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ADAM GARDINER
RECORDER, SALT LAKE COUNTY, UTAH
CITY OF DRAPER
1020 E PIONEER RD
DRAPER UT 84020
BY: BAA, DEPUTY - WI 32 P.

When recorded, mail to:

Draper City Recorder
1020 East Pioneer Road
Draper City, Utah 84081

Affects Parcel No(s): 28-28-302-022

STORMWATER POLLUTION PREVENTION MAINTENANCE AGREEMENT

This Stormwater Pollution Prevention Maintenance Agreement ("Agreement") is made and entered into this _____ day of _____, 20 18, by and between Draper City, a Utah municipal corporation ("City"), and Liberty Point Associates, LLC, a Utah limited liability company ("Owner").

RECITALS

WHEREAS, the City is authorized and required to regulate and control the disposition of storm and surface waters, as set forth in the Draper City Municipal Code Chapter 16-2, as amended ("Ordinance"), adopted pursuant to the Utah Water Quality Act, as set forth in *Utah Code Ann.* §§ 19-5-101, *et seq.*, as amended ("Act"); and

WHEREAS, the Owner hereby represents and acknowledges that it is the owner in fee simple of certain real property more particularly described in Exhibit "A," attached hereto and incorporated herein by this reference ("Property"); and

WHEREAS, the Owner desires to build or develop the Property and/or to conduct certain regulated construction activities on the Property which will alter existing storm and surface water conditions on the Property and/or adjacent lands; or

WHEREAS, the Owner's existing property will be completed after January 1, 2003; will disturb an area greater than or equal to one acre, or disturbed less than one acre and is part of a larger common plan of development or sale; and is served by a private on-site stormwater management facility; and

WHEREAS, in order to accommodate and regulate storm and surface water flow conditions, the Owner is required by federal, state, and local law to build and maintain at Owner's expense a storm and surface water management facility or improvements ("Stormwater Facilities"); and

WHEREAS, the Stormwater Facilities are more particularly described and shown in the final site plan or subdivision approved for the Property and related engineering drawings, and any amendments thereto, which plans and drawings are on file with the City and are hereby incorporated herein by this reference ("Development Plan"); and

WHEREAS, the summary description of all Stormwater Facilities, details and all appurtenance draining to and affecting the Stormwater Facilities and establishing the standard operation and routine maintenance procedures for the Stormwater Facilities, and control measures installed on the Property, ("Stormwater Maintenance and Preservation Plan") is more particularly shown in Exhibit "B" on file with the County Recorder's Office; and

WHEREAS, a condition of Development Plan approval, and as required as part of the City's Small MS4 UPDES General Permit from the State of Utah, Owner is required to enter into this Agreement establishing a means of documenting the execution of the Stormwater Maintenance and Preservation Plan; and

NOW, THEREFORE, in consideration of the benefits received and to be received by the Owner, its successors and assigns, as a result of the City's approval of the Stormwater Maintenance and Preservation Plan, and the mutual covenants contained herein, the parties agree as follows:

Section 1

Construction of Stormwater Facilities. The Owner shall, at its sole cost and expense, construct the Stormwater Facilities in accordance with the Development Plans and specifications, and any amendments thereto which have been approved by the City.

Section 2

Maintenance of Stormwater Facilities. The Owner shall, at its sole cost and expense, adequately maintain the Stormwater Facilities. Owner's maintenance obligations shall include all systems and appurtenances built to convey stormwater, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance, for purposes of this Agreement, is defined as good working condition so that the Stormwater Facilities are performing their design functions. The Owner shall, at its sole cost and expense, perform all work necessary to keep the Stormwater Facilities in good working condition.

Section 3

Annual Maintenance Report of Stormwater Facilities. The Owner shall, at its sole cost and expense, inspect the Stormwater Facilities and submit an inspection report and certification to the City. The purpose of the inspection and certification is to assure safe

and proper functioning of the Stormwater Facilities. The annual inspection shall cover all aspects of the Stormwater Facilities, including, but not limited to, the parking lots, structural improvements, berms, channels, outlet structure, pond areas, access roads, vegetation, landscaping, etc. Deficiencies shall be noted in the inspection report. The report shall also contain a certification by the Owner, or the Owner's officers, employees, agents, and representatives as to whether adequate maintenance has been performed and whether the structural controls are operating as designed to protect water quality. The annual inspection report and certification shall be due by July 31st of each year and shall be on forms acceptable to the City.

Section 4

City Oversight Inspection Authority. The Owner hereby grants permission to the City, its authorized agents and employees, to enter upon the Property and to inspect the Stormwater Facilities upon reasonable notice to the Owner of at least three business days. Such inspections shall be conducted in a reasonable manner and at reasonable times, as determined appropriate by the City. The purpose of the inspection shall be to determine and ensure that the Stormwater Facilities are being adequately maintained, are continuing to perform in an adequate manner, and are in compliance with the Act, the Ordinance, and the Stormwater Facilities Maintenance Plan.

Section 5

Notice of Deficiencies. If the City finds that the Stormwater Facilities contain any defects or are not being maintained adequately, the City shall send Owner written notice of the defects or deficiencies and provide Owner with a reasonable time, but not less than sixty (60) days, to cure such defects or deficiencies. Such notice shall be confirmed delivery to the Owner or sent certified mail to the Owner at the address listed with the County Tax Assessor.

Section 6

Owner to Make Repairs. The Owner shall, at its sole cost and expense, make such repairs, inspections, changes or modifications to the Stormwater Facilities as may be determined as reasonably necessary by the City within the required cure period to ensure that the Stormwater Facilities are adequately maintained and continue to operate as designed and approved.

Section 7

City's Corrective Action Authority. In the event the Owner fails to adequately maintain the Stormwater Facilities in good working condition acceptable to the City, the City may correct a violation of the design standards or maintenance needs by performing all necessary work to place the facility in proper working condition. Prior to commencing work the City shall have complied with Section 5 and given Owner a second notice to cure or correct within 15 days served according to the delivery methods described in Section 5

It is expressly understood and agreed that the City is under no obligation to maintain or repair the Stormwater Facilities, and in no event shall this Agreement be construed to impose any such obligation on the City. The actions described in this Section are in

addition to and not in lieu of any and all equitable remedies available to the City as provided by law for Owner's failure to remedy deficiencies or any other failure to perform under the terms and conditions of this Agreement.

Section 8

Reimbursement of Costs. In the event the City, pursuant to this Agreement, incurs any costs, or expends any funds resulting from enforcement or cost for labor, inspections, use of equipment, supplies, materials, and the like related to storm drain disconnection from the City system, the Owner shall reimburse the City upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the City. Owner shall also be liable for any collection costs, including attorneys' fees and court costs, incurred by the City in collection of delinquent payments.

Section 9

Successor and Assigns. This Agreement shall be recorded in the County Recorder's Office and the covenants and agreements contained herein shall run with the land and whenever the Property shall be held, sold, conveyed or otherwise transferred, it shall be subject to the covenants, stipulations, agreements and provisions of this Agreement which shall apply to, bind and be obligatory upon the Owner hereto, its successors and assigns, and shall bind all present and subsequent owners of the Property described herein.

Section 10

Severability Clause. The provisions of this Agreement shall be severable and if any phrase, clause, sentence or provision is declared unconstitutional, or the applicability thereof to the Owner, its successors and assigns, is held invalid, the remainder of this Covenant shall not be affected thereby.

Section 11

Utah Law and Venue. This Agreement shall be interpreted under the laws of the State of Utah. Any and all suits for any claims or for any and every breach or dispute arising out of this Agreement shall be maintained in the appropriate court of competent jurisdiction in Salt Lake County, Utah.

Section 12

Indemnification. This Agreement imposes no liability of any kind whatsoever on the City. The Owner hereby agrees to indemnify and hold the City and its officers, employees, agents and representatives from and against all actions, claims, lawsuits, proceedings, liability, damages, accidents, casualties, losses, claims, and expenses (including attorneys' fees and court costs) that directly result from the performance of this agreement, but only to the extent the same are caused by any negligent or wrongful act or omissions of the Owner, or the Owner's officers, employees, agents, and representatives.

Section 13

Amendments. This Agreement shall not be modified except by written instrument executed by the City and the Owner of the Property at the time of modification, and no modification shall be effective until recorded in the County Recorder's Office.

Section 14

Subordination Requirement. If there is a lien, trust deed or other property interest recorded against the Property, the trustee, lien holder, etc., shall be required to execute a subordination agreement or other acceptable recorded document agreeing to subordinate their interest to the Agreement.

Section 15

Exhibit B. Stormwater Maintenance and Preservation Plan (SWMP) must adapt to change in good judgment when site conditions and operations change and when existing programs are ineffective. Exhibit B shall be filed with this agreement at the County Recorder's Office.

STORMWATER POLLUTION PREVENTION MAINTENANCE AGREEMENT

SO AGREED this _____ day of _____ 20_____.

PROPERTY OWNER: Liberty Point Associates, LLC, A Utah limited liability Company, by its Manager, Cowboy Partners, L.C., a Utah limited liability company

By: [Signature] Title: Vice President

By: _____ Title: _____

STATE OF UTAH)

:SS.

COUNTY OF)

The above instrument was acknowledged before me by _____, this 31st day of January, 2018.

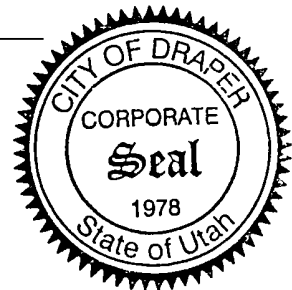
[Signature]
Notary Public
Residing in: Salt Lake City
My commission expires: 6/28/2020



DRAPER CITY

By: [Signature] Date: 4.6.18
Mayor Troy K. Walker

Attest: [Signature]
City Recorder



STATE OF UTAH)

:SS.

COUNTY OF)

The above instrument was acknowledged before me by Troy Walker, this 6 day of April, 2018.

[Signature]
Notary Public
Residing in: Salt Lake County
My commission expires: Jan. 7, 2019



Attachments:

Exhibit A: Plat and Legal Description

Exhibit B: Stormwater Maintenance and Preservation Plan

EXHIBIT A

Parcel 28-28-302-022-0000
12243 South Draper Gate Drive
Draper, UT 84020
Lot 4D-2, American Estate Management Corp.
Commercial Subdivision Amended Plat No. 3
A part of the South West Quarter of Section 28,
Township 3 South, Range 1 East, Salt Lake Base and Meridian

EXHIBIT B

Long Term Stormwater Management Plan

for:

Liberty Point
12243 S. Draper Gate Dr.
Draper, Utah 84020

PURPOSE AND RESPONSIBILITY

As required by the Clean Water Act and resultant local regulations, including Draper City Municipal Separate Storm Sewer Systems (MS4) Permit, those who develop land are required to build and maintain systems to minimize litter and contaminants in stormwater runoff that pollute waters of the State.

This Long-Term Stormwater Management Plan (LTSWMP) describes the systems, operations and the minimum standard operating procedures (SOPs) necessary to manage pollutants originating from or generated on this property. Any activities or site operations at this property that contaminate water entering the City's stormwater system and generate loose litter must be prohibited, unless SOPs are written to manage those activities or operations, and amended into this LTSWMP.

CONTENTS

SECTION 1: SITE DESCRIPTION, USE AND IMPACT
SECTION 2: TRAINING
SECTION 3: RECORDKEEPING
SECTION 4: APPENDICES

SECTION 1: SITE DESCRIPTION, USE AND IMPACT

The site infrastructure and operations described in this Section are limited at controlling and containing pollutants and if managed improperly can contaminate the environment. The LTSWMP includes standard operations procedures (SOP)s that are intended to compensate for the limitations of the site infrastructure. The property manager must use good judgment and conduct operations appropriately, doing as much as possible indoors and responsibly managing operations that must be performed outdoors.

Instructions:

- Describe site infrastructure, structural controls and any low impact development designs (LIDs) necessary to control and contain pollutants. Identify the limitations of the infrastructure at controlling and containing pollutants. It is important the Operator, staff, service contractors and anyone else involved in onsite operations and activities understand the unique exposures, operations and infrastructure which impact the storm drain systems.
- Describe both business operations and maintenance activities that generate pollutants.
- Briefly identify the need for SOPs that are necessary to compensate for the limitations of the site infrastructure and operations. Create SOPs to manage the site functions, and maintenance operations. Include the SOPs in Appendix B.
- Refer to the LTSWMP example provided as a separate download to create the site descriptions required in this Section.
- Generally most sites will have the following infrastructure listed in this Section, however, the designer is expected to add or remove descriptions to accurately represent the unique site infrastructure needing controls.

Impervious Areas, Parking, and Sidewalk

The subject site is approximately 14% of impervious area consisting of primarily asphalt and concrete pavement. The pavement at the north and east side of the proposed residential buildings generally slopes to the north and east at an average slope of approximately 2.0%. The impervious areas to the west and south of the proposed buildings generally slopes to the south at an average slope of approximately 2.5% with a maximum of 2.0% cross slope along pedestrian walkway. Any sediment, debris, fluids and other waste material present on the pavement areas will be carried to the storm drain inlets by stormwater runoff. The waste material may settle in the storm drain collection system increasing maintenance costs. Any material dissolving in the runoff will pass through the system and introduce contaminants into the surrounding soils and groundwater. Maintenance for the pavement areas involves regular sweeping and pavement washing to remove stains and slick spots when necessary. Refer to the sweeping and pavement washing SOPs in Appendix B to manage the pollutants associated with pavements.

Storm Drain System

The subject property is designed and graded to collect and convey stormwater runoff to the southeast portion of the property. Catch basins, curb inlets, and area drains are located at the low points of each drainage basin. These drainage structures collect and convey the stormwater

through a series of underground pipes that discharge into an underground detention system located in the southwest portion of the property. The detention system is a Contech chamber system that stores onsite stormwater underground. The system is designed to store the 10 year, 24-hour storm event and release stormwater into the public storm drain system at a controlled rate as specified by Draper City.

Landscaping

The majority of the proposed plant materials all generally have low-water needs once established and the mineral mulch and planting soils will provide a higher percolation rate, to go along with the extremely high percolation rates of the native sandy soils. Surface runoff, if any, could also be filtered through the majority of the planter areas prior to entering storm drain facilities, resulting in cleaner runoff.

Waste Management

All light weight trash shall be stored in dumpsters or trash receptacles with lids. The containment system should minimize exposure to precipitation and wind and prevent any leaks onto the pavement. The dumpster enclosure and perimeter fence will provide added protection from gusts of wind and trap loose trash allowing it to be collected before exiting the site. The trash collection bins are a source of pollutants and if it is not maintained properly it can leak contaminates onto the pavement and may be washed into the storm drain system.

Snow and Ice Removal Management

Snow should be removed from parking areas and pedestrian walkways. Salt/ice-melt may be used to de-ice the pavement and walkways to provide safe access for patrons. Salt/ice-melt is considered a pollutant but is a necessary component in de-icing operations. Snow removal and de-icing should be managed appropriately to minimize salt/de-ice impact.

SECTION 2: TRAINING

Ensure that all employees and maintenance contractors know and understand the SOPs specifically written to manage and maintain the property. Maintenance contractors must use the stronger of their Company and the LSWMP SOPs. File all training records in Appendix C.

SECTION 3: RECORDKEEPING

Maintain records of operation and maintenance activities in accordance with SOPs. Mail a copy of the record to Draper City annually by July 31st of each year.

SECTION 4: APPENDICES

Instructions:

- Include all drawings, details, SOPs and other supporting information referenced in Sections 1.
- Ensure the LTSWMP is updated with any as-built plans, details and SOP changes prior to releasing the project, and NOI.

Appendix A- Site Drawings and Details

Appendix B- SOPs

Appendix C- Recordkeeping Documents

APPENDIX A – SITE DRAWINGS AND DETAILS



DATE	REVISION
1/27/17	PERMIT SET
2/29/17	REVISION SET
3/28/17	REVISION SET
4/27/17	OWNER CHECK
5/11/17	PERMIT
12/27/17	REVISION SET
1/11/18	REVISION SET

CONSTRUCTION DOCUMENTS

SCALE	DATE	BY	CHECKED
AS SHOWN	01/27/17		

GRADING PLAN

C3.10

5 | 6 |

LEGEND

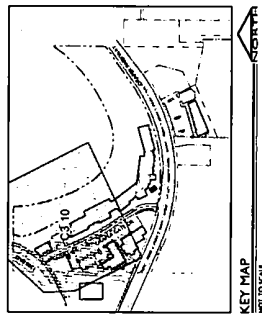
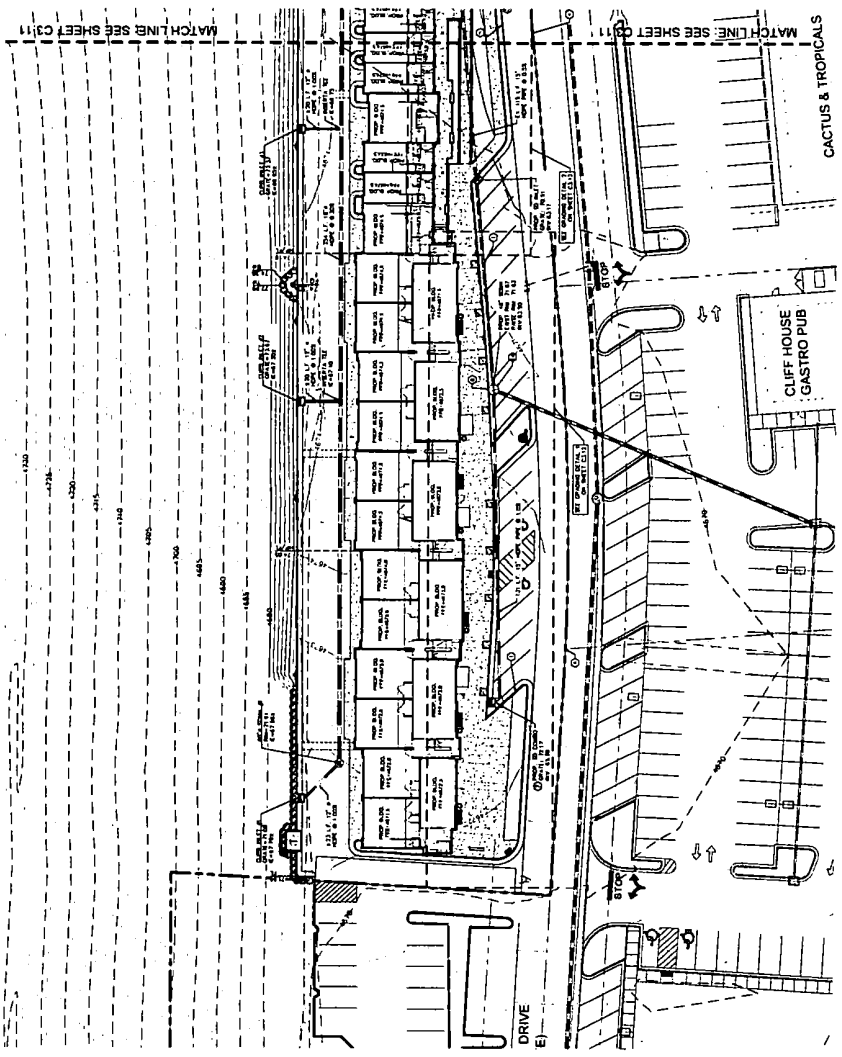
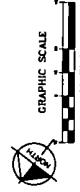
- 4.75' --- EXISTING MAJOR CONTOUR
- 1 --- EXISTING MINOR CONTOUR
- 4.75' --- PROPOSED MAJOR CONTOUR
- 1 --- PROPOSED MINOR CONTOUR
- --- EXISTING STORM DRAIN
- --- PROPOSED STORM DRAIN
- --- FINISHED GRADE (LANDSCAPE)
- --- TOP OF CONCRETE
- --- TOP OF EXISTING CURB
- --- TOP OF WALL
- --- GRADE BENCH
- --- CURB
- --- SURFACE OF WALL

GENERAL NOTES

1. REFER TO SHEET C3.9 AND C3.11 FOR MORE INFORMATION ON THE EXISTING STORM DRAIN LINE PLAN AND TRENCHING DETAIL AND SEE THE EXISTING AND PROPOSED TRENCHING DETAIL.

CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY THE EXISTING MAJOR AND MINOR CONTOURS.
2. CONTRACTOR SHALL VERIFY THE EXISTING MINOR CONTOURS.
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16. CONTRACTOR SHALL VERIFY THE EXISTING MINOR CONTOURS.
17. CONTRACTOR SHALL VERIFY THE EXISTING MAJOR CONTOURS.
18. CONTRACTOR SHALL VERIFY THE EXISTING MINOR CONTOURS.
19. CONTRACTOR SHALL VERIFY THE EXISTING MAJOR CONTOURS.
20. CONTRACTOR SHALL VERIFY THE EXISTING MINOR CONTOURS.



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 ARCHITECTURAL FIRM
 300 EAST PARK AVENUE
 SALT LAKE CITY, UT 84143
 TEL: 801.474.2000
 WWW.ARCHNEXUS.COM



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 ARCHITECTURAL FIRM
 2000 East Parkway, Suite 200
 Draper, Utah 84020
 Tel: 801.871.5500
 Fax: 801.871.5501
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 12243 S DRAPER GATE DRIVE
 DRAPER, UTAH 84020
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 FAX: 801.224.1101
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COWBOY PARTNERS
LIBERTY POINT
 12243 S DRAPER GATE DRIVE
 DRAPER, UTAH

- 1 2/27/17 PERMIT SET
- 2 5/29/17 REVISION SET
- 3 6/27/17 REVISION SET
- 4 10/27/17 OWNER COMMENT
- 5 11/08/17 SITE PLAN SET
- 6 1/22/18 INSTRUMENTS
- 7 1/11/18 10/26/2017

CONSTRUCTION DOCUMENTS

SCALE	DATE
AS SHOWN	02/07/2018
DATE	02/07/2018

GRADING PLAN
 C3.11

- CONSTRUCTION NOTES**
1. EXISTING GRADE AND WALL TYPE SHOWN AS SHOWN.
 2. EXISTING GRADE AND WALL TYPE SHOWN AS SHOWN.
 3. EXISTING GRADE AND WALL TYPE SHOWN AS SHOWN.
 4. EXISTING GRADE AND WALL TYPE SHOWN AS SHOWN.
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 20. EXISTING GRADE AND WALL TYPE SHOWN AS SHOWN.

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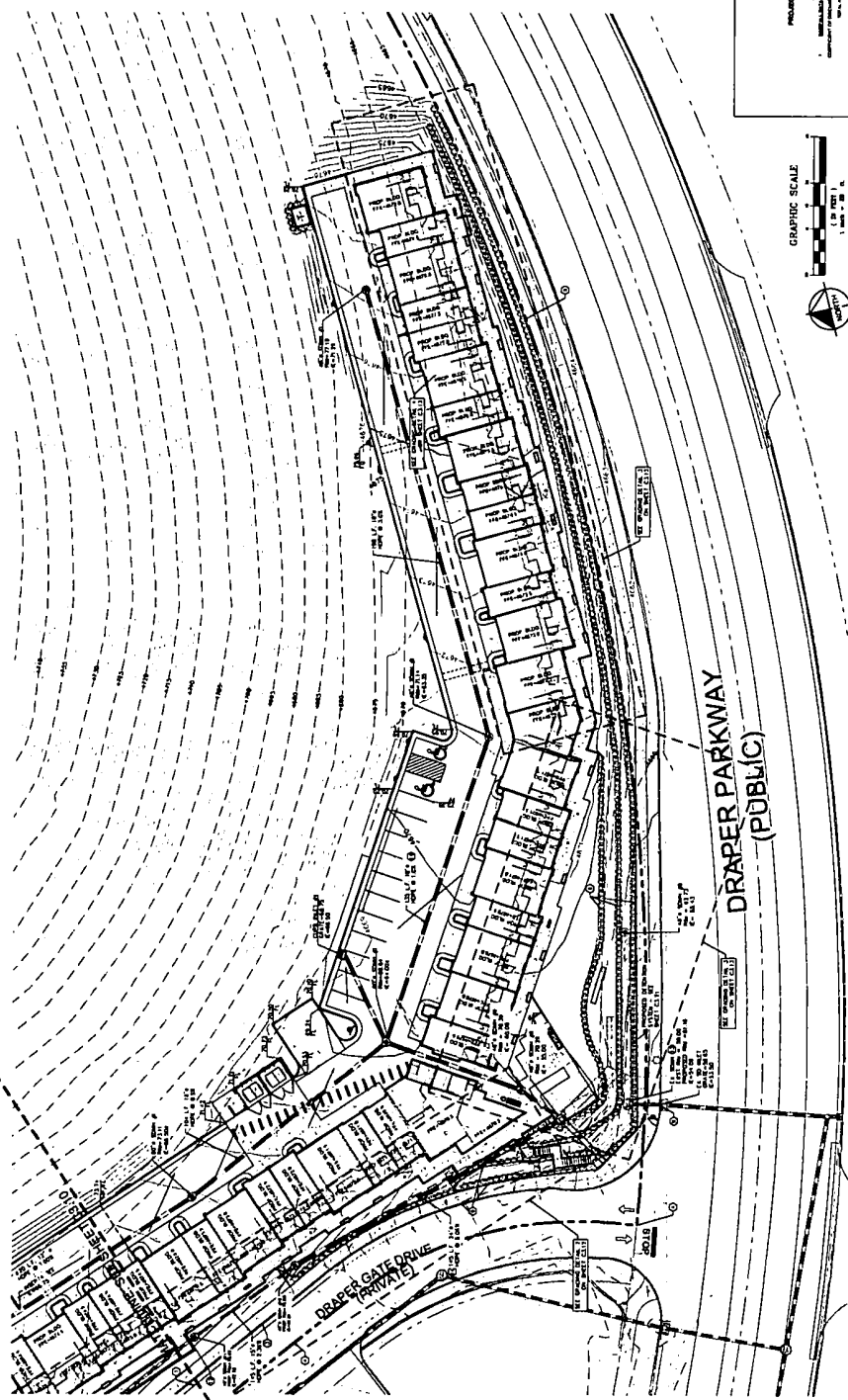
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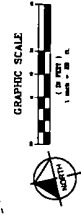
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1



DRAPER PARKWAY (PUBLIC)

DRAPER GATE DRIVE (PRIVATE)



TOTAL DETENTION AVAILABLE

PROPOSED 15' DEEP WAREHOUSING	3,800 SF	(SEE SHEET C3.21)
18-INCH MANHOLES	884 SF	(8.8 IN. DIA.)
24" HOPE PIPE	53 SF	(10.1 FT. DIA.)
10" HOPE PIPE	2,338 SF	(2.0 FT. DIA.)
TOTAL AVAILABLE	7,520 SF	

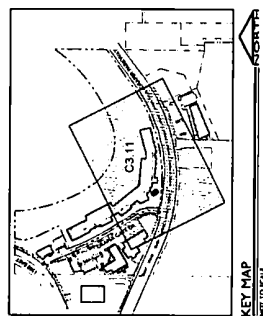
(SEE SHEET C3.21 FOR DETAIL OF WAREHOUSING)

GENERAL NOTES

1. THE STONE DAM SYSTEM AND REGIONAL DETENTION POND WILL BE GRANTED AND MAINTAINED PERMITTIVELY.
2. THE STONE DAM SYSTEM AND REGIONAL DETENTION POND WILL BE GRANTED AND MAINTAINED PERMITTIVELY.

LEGEND

4870	EXISTING MAJOR CONTOUR
4870	EXISTING MINOR CONTOUR
4870	PROPOSED MAJOR CONTOUR
4870	PROPOSED MINOR CONTOUR
4870	EXISTING STONE DAM
4870	PROPOSED STONE DAM
4870	TOP OF ASPHALT (PERMANENT)
4870	TOP OF CONCRETE
4870	TOP BASE OF CURB
4870	GRADE BREAK
4870	BOTTOM OF WALL



NO.	DESCRIPTION	DATE
1	PERMIT SET	2/27/17
2	REVISION SET	5/29/17
3	REVISION SET	6/27/17
4	OWNER COMMENT	10/27/17
5	SITE PLAN SET	11/08/17
6	INSTRUMENTS	1/22/18
7	10/26/2017	1/11/18





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 SALT LAKE CITY, UT 84109
 TEL: 313.455.5000
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 100 SOUTH STATE STREET, SUITE 200
 SALT LAKE CITY, UT 84102

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 COWBOY PARTNERS
 12243 S DRAPER GATE DRIVE
 DRAPER, UTAH 84020
 TEL: 313.455.5000
 WWW.KIMLEYHORN.COM

NO.	REVISION
1	2/27/17 PERMIT SET
2	3/29/17 REVISION SET
3	05/07/17 REVISION SET
4	10/20/17 CORRECTED
5	11/08/17 SITE UPDATE
6	12/28/17 SITE UPDATE
7	11/16/18 REVISION SET

CONSTRUCTION DOCUMENTS

NO.	DATE	DESCRIPTION
1	02/27/2017	PERMIT SET

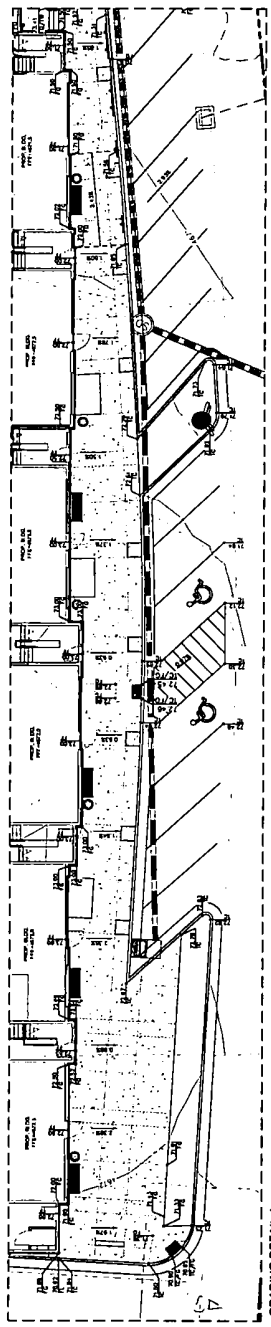
GRADING DETAILS
C3.12

GENERAL NOTES
 1. REFER TO SHEET C3.11 FOR MORE INFORMATION ON THE EXISTING STORM DRAIN LINE AND STORMWATER STORAGE CALCULATIONS.
 2. THE EXISTING DRAIN SYSTEM AND REGIONAL DETENTION POND WILL BE DELETED AND REINSTALLED AS SHOWN.

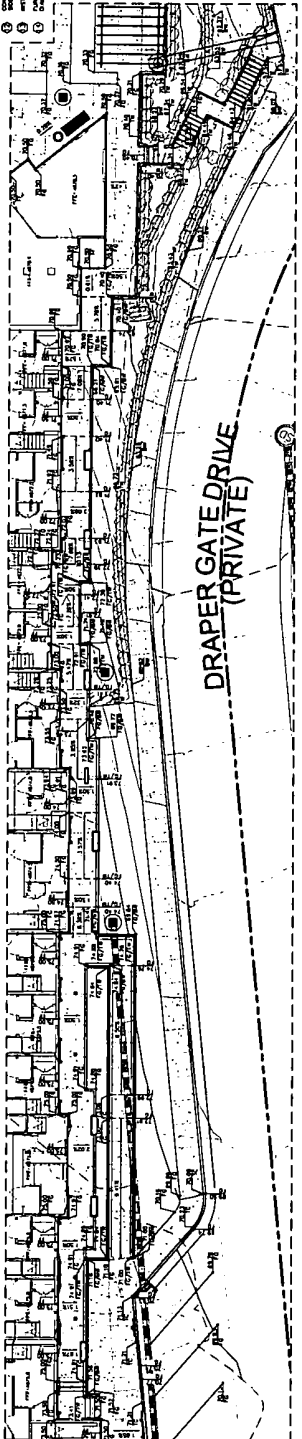
LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING MAJOR CONTOUR
(Symbol)	PROPOSED MAJOR CONTOUR
(Symbol)	EXISTING MINOR CONTOUR
(Symbol)	PROPOSED MINOR CONTOUR
(Symbol)	PROPOSED STORM DRAIN
(Symbol)	TOP OF GRADE (LANDSCAPE)
(Symbol)	TOP OF CONCRETE
(Symbol)	TOP BACK OF CURB
(Symbol)	GRADE 48% MAX
(Symbol)	BOTTOM OF WALL

- CONSTRUCTION NOTES**
1. CONSTRUCT CONCRETE CURB AND WALL THE WIDTH AS NOTED.
 2. CONSTRUCT CONCRETE CURB AND WALL THE WIDTH AS NOTED.
 3. CONSTRUCT REINFORCED CONCRETE WALL TO CURB OUTER RADIUS.
 4. MATCH EXISTING FINISH GRADE AS NECESSARY.
 5. MATCH GRADE AT THE TOP BACK OF THE EXISTING WALL CURB.
 6. THE EXISTING MAJOR AND MINOR CONTOURS SHALL BE MAINTAINED AND SHALL IMPROVE TO MATCH THE NEW GRADE.
 7. PROTECT EXISTING UTILITIES FROM DAMAGE.
 8. CONSTRUCT NEW REINFORCED CONCRETE WALL.
 9. CONSTRUCT CURB APPROXIMATE 18" HIGH TO DETAIN.
 10. FINISH WITH SMOOTH FORM GRADE AS NOTED ON THE SITE.
 11. CONSTRUCTION OF EXISTING CONCRETE DETENTION POND SHALL BE MAINTAINED AND SHALL IMPROVE TO MATCH THE NEW GRADE.
 12. MATCH EXISTING FINISH GRADE AS NECESSARY.
 13. CONSTRUCT NEW MAJOR AND MINOR CONTOURS TO MATCH THE NEW GRADE AT THE TOP OF THE CURB.

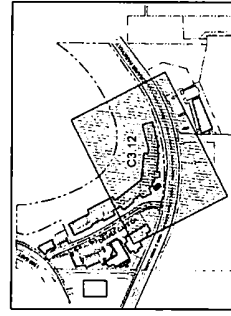


GRADING DETAIL 1



GRADING DETAIL 2

DRAPER GATE DRIVE (PRIVATE)



KEY MAP
 1/2" = 100'-0"

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 801.524.5000
 info@arch-nexus.com



REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 STATE OF UTAH
 LICENSE NO. 38812
 MICHAEL J. KIMLEY-HORN

Kimley-Horn
 CONSULTING ENGINEERS
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 DRAPER, UTAH
 801.224.1100
 www.kimley-horn.com

COWBOY PARTNERS
LIBERTY POINT
 12243 S DRAPER GATE DRIVE
 DRAPER, UTAH

NO.	DATE	REVISION
1	2/27/17	PERMIT SET
2	3/29/17	REVISION SET
3	10/26/17	CONTRACT
4	10/26/17	ISSUED FOR CONSTRUCTION
5	11/15/17	REV. UPLIFT
6	12/22/17	REV. UPLIFT
7	1/11/18	REV. UPLIFT

CONSTRUCTION DOCUMENTS

PROJECT NO.	DATE	DESCRIPTION
17-0000	02/27/17	PERMIT SET

GRADING
 DETAILS
C3.13

61

GENERAL NOTES

1. THE STORM DRAIN SYSTEM AND RETENTION OF EXISTING FLOODING SHALL BE MAINTAINED AND IMPROVED AS NECESSARY.
2. THE STORM DRAIN SYSTEM AND RETENTION OF EXISTING FLOODING SHALL BE MAINTAINED AND IMPROVED AS NECESSARY.

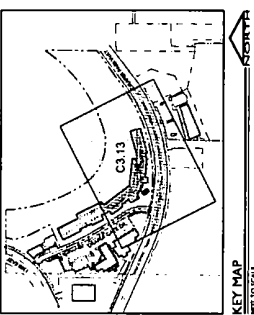
LEGEND

SYMBOL	DESCRIPTION
---	EXISTING GRADE
---	EXISTING IMPROVEMENTS
---	PROPOSED IMPROVEMENTS
---	PROPOSED STORM DRAIN
---	TOP OF CONCRETE
---	TOP OF CONCRETE (UNDER SLAB)
---	TOP OF CURB
---	GRADE
---	BOTTOM OF WALL

CONSTRUCTION NOTES

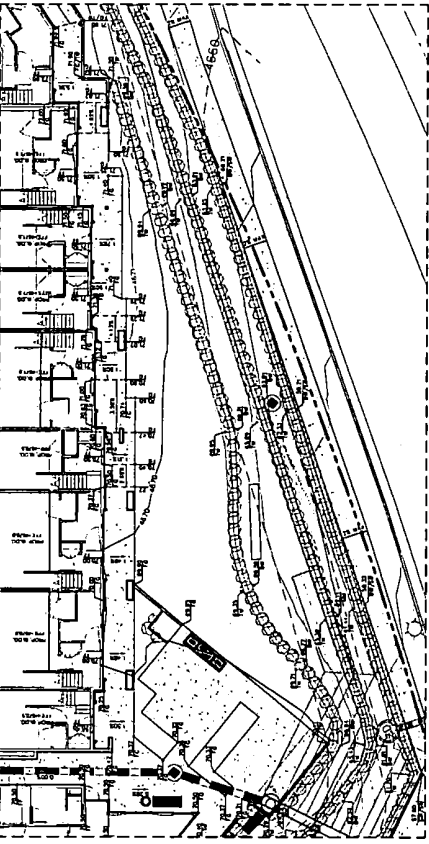
1. EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED AS NECESSARY.
2. EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED AS NECESSARY.
3. EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED AS NECESSARY.
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17. EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED AS NECESSARY.
18. EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED AS NECESSARY.
19. EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED AS NECESSARY.
20. EXISTING CONCRETE SHALL BE REPAIRED OR REPLACED AS NECESSARY.

51

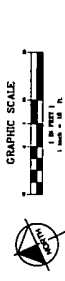


KEY MAP
 REF TO DETAIL

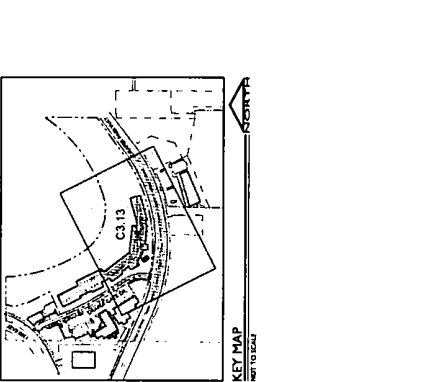
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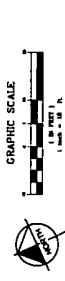
GRADING DETAIL 3



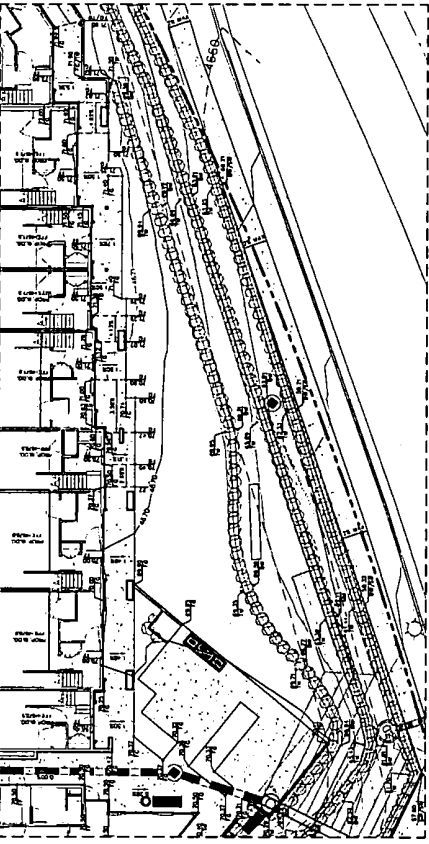
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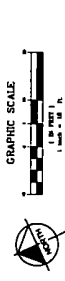
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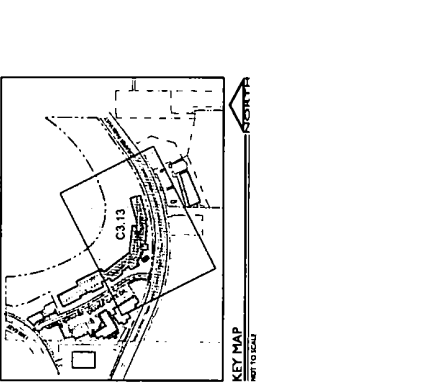
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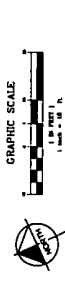
GRADING DETAIL 3



1



GRADING DETAIL 4



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 84143
 801.973.1300
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1 2/27/17 PERMIT SET
 2 5/26/17 REVISION SET
 3 11/16/17 CONSTRUCTION
 4 10/26/17 CONSTRUCTION
 5 11/16/17 APPROVALS
 6 12/28/17 REVISIONS
 7 11/16/17 REVISIONS

CONSTRUCTION DOCUMENTS

SCALE PROJECT	AS SHOWN
SCALE GENERAL	AS SHOWN
SCALE SITE	AS SHOWN
SCALE PLAN	AS SHOWN

GRADING
 DETAILS

C3.20

6

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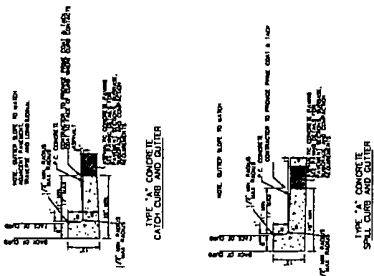
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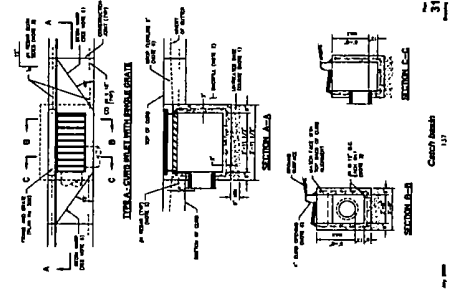
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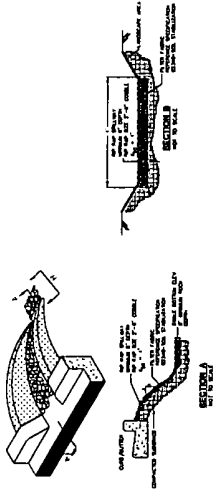
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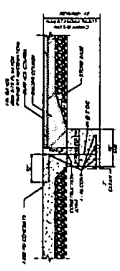
CURB AND GUTTER DETAILS
 NOT TO SCALE



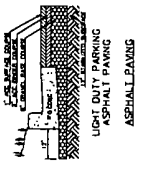
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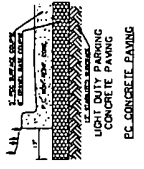
CURB DETAIL
 NOT TO SCALE



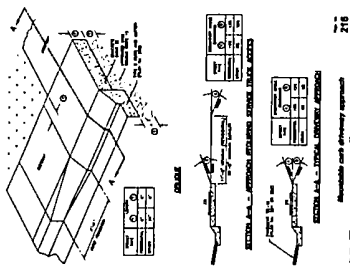
CONCRETE ASPHALT CURB DETAIL
 NOT TO SCALE



PAVEMENT SECTION DESIGN
 NOT TO SCALE

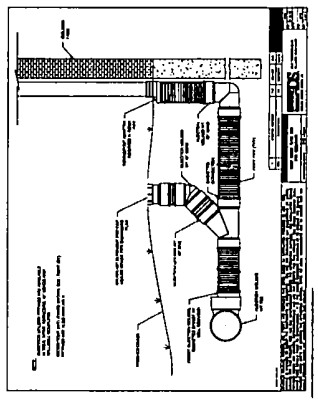


PAVEMENT SECTION DESIGN
 NOT TO SCALE



GRADING
 NOT TO SCALE

- 1. UNPAVED ROAD COURSE: SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF UNPAVED ROAD COURSE. THE UNPAVED ROAD COURSE SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF UNPAVED ROAD COURSE. THE UNPAVED ROAD COURSE SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF UNPAVED ROAD COURSE.
- 2. CONCRETE: CONCRETE SHALL BE TYPE III OR TYPE IV. THE CONCRETE SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF CONCRETE. THE CONCRETE SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF CONCRETE.
- 3. ASPHALT: ASPHALT SHALL BE TYPE III OR TYPE IV. THE ASPHALT SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF ASPHALT. THE ASPHALT SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF ASPHALT.
- 4. GUTTER: GUTTER SHALL BE TYPE III OR TYPE IV. THE GUTTER SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GUTTER. THE GUTTER SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GUTTER.
- 5. CURB: CURB SHALL BE TYPE III OR TYPE IV. THE CURB SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF CURB. THE CURB SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF CURB.
- 6. FINISH: FINISH SHALL BE TYPE III OR TYPE IV. THE FINISH SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF FINISH. THE FINISH SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF FINISH.
- 7. PROTECTION AND SIGNAGE: PROTECTION AND SIGNAGE SHALL BE TYPE III OR TYPE IV. THE PROTECTION AND SIGNAGE SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF PROTECTION AND SIGNAGE. THE PROTECTION AND SIGNAGE SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF PROTECTION AND SIGNAGE.



GRADING DETAIL
 NOT TO SCALE

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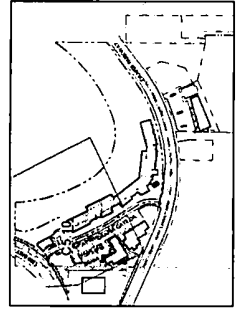
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 COWBOY PARTNERS
 12243 S DRAPER GATE DRIVE
 DRAPER, UTAH

NO.	REVISION
1	2/27/17 PERMIT SET
2	5/29/17 REVISION SET
3	09/29/17 WATERLOGGING
4	11/16/17 WATERLOGGING
5	11/16/17 WATERLOGGING
6	1/22/2017 WATERLOGGING
7	1/11/18 REVISION SET

CONSTRUCTION DOCUMENTS

NO.	REVISION
1	2/27/17 PERMIT SET
2	5/29/17 REVISION SET
3	09/29/17 WATERLOGGING
4	11/16/17 WATERLOGGING
5	11/16/17 WATERLOGGING
6	1/22/2017 WATERLOGGING
7	1/11/18 REVISION SET

6 |



KEY MAP

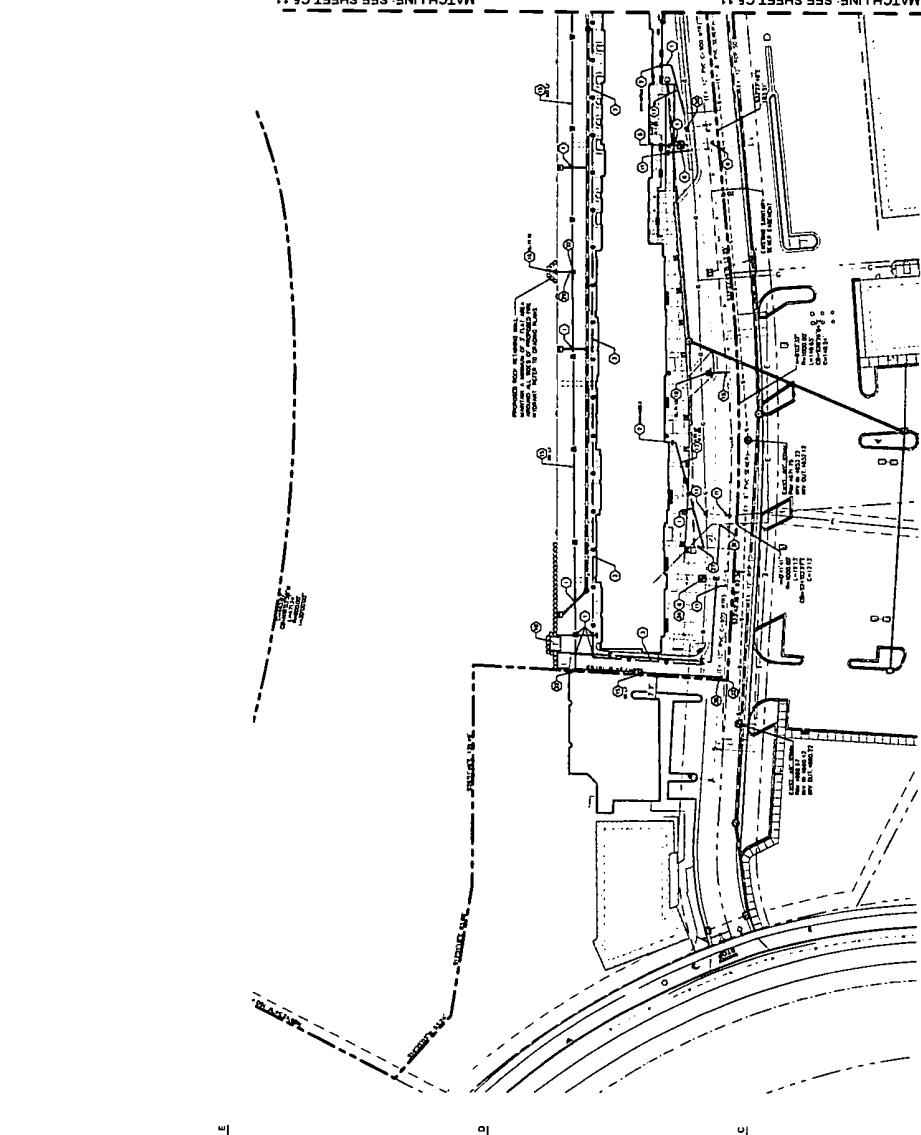
LEGEND

(Symbol)	PROPERTY LINE
(Symbol)	EXISTING LOT LINE
(Symbol)	EXISTING UTILITY LINE
(Symbol)	EXISTING WATER LINE
(Symbol)	EXISTING SANITARY SEWER
(Symbol)	EXISTING UNDERGROUND GAS LINE
(Symbol)	EXISTING UNDERGROUND ELECTRICAL LINE
(Symbol)	EXISTING UNDERGROUND TELEPHONE LINE
(Symbol)	EXISTING FENCE LINE

CONSTRUCTION NOTES

1. EXISTING UTILITY LOCATIONS SHOWN IN CONSTRUCTION SET SHALL BE VERIFIED BY FIELD SURVEY PRIOR TO CONSTRUCTION.
2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
3. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
4. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
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13. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.

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GENERAL NOTES

1. REFER TO SHEET C5.11 FOR INFORMATION ON TRENCH BEDDING.
2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
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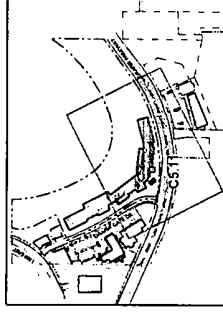
1	2/27/17	PERMIT SET
2	5/29/17	REVISION SET
3	09/29/17	WATERING
4	11/01/17	CONSTRUCTION
5	11/29/17	INSTALLMENT
6	12/21/17	INSTALLMENT
7	1/11/18	REVISION SET

CONSTRUCTION DOCUMENTS

1	2/27/17	PERMIT SET
2	5/29/17	REVISION SET
3	09/29/17	WATERING
4	11/01/17	CONSTRUCTION
5	11/29/17	INSTALLMENT
6	12/21/17	INSTALLMENT
7	1/11/18	REVISION SET

UTILITY PLAN

6 |



- KEY MAP**
 LEGEND
- PROPERTY LINE
 - - - - - UTILITY (EASEMENT)
 - WATER LINE
 - SANITARY SEWER LINE
 - GAS LINE
 - FIBER OPTIC
 - TELEPHONE
 - STORM DRAIN

- CONSTRUCTION NOTES**
1. EXISTING UTILITY CONDITIONS, EXCEPT EXCEPTED, TO BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
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- GENERAL NOTES**
1. REFER TO SHEET C5.10 FOR INFORMATION ON TRENCHING.
 2. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
 3. CONSTRUCTION SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES AND REPORT TO THE ENGINEER. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
 4. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
 5. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
 6. ALL CONDUIT SHALL BE 1/2" ABOVE ALL UTILITIES.
 7. ALL STORM DRAIN SYSTEMS AND SEWERAGE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
 8. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
 9. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR. ALL UTILITIES TO BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION.
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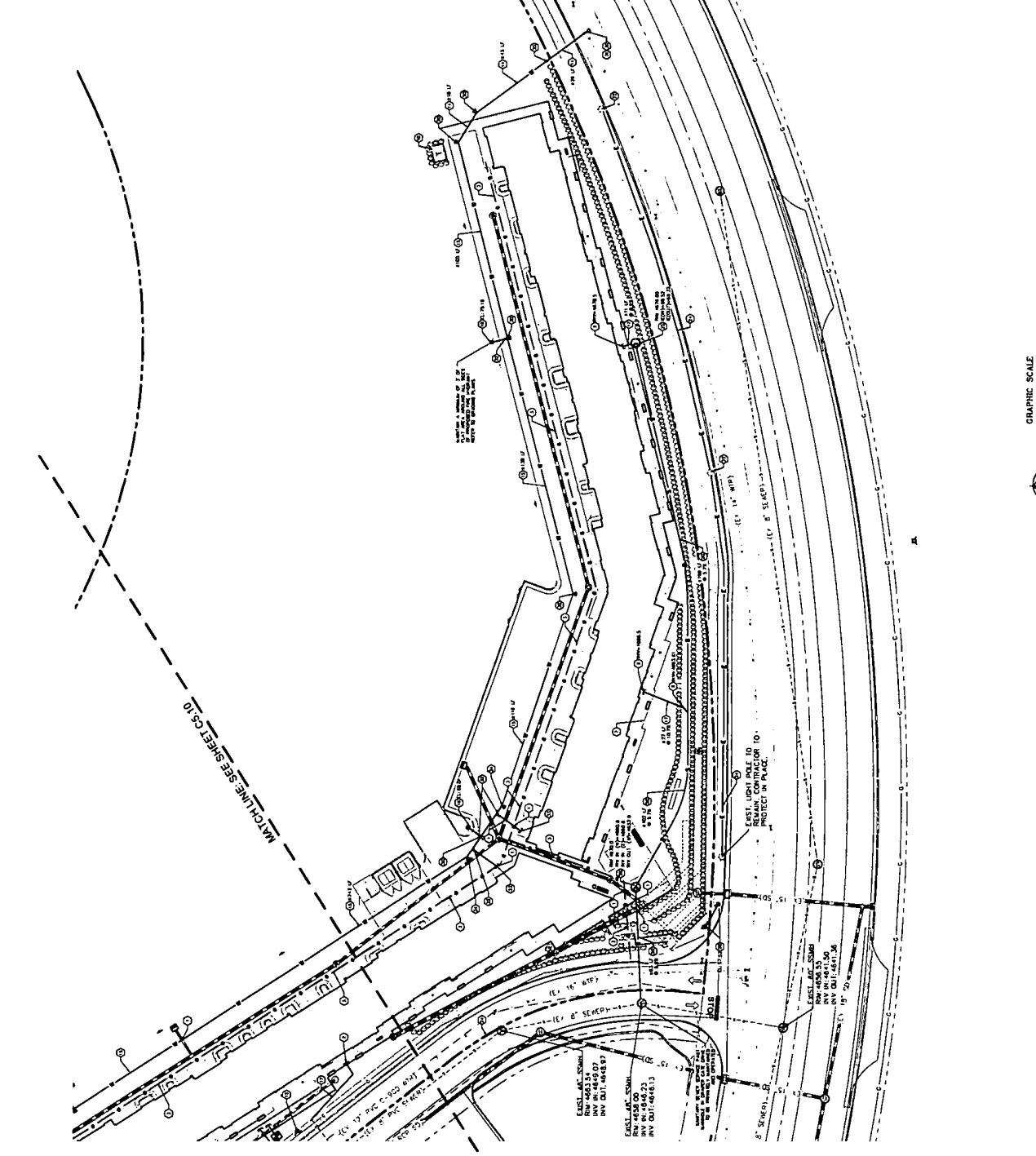
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1	2/27/17 PERMIT SET
2	3/20/17 PERMIT SET
3	4/20/17 PERMIT SET
4	10/27/17 OWNER BOOK
5	11/08/17 PERMIT SET
6	11/15/17 PERMIT SET
7	11/15/17 PERMIT SET

CONSTRUCTION DOCUMENTS

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5	11/08/17 PERMIT SET
6	11/15/17 PERMIT SET
7	11/15/17 PERMIT SET

UTILITY DETAILS

C5.20

6

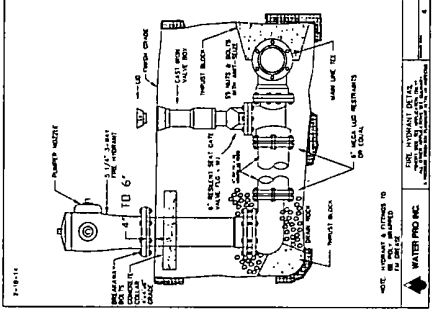
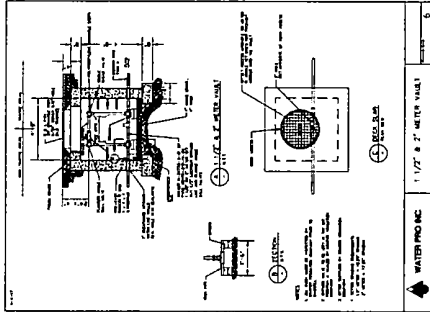
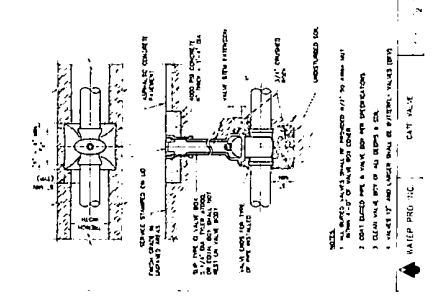
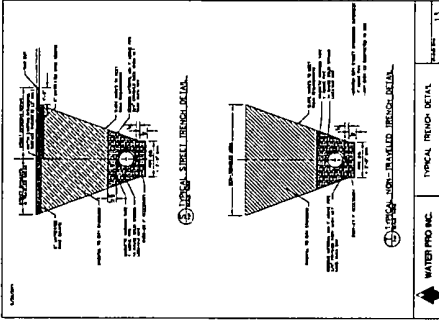
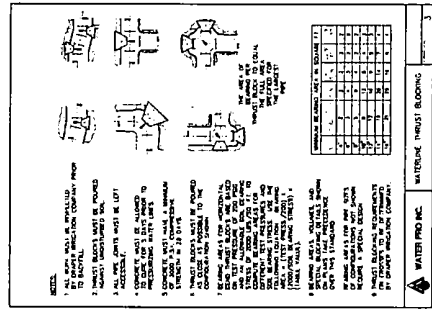
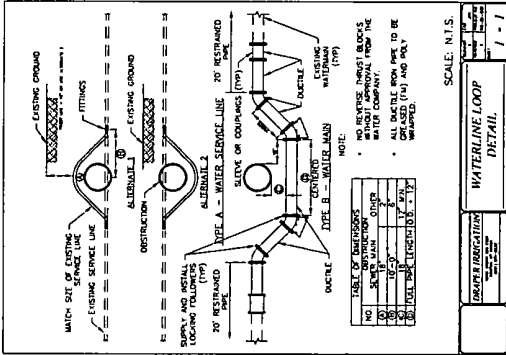
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REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12345
 EXPIRES 12/31/2021
 ARCHITECTURE & ENGINEERING
 ARCHITECTURE | INTERIORS | EXTERIORS

NO.	DATE	REVISION
1	07/17/17	PERMIT SET
2	02/28/17	REVISION SET
3	02/28/17	WATERWORKS
4	02/28/17	SEWER
5	11/16/17	SITE PLAN
6	12/28/17	WATERWORKS
7	11/16/18	REVISION SET

CONSTRUCTION DOCUMENTS

PROJECT NO. 12345
 SHEET NO. UT-001
 DATE 07/17/17

UTILITY DETAILS

C5.21

6 |

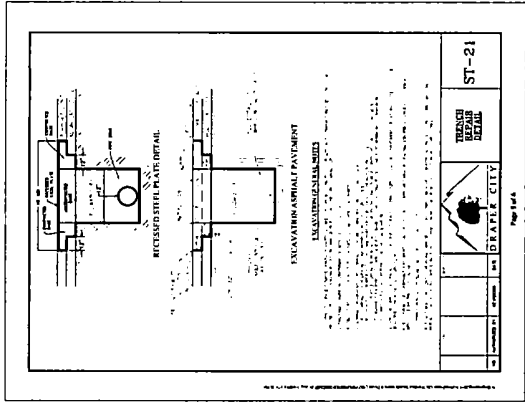
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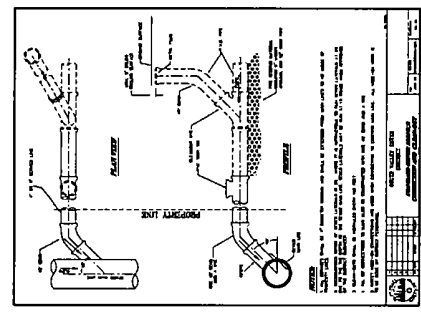
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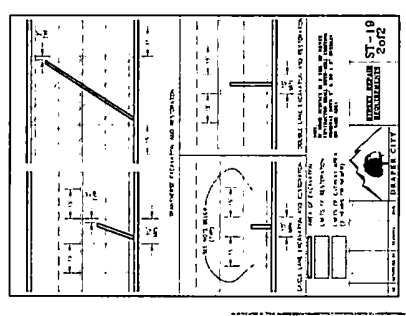
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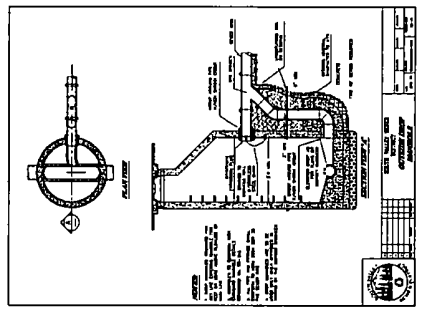
RESTORATION OF EXISTING CONCRETE
 NOT TO SCALE



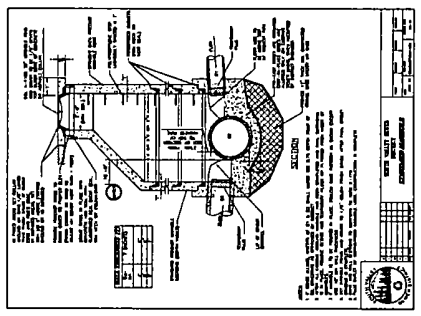
SERVICE PIPE CONNECTION AND RESTORATION OF EXISTING CONCRETE
 NOT TO SCALE



STEEL BEAM CONNECTIONS
 NOT TO SCALE



DROP MANHOLE DETAIL
 NOT TO SCALE



STANDARD MANHOLE DETAIL
 NOT TO SCALE

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APPENDIX B – SOPs

Impervious Areas, Parking, and Sidewalk

The curb and gutters will be monitored weekly to make sure they are clean from any type of debris. In addition, the parking lots and sidewalks will be cleaned and swept monthly or as needed.

Storm Drain System

The underground detention system will be inspected quarterly by the property management maintenance department and will be cleaned when necessary.

Landscaping

The property's landscape will be maintained by a professional landscape maintenance company. This company will provide a full landscape cleaning (removed of leaves, weeds, etc) in the spring and then one in the fall. They will also aerate the lawn in spring. In addition, this company will mow the lawn weekly. The property's lawn will be fertilized four times during the months of March through November with a dry fertilizer. Weeds will be monitored by the property management company and will either be taken care of by them or the professional landscape maintenance company.

Waste Management

Refuse from the residents and also from the clubhouse/business office will be deposited in the dumpsters that are situated east of the roadway that accesses the townhomes' garages. The dumpsters' lids will be periodically inspected to assure they are closed. The dumpsters will be monitored weekly for leaks and any refuse outside of them will be deposited within. These dumpsters will be emptied weekly or as needed by a professional waste management company.

Snow and Ice Removal Management

Snow and ice will be removed during and after each winter storm. Snow will be pushed to various open space areas where it will eventually percolate into the native sandy soil and minimize the impact of entering the storm drain system. Salt/ice-melt will be used only as necessary for safety purposes. Excessive amounts of salt/ice-melt will be swept and then appropriately disposed.

APPENDIX C – PLAN RECORDKEEPING DOCUMENTS

MAINTENANCE/INSPECTION SCHEDULE

Frequency	Site Infrastructure.
W	Curb and gutter monitoring
M	Parking lot and sidewalks cleaned
Q	Underground storm drain detention system monitoring
W	Landscape monitoring
W	Waste management
U	Snow and Ice Removal salt and ice-melt (monitor as needed depending on snow)

Inspection Frequency Key: A=annual, Q=Quarterly, M=monthly, W=weekly, S=following appreciable storm event, U=Unique infrastructure specific (specify)

RECORD INSPECTIONS IN THE MAINTENANCE LOG

Inspection Means: Either; Traditional walk through, Awareness/Observation, and during regular maintenance operations while noting efficiencies/inefficiencies/concerns found, etc.

MAINTENANCE LOG

Date	Maintenance Performed/Spill Events. Perform Maintenance per SOPs	Observation Notes, including but not limited to; Inspection results, Observations, System Performance (effectiveness/inefficiencies), SOP Usefulness, Concerns, Necessary Changes...	Initials

Annual Summary of LTSWMP effectiveness, inefficiencies, problems, necessary changes etc.

Annual SOP Training Log per Section 2

SOP	Trainer	Employee Name / Maintenance Contractor Co	Date