such as tots, pets, or senior citizens.	2,500 SF to 1 acre	1/4 mile radius	Davis Park (Salt Lake City, UT)
<b>Neighborhood Park</b>	The neighborhood park remains the basic unit of the park system and serves as the recreational and social focus of the neighborhood. The focus is on informal active and passive recreation. The park should be centrally located within the	3 to 10 acres	1/4 to 1/2 mile radius	Reservoir Park (Salt Lake City, UT)

	neighborhood. Frequently these parks are developed adjacent to civic uses such as an elementary school.			
<b>Community Park</b>	The focus of this park classification is on meeting community based recreational needs, as well as preserving unique landscapes and open spaces. They allow group activities and offer other recreational opportunities not feasible at the neighborhood level. They should be developed for both active and passive recreation activities and serve two or more neighborhoods. Regardless of size, parks will be deemed Community Parks if they provide restroom facilities, parking lots, or other amenities that would service patrons who travel to the park.	10 to 20 acres	1/2 to 2 mile radius	Scera Park (Orem, UT)
<b>Regional Park</b>	Serves a broader purpose than community parks and is used when community and neighborhood parks are not adequate to serve the needs of the community. Focus is on meeting community-based recreation needs as well as preserving unique landscapes and open space.	20+ acres	2 mile radius	Liberty Park (Salt Lake City, UT)
<b>School Park</b>	School site that can be classified as fulfilling specific public space requirements for other classes of parks such as neighborhood, community, sports complex, and special use. Joint-use agreement required.	5 to 8 acres	1/2 mile radius	Farmington Elementary-Main City Park (Farmington, UT)
<b>Sports Complex</b>	Heavily-programmed athletic fields and associated facilities at larger and fewer sites strategically located throughout the community. Locate with good automotive and pedestrian access.	40 to 150 acres	2 to 5 mile radius	Sunnyside Park (Salt Lake City, UT)
<b>Special Use</b>	Covers a broad range of parks and recreation facilities oriented toward single-purpose use. Special uses generally fall into three categories: Historic/Cultural/Social Sites (ex: historic downtown areas, performing arts parks, arboretums, ornamental gardens, indoor theaters, churches, public buildings and amphitheaters). Recreation facilities (i.e. either specialized or single-purpose facilities) fall into this category; for example, community centers, senior centers, hockey arenas, marinas, golf courses and aquatic parks. Frequently community buildings and recreational facilities are located within neighborhood parks and community parks.	Varies	Varies	Pioneer Monument State Park (Salt Lake City, UT)
<b>Park Lawn</b>	Open space within a public right-of-way that allows for passive use, bus stops, shade trees and ornamental landscaping. (Only the portion of a park lawn that exceeds the city standard of 5 feet in width may be applied towards open space.)	Varies	Varies	South Temple (Salt Lake City, UT)
<b>Connector Trail</b>	Secondary public connections for pedestrians and cyclists. Located as mid-block connections, linkages between other park spaces. Typically less than 20 feet in width with minimal landscaping.	Varies	Varies	Boise Greenbelt (Boise, ID)
<b>Paseo</b>	Linear pedestrian corridor that is defined by homes fronting the space. Often includes passive activities as well as tot lots, community gardens, and neighborhood games.	0.5 to 2 acres	Varies	Daybreak (South Jordan, UT)

- Access to all public open space, natural and developed, shall be provided directly from the public street/sidewalk system or through a public facility.
- Open space should be used to enhance the value and amenity of surrounding development.
- Safety shall be taken into consideration through the layout and design of open spaces. Since visibility from public streets plays an important role in the self-policing of open spaces, special care shall be taken not to restrict visibility into developed open space.

- i. **Publicly Accessible Open Space** – Individual Builders or Developers within the project will be required to accommodate the need for additional open space within individual projects (beyond that dedicated as part of the roughly 45 acre main park and as required by the PUD ordinance to dedicate or grant access to 20% of the total PUD property). Such open space may be incorporated into other functions pursuant to the terms of the MDA. Development within the remaining 251 acres (approx.) of property within the R-2-10 zone district will be required to provide an additional approximately 58.6 acres of required public open space.

- ii. **Public Trails**—Individual Builders or Developers within the project will be required to accommodate a trail system. Trails will be required to connect to any existing adjacent trails. Trails may be relocated through or around proposed projects provided they allow for a continuous trail system.

## E. Building & Site Standards

The following criteria in Section E shall be used by the Planning Commission to evaluate Final Plat applications for individual projects proposed within the development (unless otherwise approved by the Planning Commission).

### 1. Scope & Authority

Planning Commission shall review all applications for development within the project according to the standards outlined in this section. Any items not addressed in this section shall be reviewed in accordance with the current Herriman City Code at time of annexation of the Property into Herriman City, subject to the terms and conditions of the MDA.. Planning Commission shall require a written statement of approval from the Design Review Committee (DRC) stating compliance and approval..

### 2. Density Distribution

The project is approved with underlying zones of C-2 and of R-2-10 with a PUD overlay. The total allowed residential units for the project (total area less the commercial parcels) shall be 1,990 units. The distribution of units is identified in the Project Guidelines.

Area A	Acres	du/ac	Units
Multi-family – Apartment Site 1	15	20	300
Multi-family – Apartment Site 2	15	20	300
Residential	108.65	8	915
Maximum Total Units			1,515

Area B	Acres	du/ac	Units
Single-family Residential	71.12	7	520

Area C	Acres	du/ac	Units
Single-family Residential	38.23	3	117

In the event that either apartment project allowed in Area A is not built, the total number of units allocated shall be transferred to the Residential component of Area A. In addition, if other non-residential land uses are incorporated into the plan (i.e. churches, schools, etc.), the corresponding amount of density within the respective Development Area of the plan shall be reduced as per the allocated density of that Area.

### 3. Lot Widths & Setbacks

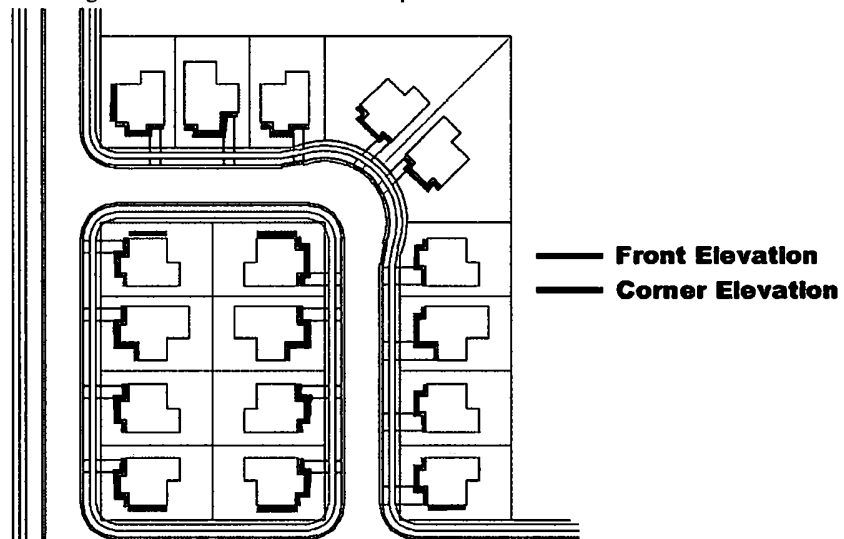
Minimum lot widths and setbacks shall be as follows (unless otherwise approved by the Planning Commission):

Dwelling type	Front-yard Setback	Rear-yard Setback	Side-yard Setback	Lot Frontage
Single-family detached	10' for living area 20' from face of garage to property line	15' Minimum	5' Minimum (Minimum 10' between adjacent homes)	35' Minimum
Multi-family	20' Minimum	10' Minimum	10' Minimum	n/a

- a. *Accessory Building Setback Standard*—Accessory buildings (detached garages, workshops, sheds, etc.) shall be a minimum of 5' setback from all property lines and shall not impose hardship on a neighboring property (e.g. storm water runoff from roof overhangs).

4. Lot Character

- a. *Staggered front yard setbacks* – A variable front yard setback should be encouraged within each block.
- b. *Variable lot width* – Providing variable lot widths within an individual product line is encouraged
- c. *Façade zones* — Front and corner lot elevations (or façades) and, in some situations rear elevations, that are visible from public areas are important to community character. It is imperative for these façades to be articulated to improve the street scene and aesthetics of the neighborhood. Façade zones will be identified as applicable front elevations, corner lots, and/or visible edges in establishing the level of architectural detail required.



5. Building Heights

Building height restrictions shall be as follows (unless otherwise approved by the Planning Commission):

<i>Dwelling type</i>	<i>Story Height</i>	<i>Maximum Stories</i>	<i>Height Measurement</i>
Single-family detached	12'	3	Maximum height measured to top of ceiling plate of top story
Accessory Building	10'	1	
Multi-family	12'	3	

Building height is measured in stories for each above-ground level according to the following:

- a. Stories are measured from finished floor to finished ceiling.
- b. Unfinished attics do not count towards building height. Finished attics count toward ½-story.
- c. Raised basements greater than 3 feet above grade at the principal frontage are counted as a story.
- d. Walk-out basements are not counted as a story, provided the front elevation does not expose more than 3' of the basement story.

6. Exterior Building Materials

Building materials for single-family and multi-family developments shall conform, at a minimum, to Herriman City Design Standards for medium and high-density projects and shall meet all conditions of the Design Review Committee. Applicants will be required to submit to Herriman City all architectural

elevations required by City standards, as well as architectural style cut sheet(s), building type cut sheet(s), open space cut sheet(s), and architectural color & materials map(s). (See appendices for examples.)

**7. Parking**

Parking requirements shall be as follows (unless otherwise approved by the Planning Commission):

<i>Dwelling type</i>	<i>Parking Required/unit</i>	<i>Guest Parking Spaces</i>	<i>Notes</i>
Single-family homes	2 sp/unit	0	Tandem parking to meet required parking is allowed behind garage spaces provided the space does not encroach into sidewalks or public rights-of-way
Town homes that are alley loaded	2.5 sp/unit	0.5 per unit	Tandem parking to meet required parking is allowed behind garage spaces provided the garage and tandem space are assigned to a specific unit and the space does not encroach into sidewalks or travel lanes substantiated by a parking analysis
Town homes that are not alley loaded	2 sp/unit	0.5	Tandem parking to meet required parking is allowed behind garage spaces provided the garage and tandem space are assigned to a specific unit and the space does not encroach into sidewalks or travel lanes substantiated by a parking analysis
Multi-family Apartments	1.75 sp/unit	0.125 per units	Tandem parking to meet required parking is allowed behind garage spaces provided the garage and tandem space are assigned to a specific unit and the space does not encroach into sidewalks or travel lanes substantiated by a parking analysis

**8. Landscape & Plant Materials**

Plant Materials shall be consistent with the Herriman City Approved Tree and Shrub List (§4.17.03 Herriman Development Standards).

Applicants will be required to submit landscape plans for review for each individual site within the project boundary. Special care will be taken in reviewing the landscape for areas visible from public rights-of-way within any front or side setback.

Front and side yards, visible from the street, shall be installed prior to occupancy per Herriman City Ordinance 9-4-3. Rear yards that are visible from the street shall be maintained so vegetation is not unruly.

**9. Street Layouts**

Major street and street connections shall be consistent with the terms and conditions of the MDA and the infrastructure plans and mutually agreed upon by Herriman City and the master developer. Widths of streets shall be consistent with these Project Guidelines and consistent with the appropriate street classifications as identified in traffic studies and the Master Transportation Plan adopted by Herriman City. The design of interior streets should consider allowing the creation and use of non-conventional street standards.

**10. Roadway design**

**a. Road Cross-sections**

Typical road cross-sections shall be modified as shown below. Additional width of park strips may be counted as open space toward the required open space amount.

- b. **Engineering cross-section (asphalt profile)**  
Road profile cross-section (i.e. thickness of asphalt profile and depth of gravel base) shall be determined based on the recommendation of a geotechnical engineer and location-specific conditions & criteria.

#### 11. Open Space

- a. **Publicly Accessible Open Space**— Individual Builders or Developers within the project will be required to accommodate the need for additional open space within individual projects (beyond that dedicated as part of the roughly 45 acre main park and as required by the PUD ordinance to dedicate or grant access to 20% of the total PUD property). Such open space may be incorporated into other functions pursuant to the terms of the MDA.
- b. **Public Trails**— Individual Builders or Developers within the project will be required to accommodate a trail system. Trails will be required to connect to any existing adjacent trails. Trails may be relocated through or around proposed projects provided they allow for a continuous trail system.





## **F. Appendices**

### **Example(s) of Architectural Cut Sheets**

*NOTE: The following cut sheets are examples of the type of cut sheets that will be developed by the builder/developer and will be submitted to the DRC & the Herriman Planning Commission for review and approval. These cut sheets are not intended to be proposals for architectural product or styles for the Creek Ridge Project, but rather an example of what the planning commission and DRC will expect to see from developers.*

# Appendix A

## Example(s) of Architectural Cut Sheets

(To be submitted to DRC & Planning Commission by builder/developer)

### American Foursquare

#### Identifying Characteristics

- Simple box shape
- 2 ½ stories high
- Large central dormer
- Full width one-story porch with square columns and wide stairs



#### Building Form

- Symmetrical building form
- Two-story rectangular massing

#### Roofs

- Hipped or pyramid roof line
- Deep overhanging eaves
- Front single dormer
- Roof pitch - 3:12 to 6:12
- Roof overhang
  - Eaves - 18 inches

#### Elevations

- **Front elevations:** Stucco, fiber-cement siding, smart board siding, shingle, stone, and/or brick. May have different siding materials on the upper and lower walls.
- **Side elevations:** Front elevation materials must wrap the corner of the house a minimum of 18 inches, or a change of materials must occur at an inside corner. When in public view additional detailing is required to occur.
- **Rear elevations:** Must have detailing consistent with the architectural style. When in public view additional detailing is required to occur such as stepping of elevations, massing variation and varied patio elements.

#### Windows

- One-over-one
- Multi-over-one
- Rectangular tops

#### Entries

- Full width one-story porch with square columns and wide stairs

#### Doors

- Single door
- Large pane glazing
- Rectangular

#### Detail Elements

- Brick pedestals
- Gable dormer
- Exposed rafter tails

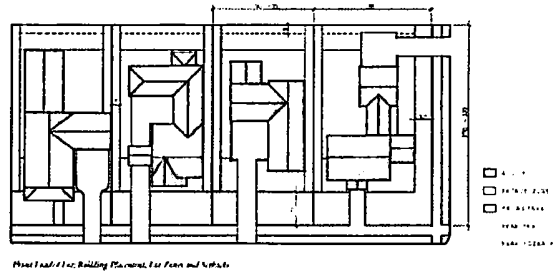
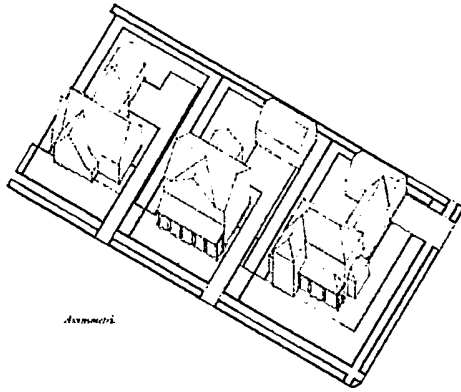
#### Colors / Materials

- Natural earth tone
- Darker rich tone
- Classic architectural palette
- Stucco
- Fiber cement siding
- Shingle
- Brick
- Stone

## Appendix B

### Example(s) of Building Type Cut Sheets

(To be submitted to DRC & Planning Commission by builder/developer)



#### 1. GENERAL APPLICABILITY

- Interior lots: 50-70 feet by 100-120 feet
- Corner lots: 55 feet by 100-120 feet
- Maximum 40% lot coverage

#### 2. SETBACKS FROM ADJACENT

- Front Yard: 15 feet to the house; 18 feet behind front facade to street-facing engaged garage, 0 feet if garage doors face side yard
- Side Street: 15 feet to the house; 20 feet to the garage
- Side Yard: 5 feet to the house and garage
- Rear Yard: 20 feet to the house; 5 feet to the garage

#### 3. FRONT YARD SETBACKS FROM ALL

- Porches 5 feet into front yard and side street setbacks only
- Balconies 5 feet into front yard and side street setbacks only
- Bay windows 2 feet
- Fireplace/Media Center 2 feet (10 feet maximum width)
- Patio 2 feet

#### 4. REAR YARD DRIVE

- Semi-attached, side street drive (located at rear setback line)
- Engaged garage
- Detached, side yard drive (located at rear setback line)

#### 5. MINIMUM AREA

- 1,500 to 2,400 square feet
- Maximum single-story footprint is 1,600 square feet

# Appendix C

## Example(s) of Architectural Color & Material Map

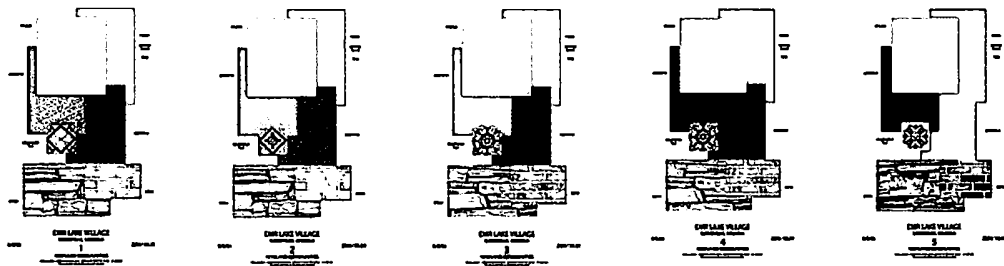
(To be submitted to DRC & Planning Commission by builder/developer)



Diagrammatic representation of color locations for building elements



Application of color palette on proposed home



Potential Color / Building Material Palettes

# Appendix D

## Example(s) of Open Space Cut Sheets

(To be submitted to DRC & Planning Commission by builder/developer)

### Community Park

**Description**

The focus of this park classification is on meeting community based recreational needs, as well as preserving unique landscapes and open spaces. They allow for group activities and offer other recreational opportunities not feasible at the neighborhood level. They should be developed for both active and passive recreation activities and serve two or more neighborhoods.

**Size**

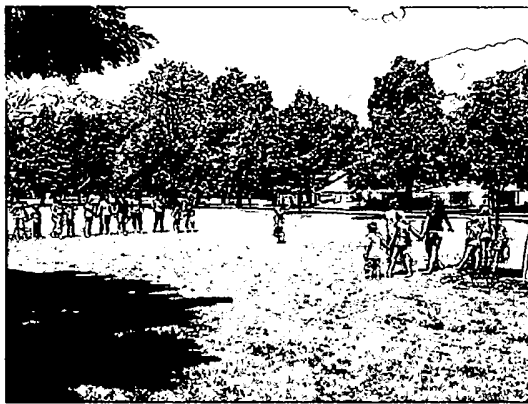
10 to 20 acres

**Service**

1/2 to 2 mile radius

**Examples**

Scera Park - Orem, Utah



### Pocket Park

**Description**

Small and frequent, generally with passive recreation that ensures walkable green space access for everyone. May contain specialized facilities that serve a concentrated or limited population or group such as tots, pets, or senior citizens.

**Size**

2,500 SF to 1.0 Acre

**Service**

1/4 mile radius

**Examples**

Davis Park - Salt Lake City, Utah

