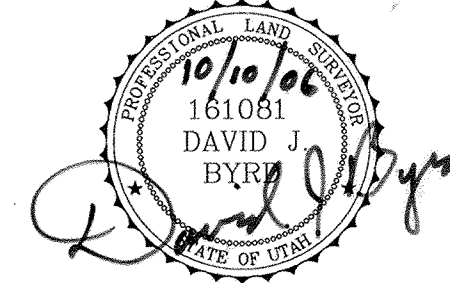


SUMMIT CENTER SPECIALLY PLANNED AREA

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12,
T1S, R3E, SLB&M --SUMMIT COUNTY, UTAH

SURVEYOR'S CERTIFICATE

I, David J. Byrd, do hereby certify that I am a registered Land Surveyor holding Certificate No. 161081 as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this Plat and described hereon, and have subdivided said tract of land into lots and streets hereafter to be known as Summit Center Specially Planned Area and that the same has been correctly surveyed and staked on the ground as shown on this plat.



BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH IS SOUTH 89°39'47" EAST 849.78 FEET ALONG THE QUARTER SECTION LINE FROM THE WEST QUARTER CORNER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN, SUMMIT COUNTY, UTAH AND RUNNING THENCE SOUTH 89°39'47" EAST 1787.11 FEET ALONG SAID QUARTER SECTION LINE TO THE CENTER OF SAID SECTION 12; THENCE SOUTH 0°42'54" WEST 1208.93 FEET ALONG THE QUARTER SECTION LINE; THENCE NORTH 48°35'21" WEST 343.96 FEET; THENCE NORTH 19°52'57" WEST 516.35 FEET; THENCE SOUTH 63°17'06" WEST 342.63 FEET; THENCE NORTH 38°48'14" WEST 97.30 FEET; THENCE SOUTH 51°00'51" WEST 102.84 FEET; THENCE NORTH 38°48'14" WEST 134.82 FEET; THENCE SOUTH 51°00'51" WEST 337.62 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF RASMUSSEN ROAD; THENCE NORTH 35°44'48" WEST 932.11 FEET ALONG SAID RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING.

PROPERTY CONTAINS 24.469 ACRES

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS TO BE HEREAFTER KNOWN AS SUMMIT CENTER SPECIALLY PLANNED AREA, DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC, ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND DO WARRANT AND DEFEND AND SAVE THE COUNTY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE COUNTY'S USE, MAINTENANCE, AND OPERATION OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES.

IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS 10th DAY OF OCTOBER, 2006.
Allred Summit, LLC Michael Allred, Manager
 ALLRED SUMMIT, LLC NAME TITLE

NOTARY ACKNOWLEDGMENT

ON THIS 10th DAY OF October, 2006, PERSONALLY APPEARED BEFORE ME, Michael Allred, WHO BEING DULY SWORN DID SAY THAT THEY EXECUTED THE SAME.

Laura A. Blongquist
 NOTARY PUBLIC

- Sheet 1 - Dedication (Title Page), Sheet 1 of 2
- Sheet 1A - Dedication Plat, Sheet 2 of 2
- Sheet 2 - Overall Site Plan
- Sheet 3 - New Building Plan
- Sheet 4 - Building Elevation
- Sheet 5 - Topo & Grading
- Sheet 5A - Phase One Topo & Grading
- Sheet 6 - Traffic Circulation
- Sheet 7 - Landscaping
- Sheet 8 - Site Lighting
- Sheet 9 - Overall Utility Plan
- Sheet 10 - Sanitary Sewer Plan & Profile
- Sheet 11 - Sanitary Sewer Plan & Profile
- Sheet 12 - Details
- Sheet 13 - Details
- Sheet 14 - Erosion Control

Summit Center Specially Planned Area

The easements dedicated by the owner for public trails to the Snyderville Basin Special Recreation District (SBSRD) are granted pursuant to the SBSRD Trails Master Plan, and the Summit Center Development Agreement, Sections 4.6.5 and 4.6.6, dated 19 May 2006. The public trails dedicated to the SBSRD are intended for the use of the public in perpetuity. Public trail surfaces, signs and general maintenance will be maintained by the SBSRD. All holders of public or private utility easements, if any, and all parcel owners whose parcels are subject to the public trails easement shall repair any damage to the public trails caused by their construction, development and maintenance activities and shall restore the public trail improvements to substantially the same condition as existed immediately prior to any construction, development and maintenance activities thereon. The public trailhead parking area, including benches, monument and picnic tables shall be constructed by the developer and maintained by the Management Association for the Summit Center.

Also, Allred Summit, LLC, hereby dedicates to the Snyderville Basin Special Recreation District, a special district, perpetual non-exclusive easements for a public trails as specifically depicted on the Plat to be utilized in accordance with the Plat Note 3.

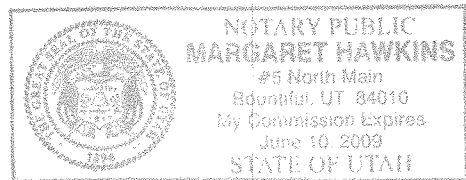
A DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS (CC&R'S) HAS BEEN RECORDED DEFINING, IN PART, THE FOLLOWING CONDITIONS:

1. All property contained within the building envelope (hatched area) shown on this plat is considered private property.
2. All property located outside the building envelope and within the boundaries of the identified lots is designated COMMON AREA and defined in the CC&R's.
3. Common Access as defined in the CC&R's is provided for pedestrian and vehicular traffic.
4. Utility and Service Easements as defined in the CC&R's are included with the Common Area.
5. Public Utility Easements for culinary water and/or sanitary sewer mainlines are provided as indicated on the Plat.
6. Each Parcel shall have nonexclusive, irrevocable easements for the parking of vehicles in the parking areas depicted on the Site Plan and as defined in the CC&R's.

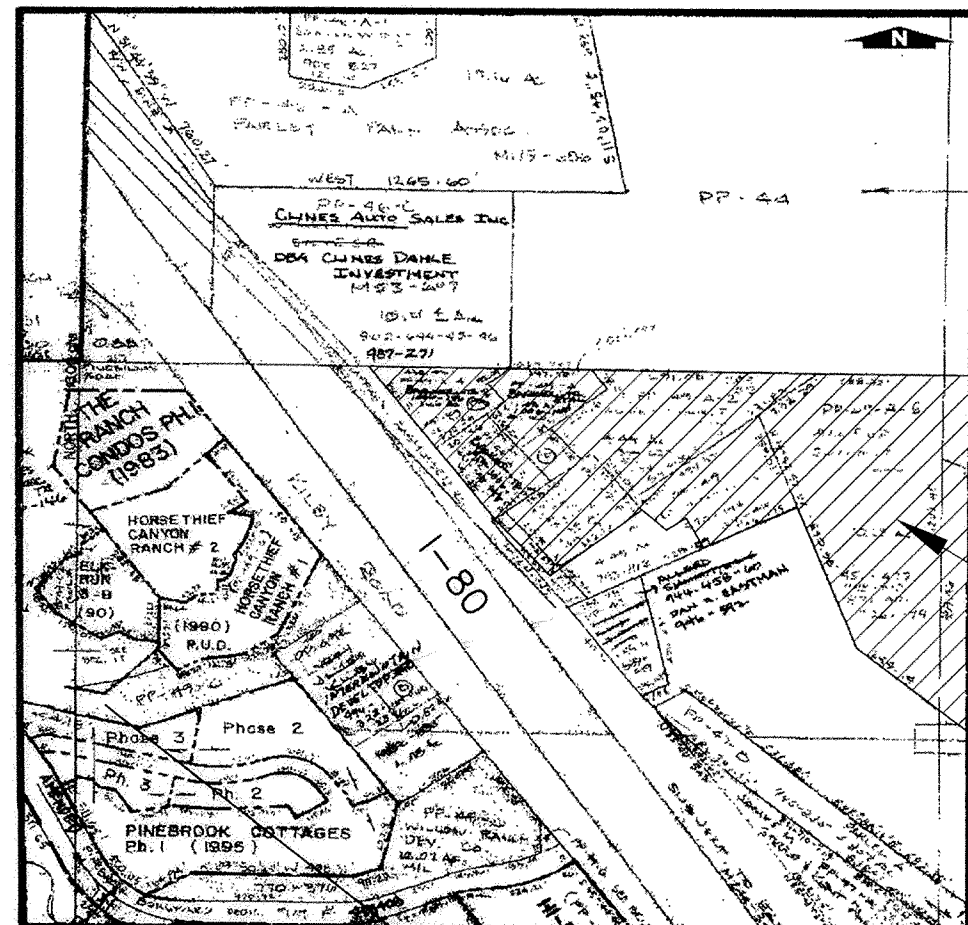
Dedication Plat Sheet 1 of 2

CONSENT TO RECORD
 STATE OF UTAH
 COUNTY OF SUMMIT, David J. Byrd
 THE UNDERSIGNED LIEN HOLDER HEREBY CONSENTS TO THE RECORDATION OF THIS PLAT.
 BY: David J. Byrd
 AUTHORIZED OFFICIAL
 THE FOREGOING CONSENT TO RECORD WAS ACKNOWLEDGED BEFORE ME THIS 30th DAY OF Oct BY Margaret Hawkins
 MY COMMISSION EXPIRES 6/11/09 Margaret Hawkins
 RESIDING IN Bountiful Utah NOTARY PUBLIC

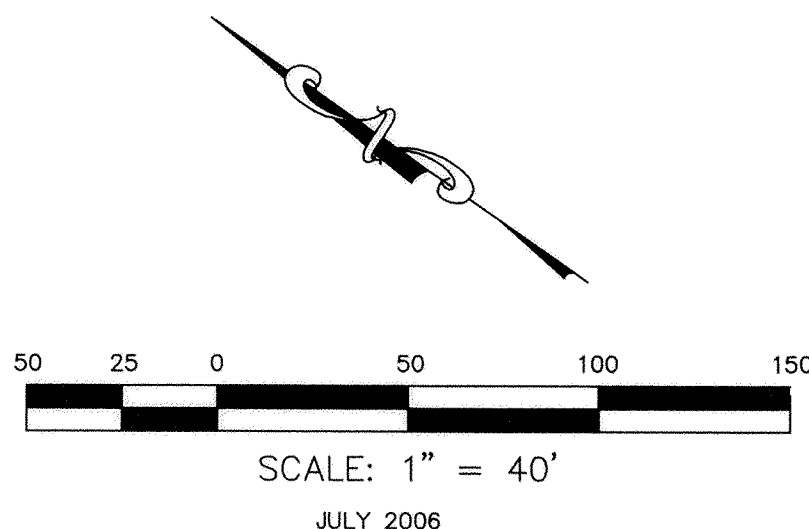
Zions First National Bank



PROJECT SITE



(NOT TO SCALE)
VICINITY MAP



WILLIAM H. SNIDER

WEST QUARTER CORNER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN, BRASS CAP MONUMENT (FOUND)

P.O.B.

SOUTHWEST QUARTER CORNER OF SECTION 12, TOWNSHIP 1 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN, BRASS CAP MONUMENT (FOUND)

SNYDERVILLE BASIN WATER RECLAMATION DISTRICT
 REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN RECLAMATION DISTRICT STANDARDS ON THIS 11th DAY OF October, 2006
 BY: B. D. [Signature]

PARK CITY FIRE DISTRICT
 APPROVED THIS 11th DAY OF October, 2006
Scott W. Adams by [Signature]
 REPRESENTATIVE, PARK CITY FIRE DISTRICT

ROCKY MOUNTAIN POWER
 APPROVED THIS 11th DAY OF October, 2006
[Signature]
 REPRESENTATIVE, ROCKY MOUNTAIN POWER

SUMMIT WATER DISTRIBUTION DISTRICT
 APPROVED THIS 11th DAY OF October, 2006
[Signature]
 REPRESENTATIVE, SUMMIT WATER DISTRIBUTION COMPANY

SUMMIT COUNTY APPROVAL
 PRESENTED TO THE BOARD OF COUNTY COMMISSIONERS ON THIS 3rd DAY OF November, 2006, AT WHICH TIME IT WAS APPROVED.
Laura Blongquist APTEST: COUNTY CLERK
Robert Fisher COMMISSION CHAIR

Byrd & Associates LLC
 Engineers & Land Surveyors
 505 South Main Street
 Bountiful, Utah 84010
 Phone (801)-292-0400
 Fax (801)-292-8216

COUNTY ATTORNEY APPROVAL
 APPROVED THIS 10th DAY OF November, 2006 BY THE SUMMIT COUNTY ATTORNEY.
[Signature]
 SUMMIT COUNTY ATTORNEY

COUNTY ENGINEER APPROVAL
 APPROVED THIS 18th DAY OF October, 2006 BY THE SUMMIT COUNTY ENGINEER.
[Signature]
 SUMMIT COUNTY ENGINEER

PLANNING COMMISSION APPROVAL
 APPROVED THIS 24th DAY OF October, 2006 BY THE SNYDERVILLE BASIN PLANNING COMMISSION.
Bruce Taylor
 COMMISSION CHAIR

COUNTY ASSESSOR
 APPROVED THIS 25th DAY OF October, 2006.
Bonnie J. Kresser
 SUMMIT COUNTY ASSESSOR

SPECIAL RECREATION DISTRICT
 APPROVED THIS 11th DAY OF October, 2006 BY THE SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT.
[Signature]
 SNYDERVILLE BASIN SPECIAL RECREATION DIST.

COUNTY RECORDER
 STATE OF UTAH
 RECORDED AND FILED AT THE REQUEST OF M.H. ALLRED Construction
 ENTRY NO. 791276 BOOK NO. --- PAGE NO. ---
 FILED THIS 9th DAY OF November, 2006, AT 12:50 PM
 FEE: 540.00
Marie Ann Swirell - deputy
 COUNTY RECORDER

SUMMIT CENTER SPECIALLY PLANNED AREA

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 12,
T1S, R3E, SLB&M --SUMMIT COUNTY, UTAH

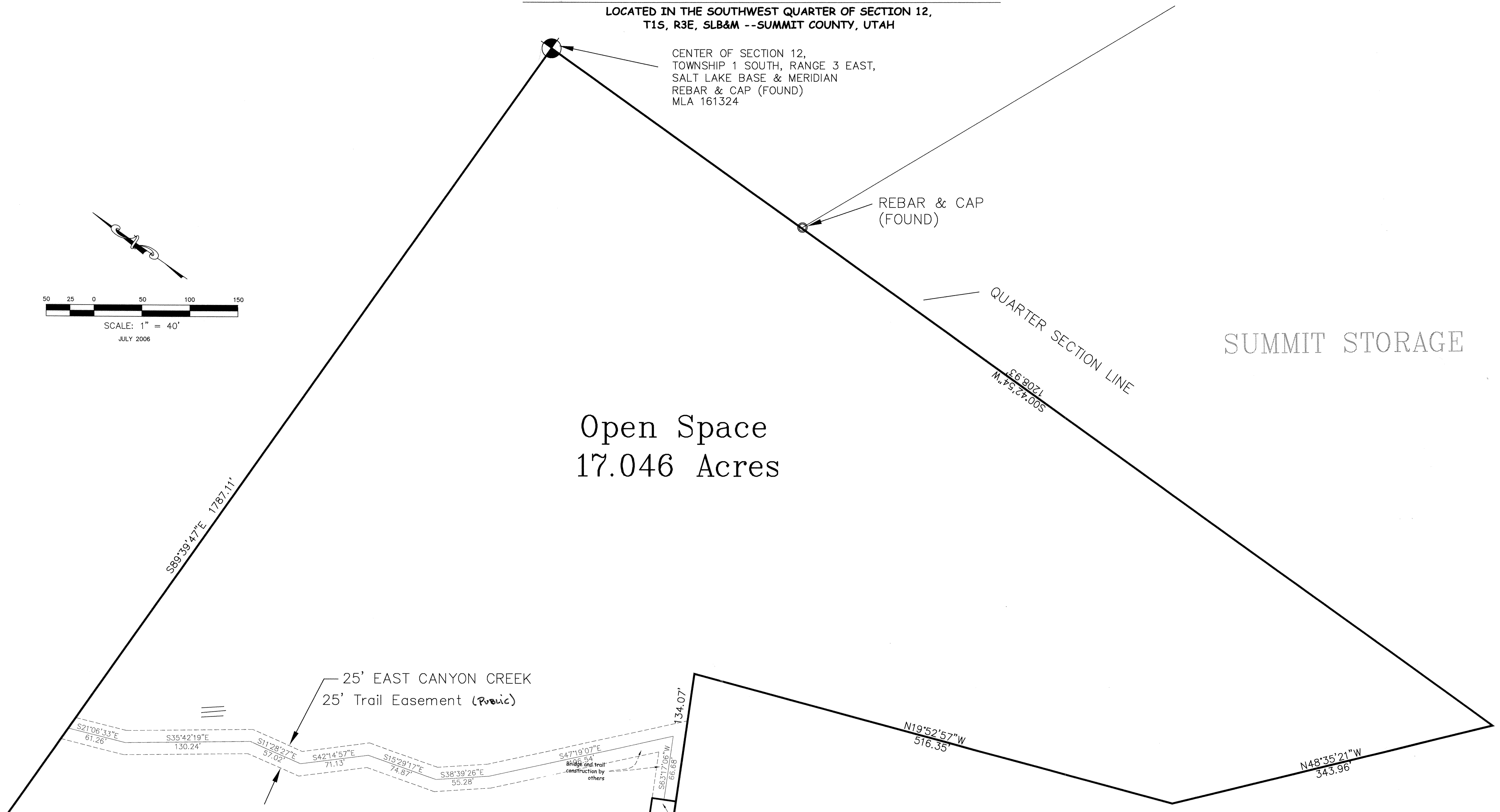
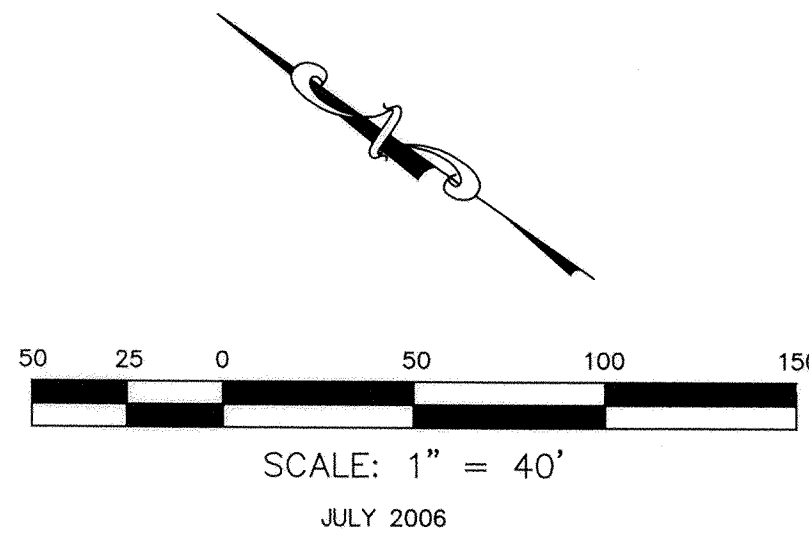
CENTER OF SECTION 12,
TOWNSHIP 1 SOUTH, RANGE 3 EAST,
SALT LAKE BASE & MERIDIAN
REBAR & CAP (FOUND)
MLA 161324

REBAR & CAP
(FOUND)

QUARTER SECTION LINE

SUMMIT STORAGE

Open Space
17.046 Acres



S89°39'47"E 1787.11'

S00°42'54"W 1208.93'

25' EAST CANYON CREEK
25' Trail Easement (Public)

S21°06'33"E 61.26'
S35°42'19"E 130.24'
S11°28'27"E 57.02'
S42°14'57"E 71.13'
S15°29'17"E 74.87'
S38°39'26"E 55.28'
S47°19'07"E 66.54'
S63°17'06"W 66.68'

134.07'

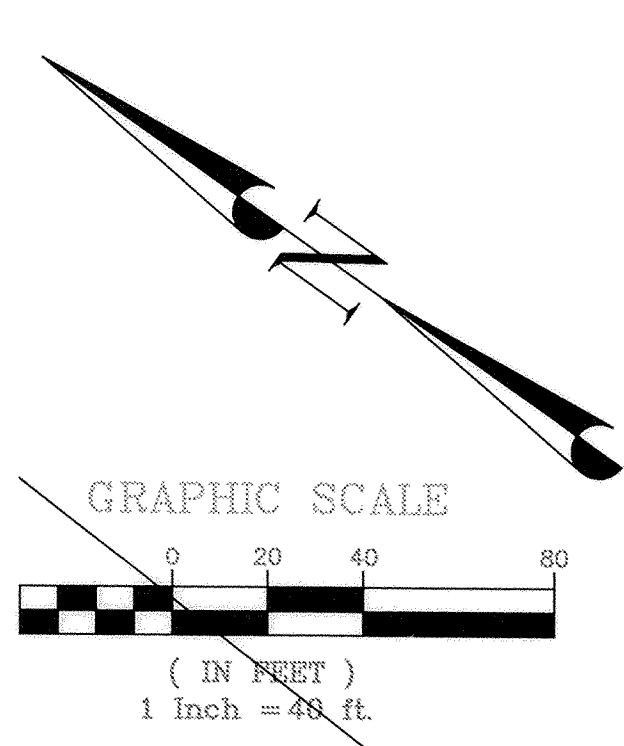
N19°52'57"W 516.35'

N48°35'21"W 343.96'

Dedication Plat Sheet 2 of 2

Byrd & Associates L.L.C.
Engineers & Land Surveyors
505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

COUNTY RECORDER
STATE OF UTAH COUNTY OF SUMMIT
RECORDED AND FILED AT THE REQUEST OF **M.H. ALLEN CONSTRUCTION**
ENTRY NO. **796276** BOOK NO. _____ PAGE NO. _____
FILED THIS **9th** DAY OF **NOVEMBER**, 20**06**, AT **12:22** PM
Fee: 540⁰⁰
Mary Ann Trunell - deputy
COUNTY RECORDER



QUARTER SECTION LINE

OPEN SPACE BOUNDARY

EAST CANYON CREEK

40'-0" BUFFER SETBACK

PHASE THREE
 UPPER STORY 20,380 SQ. FT.
 UPPER STORY 16,472 SQ. FT.
 (TOTAL: 40760 SQ. FT.)
 BLDG. 'I'
 UNDERGROUND PARKING
 elev. 6289

PHASE THREE
 MAIN STORY 20,380 SQ. FT.
 elev. 6299
 BLDG. 'H'

TRAIL HEAD PARKING
 19 STALLS

PHASE ONE
 BLDG. 'E'
 4,000 SQ. FT.
 elev. 6300.0'

PHASE ONE
 BLDG. 'D'
 MAIN elev. 6298'
 5,000 SQ. FT.
 UPPER
 5,000 SQ. FT.

PHASE ONE
 BLDG. 'F'
 MAIN STORY
 7,500 SQ. FT.
 elev. 6299'

PHASE TWO
 BLDG. 'C'
 ONE STORY
 11,200 SQ. FT.
 elev. 6300.0'

PHASE TWO
 BLDG. 'A'
 ONE STORY
 12,540 sq. ft.
 elev. 6303'

BLDG. 'B'
 ONE STORY
 14,500 SQ. FT.
 elev. 6301'

ARTER OF SEC 12
 (ANG. POINT
 1/2 OF MIKE MILNER PARCEL
 BEARS S89°40'33"E 133.98'

N LINE OF SW QUARTER OF SEC 12,
 END REBAR MARKING ANGLE POINT
 IN WESTERLY LINE OF MIKE MILNER PARCEL.
 BEARS S89°40'33"E 133.98'

Open Space

RASMUSSEN ROAD

RASMUSSEN ROAD

QUARTER CORNER
 SECTION 12,
 T1P 1 SOUTH,
 3 EAST,
 SE & MERIDIAN.
 MONUMENT (FOUND)

00796276
 ALAN SPRIGGS, SUMMIT CO. RECORDER
 2006 NOV 09 12:20 PM FEE \$540.00 BY GGB
 REQUEST: H H ALLRED CONSTRUCTION

REV	BY	DATE	DESCRIPTION

REV	BY	DATE	DESCRIPTION

hp	1"=40'
hp	105-12
N:\105-12\MAR-2004\SITE3-03	
6/22/04	

Byrd & Associates LLC
 Engineers & Land Surveyors

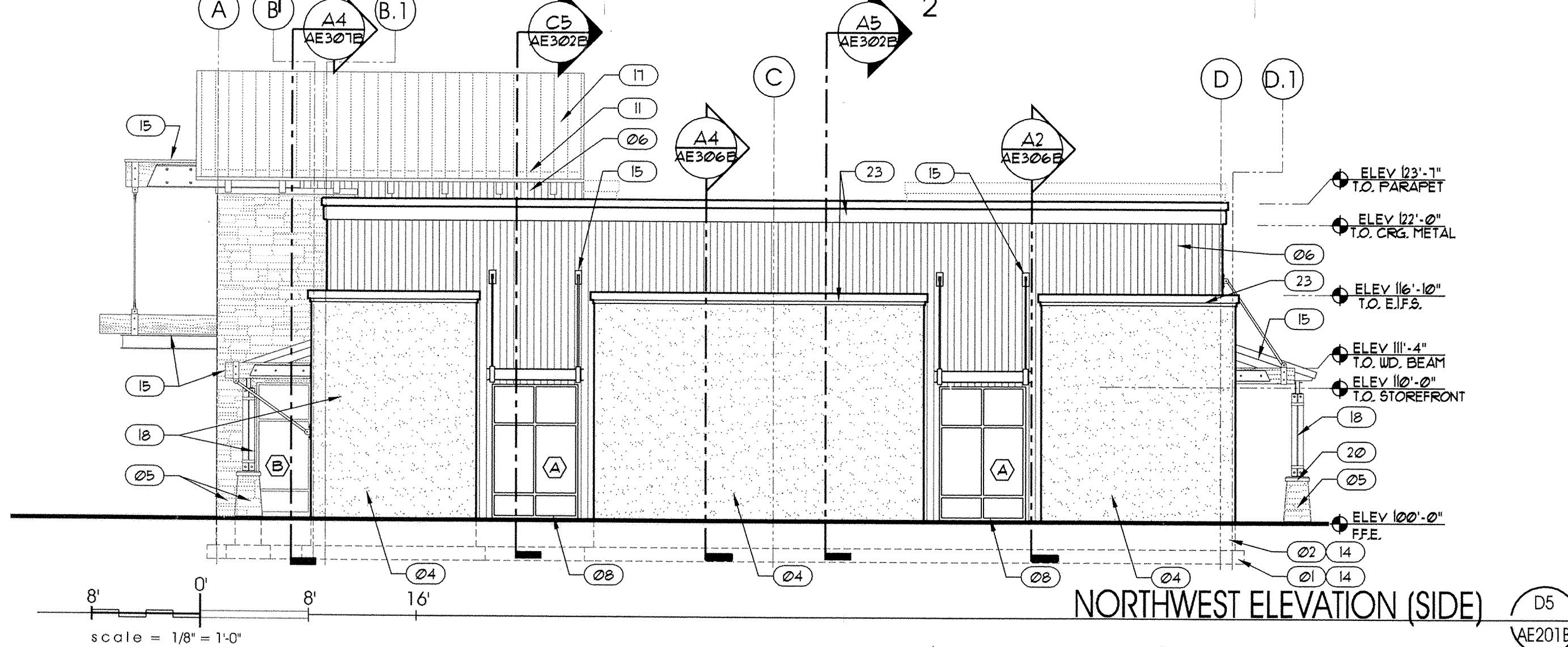
505 South Main Street
 Bountiful, Utah 84010
 Phone (801)-292-0400
 Fax (801)-292-8216

Summit Center Commerce Park
 New Buildings Site Plan

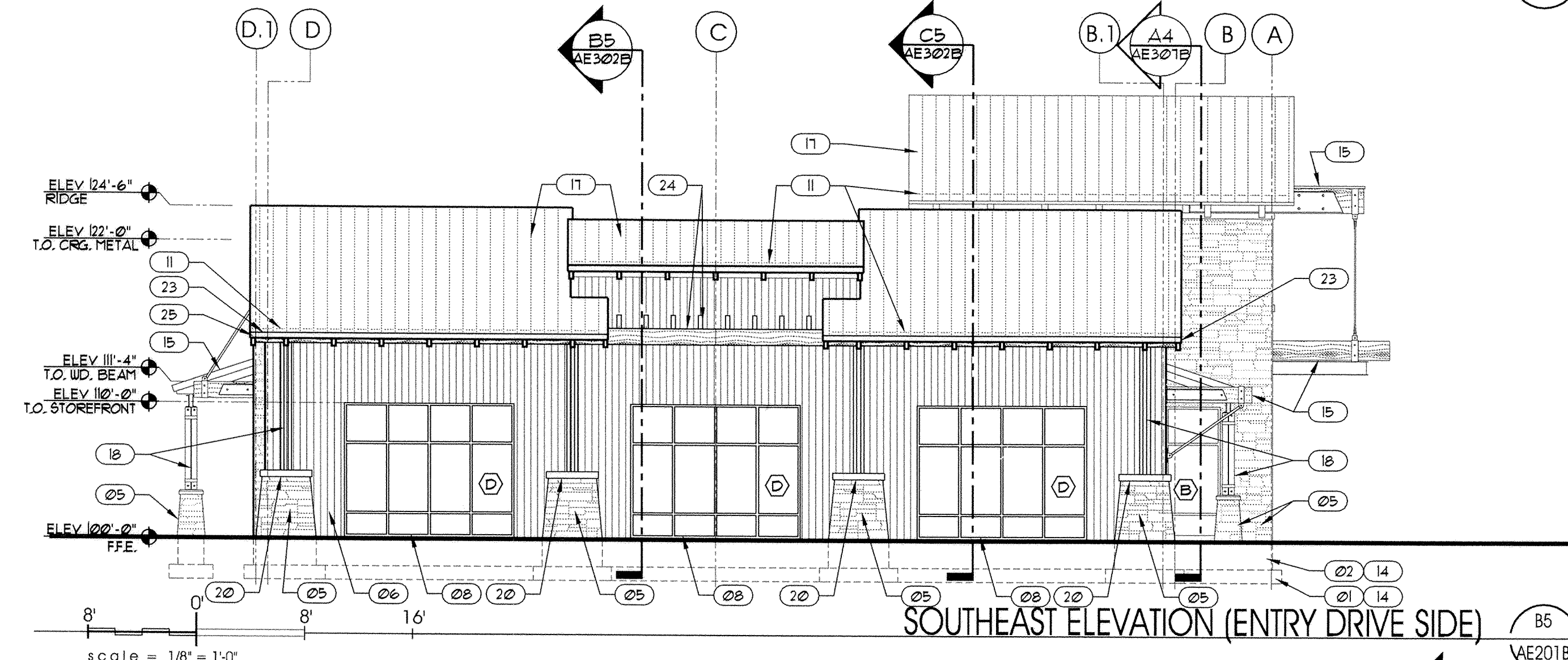
Summit County UTAH

SHEET: 3
OF: 14
DRAWING
C-3

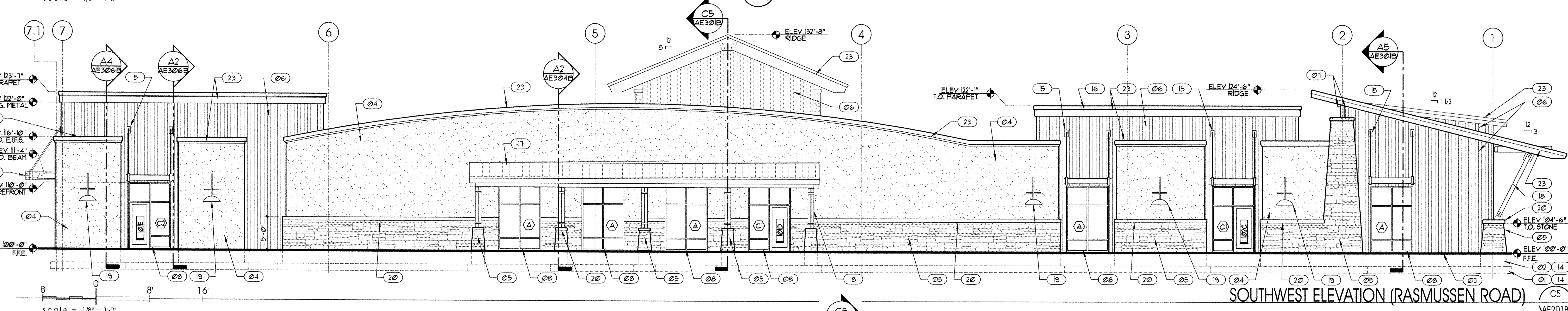
ALL DESIGN, DIMENSIONS, ARRANGEMENTS AND FINISHES SHOWN ON THIS DRAWING ARE THE PROPERTY OF A/C ARCHITECTS INC. AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF A/C ARCHITECTS INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS A CRIMINAL OFFENSE UNDER U.S.C. SEC. 1066. A WARNING: REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF A/C ARCHITECTS INC. IS A CRIMINAL OFFENSE UNDER U.S.C. SEC. 1066.



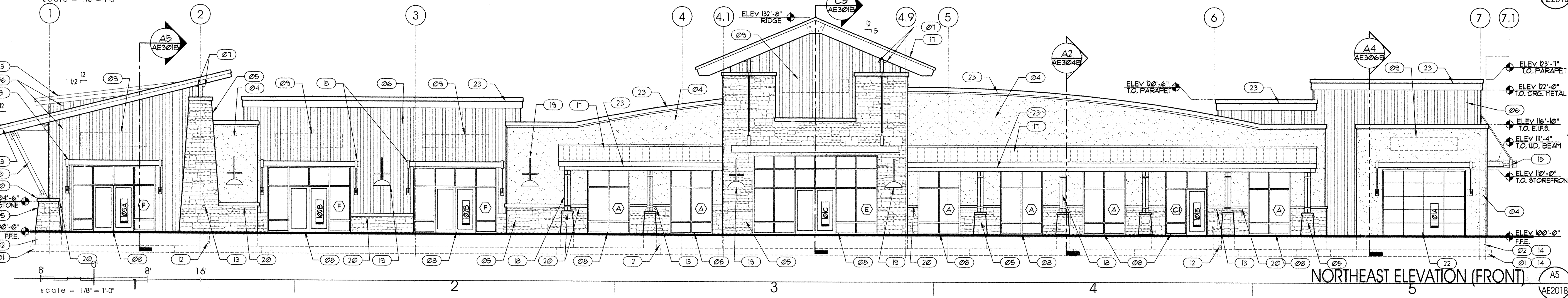
NORTHWEST ELEVATION (SIDE)



SOUTHEAST ELEVATION (ENTRY DRIVE SIDE)



SOUTHWEST ELEVATION (RASMUSSEN ROAD)



NORTHEAST ELEVATION (FRONT)

- ### KEYED NOTE LEGEND:
- FOR SHEET AE201B ONLY.
- 01 REINFORCED CONCRETE FOOTING. SEE STRUCTURAL DRAWINGS.
 - 02 REINFORCED CONCRETE FOUNDATION WALL. SEE STRUCTURAL DRAWINGS.
 - 03 FINISHED GRADE. SEE CIVIL DRAWINGS.
 - 04 EXTERIOR INSULATED FINISH SYSTEM (1 1/2" EIFS), AS SELECTED BY ARCHITECT.
 - 05 CULTURED STONE VENEER AS SELECTED BY ARCHITECT.
 - 06 CORRUGATED METAL SIDING AS SELECTED BY ARCHITECT.
 - 07 STEEL CHANNEL / WOOD COMPOSITE - PAINT STEEL, STAIN WOOD. SEE SECTION AND STRUCTURAL DRAWINGS.
 - 08 ANODIZED ALUMINUM STOREFRONT SYSTEM. SEE WINDOW TYPES.
 - 09 SIGNAGE BY OTHERS. PROVIDE SOLID BLOCKING FOR ANCHORING. POWER BY DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - 10 CONTROL JOINT IN EIFS, AS DIMENSIONED. SEE DETAIL D9/AE501.
 - 11 SNOW GUARD - SEE SPECIFICATIONS.
 - 12 PRIMARY ROOF DRAIN CONNECTED TO STORM DRAIN BELOW GRADE. SEE CIVIL FOR CONTINUATION.
 - 13 SECONDARY ROOF DRAIN LINE DROP - DAYLIGHT W/ CAST BRONZE DOWNSPOUT NOZZLE.
 - 14 DAMPROOFING ON CONCRETE BELOW GRADE.
 - 15 SUSPENDED CANOPY SYSTEM - SEE SECTION AND DETAILS.
 - 16 PARAPET WITH PREFINISHED METAL CAP - SEE SECTIONS AND STRUCTURAL DRAWINGS.
 - 17 PREFINISHED STANDING SEAM METAL ROOF SYSTEM AS SELECTED BY ARCHITECT.
 - 18 WOOD POST OR BRACING - STAIN AND FINISH. SEE SECTION AND DETAILS.
 - 19 WALL MOUNTED 'GOOSE-NECK' LIGHT FIXTURE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - 20 PRECAST CONCRETE CAP AS SELECTED BY OWNER, APPROVED BY ARCHITECT.
 - 21 PRECAST CONCRETE CROWN AS SELECTED BY OWNER, APPROVED BY ARCHITECT.
 - 22 SECTIONAL OVERHEAD DOOR. SEE DOOR TYPES.
 - 23 PREFINISHED METAL FASCIA. SEE SECTION AND DETAILS.
 - 24 WOOD TRELLIS - STAIN AND FINISH. SEE SECTION AND DETAILS.
 - 25 PREFINISHED METAL GUTTER AND DOWNSPOUT. SEE ROOF PLAN.

- ### GENERAL NOTES AND LEGEND:
- FOR SHEET AE201B ONLY.
- SEE SHEET AE001 FOR GENERAL NOTES.
 - SEE COVER SHEET FOR DRAWING INDEX.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.



OWNER INFORMATION

Allred Summit LLC
Michael Allred

PROJECT DESCRIPTION

Summit Center
Park City, Utah

Building 'B' Commercial Center
2758 W. Rasmussen Road
Summit County
Park City, Utah

SHEET NAME:

BUILDING 'B'
EXTERIOR ELEVATIONS

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATA

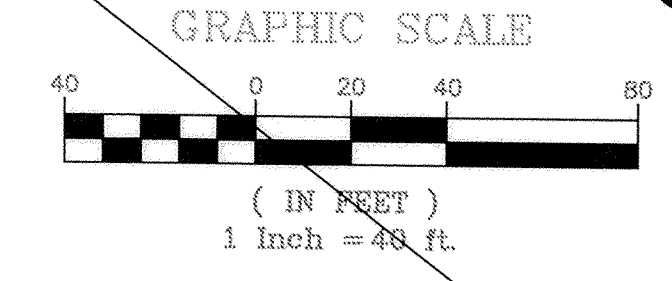
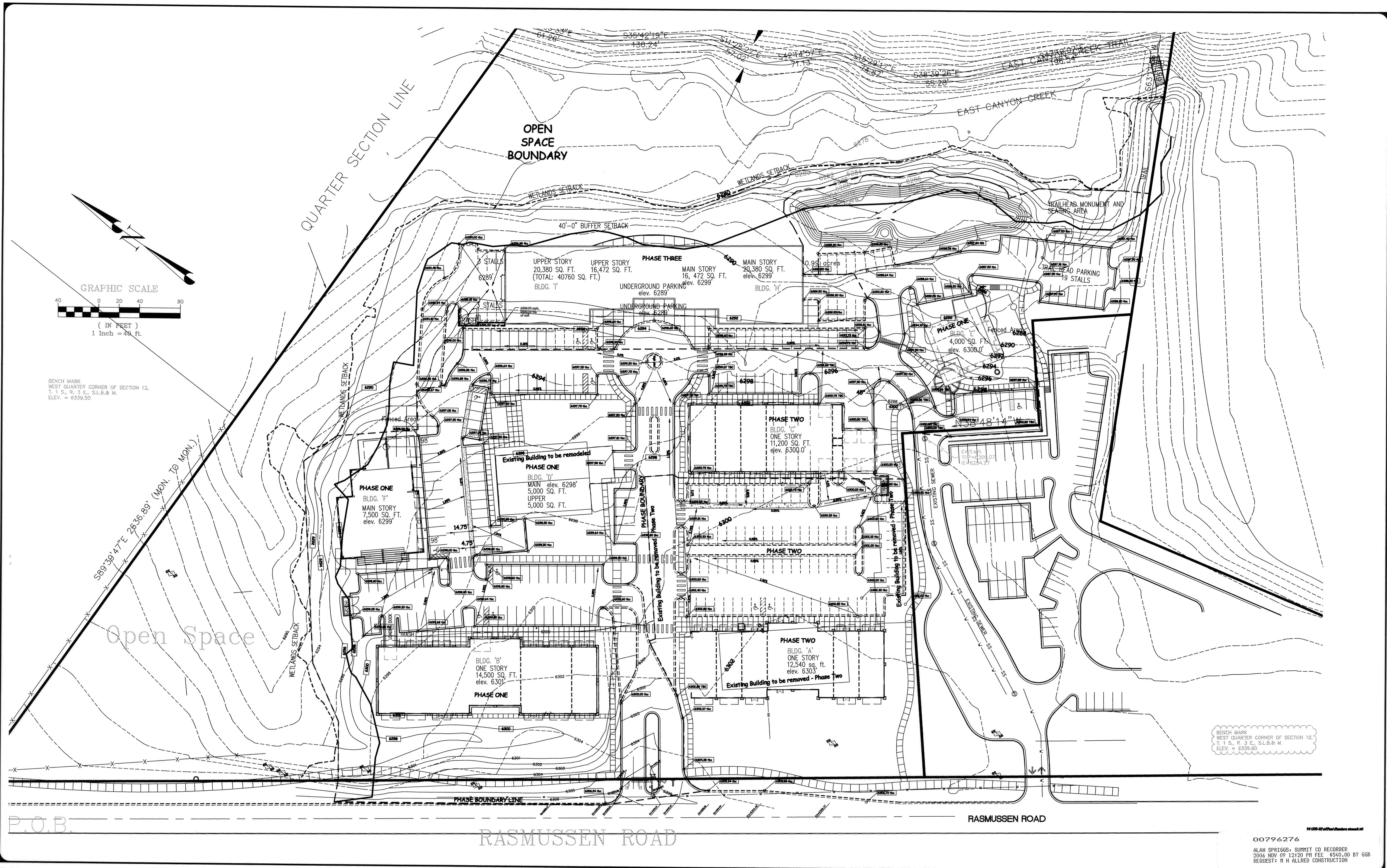
ISSUE DATE: SEPTEMBER 2006
ISSUE TYPE: CD
DRAWN BY: A.K. / B.B.
CHECKED BY: J.JONES/K.RIGBY
CAD FILE NAME:

SHEET NUMBER:

AE201B

00796276

ALAN SPRIGGS: SUMMIT CD RECORDER
2016 NOV 09 12:30 PM FEE \$540.00 BY 668
REQUEST: H H ALLRED CONSTRUCTION



BENCH MARK
 WEST QUARTER CORNER OF SECTION 12,
 T. 1 S., R. 7 E., S. 1 B. & M.
 ELEV. = 6339.90

BENCH MARK
 WEST QUARTER CORNER OF SECTION 12,
 T. 1 S., R. 7 E., S. 1 B. & M.
 ELEV. = 6339.90

P.O.B.

RASMUSSEN ROAD

RASMUSSEN ROAD

REV	BY	DATE	DESCRIPTION

REV	BY	DATE	DESCRIPTION

hp 1"=40'
 hp 105-12
 N:\105-12\MAR-2004\SITE3-03
 6/22/06

Byrd & Associates LLC.
 Engineers & Land Surveyors

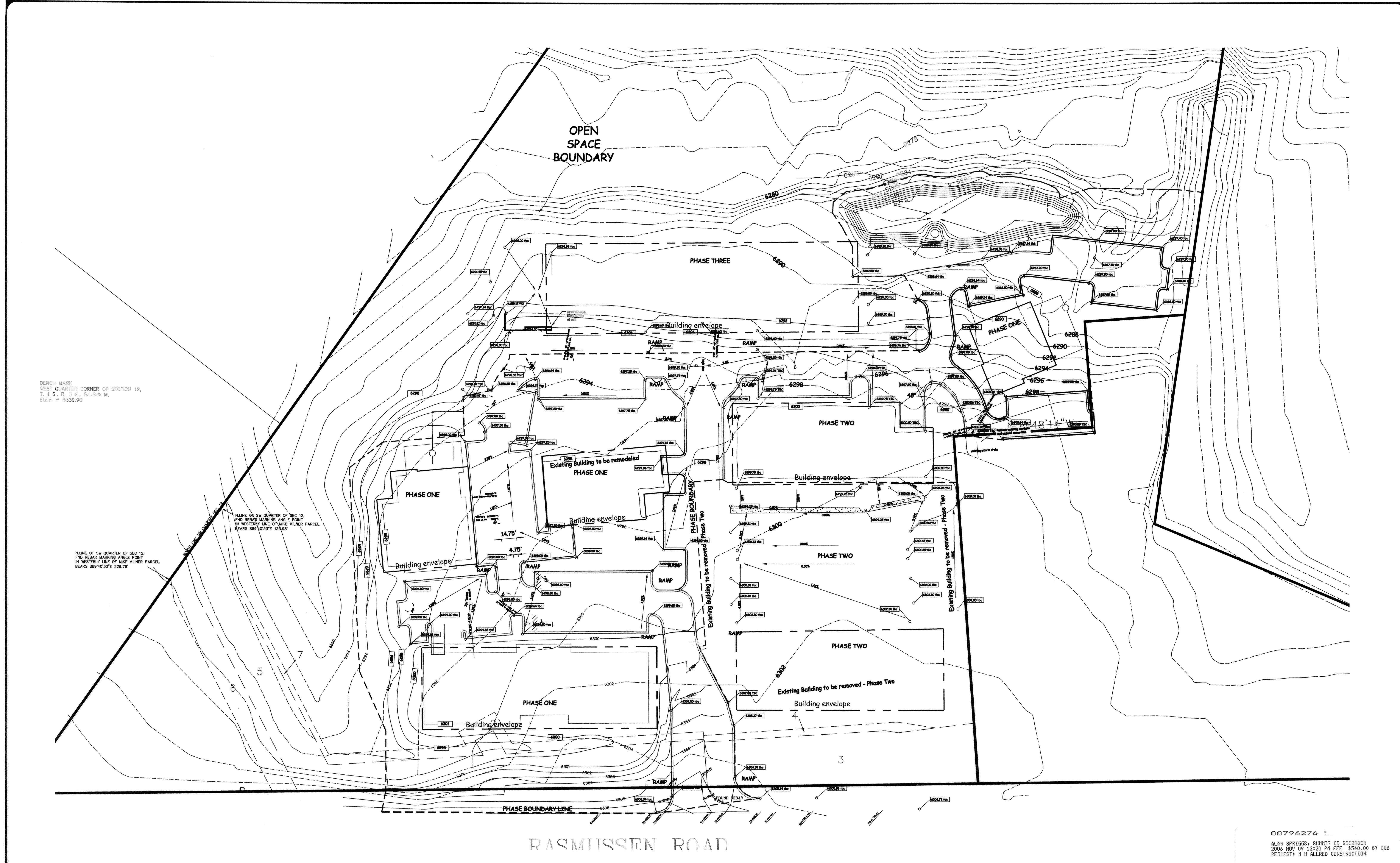
505 South Main Street
 Bountiful, Utah 84010
 Phone (801)-292-0400
 Fax (801)-292-8216

Summit Center Commerce Park
 Topography & Grading

Summit County UTAH

SHEET: 5
 OF: 14
 DRAWING
 C-5

00796276
 ALAN SPRIGGS, SUMMIT CO RECORDER
 2006 NOV 09 12:20 PM FEE \$540.00 BY GGB
 REQUEST: M H ALLRED CONSTRUCTION



BENCH MARK
WEST QUARTER CORNER OF SECTION 12,
T. 11 S., R. 3 E., S.L.B. & M.
ELEV. = 6339.60

LINE ON SW QUARTER OF SEC 12,
1/40 REBAR MARKING ANGLE POINT
IN WESTERLY LINE OF MIKE MILNER PARCEL
BEARS S89°43'37"E 133.00'

LINE OF SW QUARTER OF SEC 12
1/40 REBAR MARKING ANGLE POINT
IN WESTERLY LINE OF MIKE MILNER PARCEL
BEARS S89°43'37"E 225.79'

00796276
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE: \$540.00 BY GGB
REQUEST: M H ALLRED CONSTRUCTION

REV	BY	DATE	DESCRIPTION

REV	BY	DATE	DESCRIPTION

hp	1"=40'
hp	105-12
N:\105-12\MAR-2004\SITE 3-03	
6/22/04	

Byrd & Associates L.L.C.
Engineers & Land Surveyors

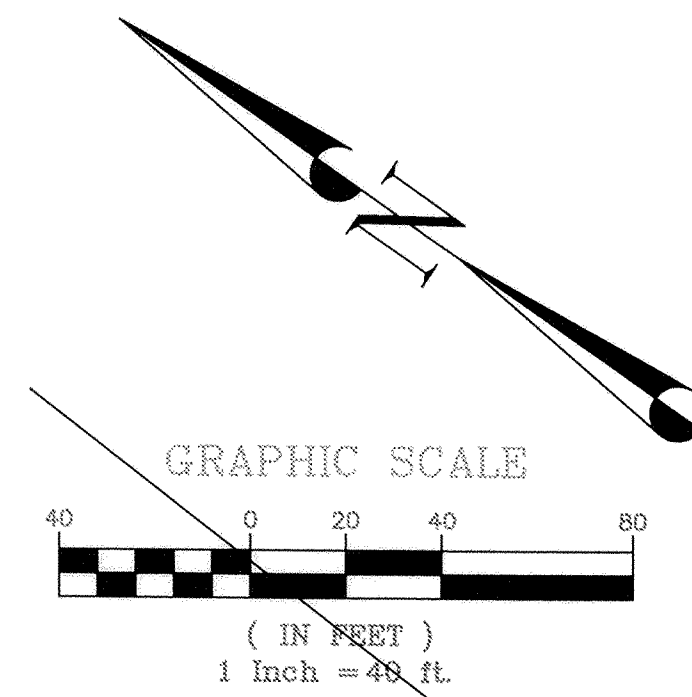
505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

Summit Center Commerce Park
Phase One Topo. & Grading

Summit County UTAH

SHEET: 5A
OF: 14
DRAWING
C-5A

PARKING EVALUATION		
PHASE ONE	BUILDING AREA 43200 SQ.FT.	PARKING STALLS 96 standard 6 standard ADA access 2 Van ADA access
PHASE TWO	45484 SQ.FT.	120 standard 4 standard ADA access 1 Van ADA access
TOTAL STALLS		301



8' wide / 3" deep asphalt surface
8' wide / 6" deep gravel roadbase

Typical trail section

OPEN SPACE
BOUNDARY

40'-0" BUFFER SETBACK

WETLANDS SETBACK

WETLANDS SETBACK

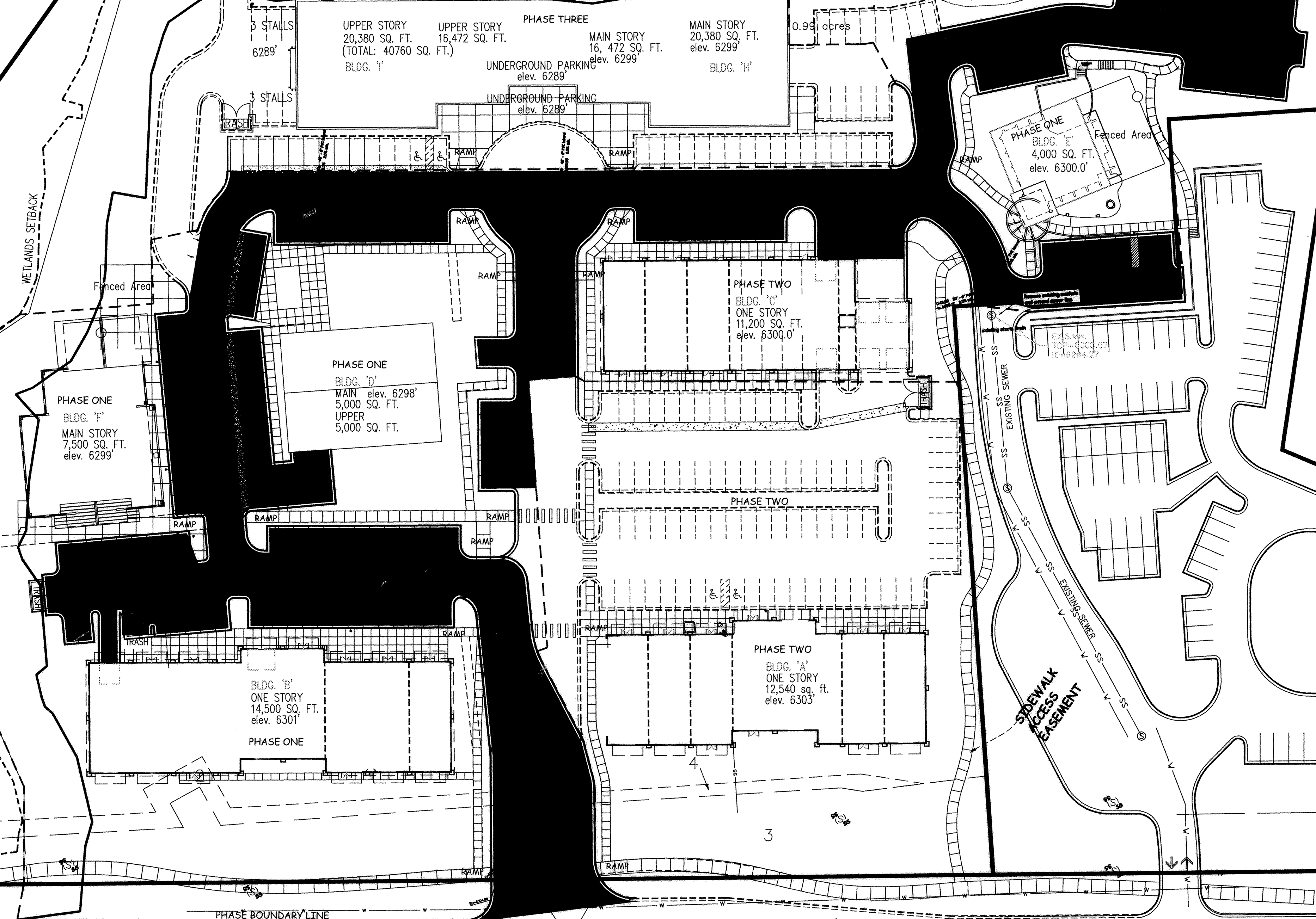
WETLANDS SETBACK

PHASE BOUNDARY LINE

RASMUSSEN ROAD

RASMUSSEN ROAD

S89°19'17"E 2636.89' (MON. TO MON.)
N. LINE OF SW QUARTER OF SEC. 12,
FIND REBAR MARKING ANGLE POINT
IN WESTERLY LINE OF MIKE MILNER PARCEL,
BEARS S89°40'33"E 133.98'
SW QUARTER OF SEC. 12,
2" MARKING ANGLE POINT
E.L.Y. LINE OF MIKE MILNER PARCEL
9°40'33"E 226.79'



PHASE ONE
BLDG. 'E'
4,000 SQ. FT.
elev. 6300.0'

PHASE THREE
MAIN STORY
16,472 SQ. FT.
elev. 6299'

UNDERGROUND PARKING
elev. 6289'

PHASE TWO
BLDG. 'C'
ONE STORY
11,200 SQ. FT.
elev. 6300.0'

PHASE TWO
BLDG. 'A'
ONE STORY
12,540 sq. ft.
elev. 6303'

PHASE ONE
BLDG. 'D'
MAIN elev. 6298'
5,000 SQ. FT.
UPPER
5,000 SQ. FT.

PHASE ONE
BLDG. 'F'
MAIN STORY
7,500 SQ. FT.
elev. 6299'

PHASE ONE
BLDG. 'B'
ONE STORY
14,500 SQ. FT.
elev. 6301'

00796276
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE \$540.00 BY GGB
REQUEST: H H ALLRED CONSTRUCTION

REV	BY	DATE	DESCRIPTION
		Aug 28, '06	Added typical trail section
		Aug 30, '06	Added the sidewalk on the southeast side of project. Modified trail section to 8' width of asphalt and base.

REV	BY	DATE	DESCRIPTION

hp	1"=40'
hp	105-12
N:\105-12\MAR-2004\SHE3-03	
6/22/04	

Byrd & Associates L.L.C.
Engineers & Land Surveyors

505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

Summit Center Commerce Park
Traffic Circulation

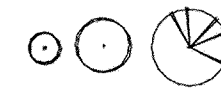
Summit County UTAH

SHEET: 6
OF: 14
DRAWING
C-6

PLANT LIST

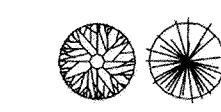
BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COMMENTS
----------------	-------------	------	------	----------

DECIDUOUS TREES



<i>Acer ginnala</i>	Flame Maple	8	15 Gal.	
<i>Acer grandidentatum</i>	Bigtooth Maple	22	15 gal	
<i>Populus tremuloides</i>	Aspen	86	2" caliper	

EVERGREEN TREES



<i>Pinus nigra</i>	Austrian Pine	12	5-12'	
<i>Pinus edulis</i>	Pinyon Pine	12	5-12'	
<i>Abies concolor</i>	White Fir	10	9'	
<i>Pseudotsuga menziesii</i>	Douglas Fir	9	7'	

SHRUB STEPPE

<i>Artemisia tridentata</i>	Big Sagebrush	5 GAL		
<i>Chrysothamnus nauseosus</i>	Rubber Rabbit Brush	5 GAL		
<i>Cowanlia mexicana</i>	Cliffrose	5 GAL		
<i>Purshia tridentata</i>	Bitterbrush	5 GAL	3' O.C	
<i>Rosa woodsii</i>	Woods Rose	5 GAL	3' O.C	
<i>Symphoricarpos albus</i>	Snowberry	5 GAL	3' O.C	

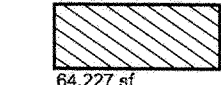
SHRUB STEPPE SEED MIX



PERENNIAL GARDEN

<i>Salvia dorrii</i>	Purple Desert Sage	5 GAL	3' O.C	
<i>Sphaeralcea caespitosa</i>	Globemallow	5 GAL	3' O.C	
<i>Achillea millefolium</i>	Yarrow	1 GAL	8" O.C.	
<i>Aster tanacetifolius</i>	Prairie Aster	1 GAL	8" O.C.	
<i>Aquilegia caerulea</i>	Rocky Mountain Columbine	1 GAL	8" O.C.	
<i>Penstemon cyananthus</i>	Wasatch Penstemon	1 GAL	8" O.C.	

PERENNIAL GARDEN SEED MIX

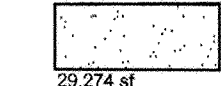


ORNAMENTAL GRASSES



<i>Calamagrostis arundinacea</i>	Feather Reed Grass	5 GAL	3' O.C	
<i>Helictotrichon sempervirens</i>	Blue Oats Grass	5 GAL	3' O.C	

NATIVE GRASSLAND-WETLAND SEED MIX



Seed Mix		Broadcast		
22%	<i>Bromus marginatus</i>	Mountain brome	30 lbs/ Acre	
13%	<i>Agropyron trachycalum</i>	Slender wheatgrass		
8%	<i>Linum lewisii</i>	Blue Flax		
3%	<i>Sphaeralcea coccinea</i>	Scarlet globemallow		
11%	<i>Gallardia aristata</i>	Blanket flower		
3%	<i>Penstemon strictus</i>	Rocky Mountain Penstemon		
3%	<i>Oryzopsis hymenoides</i>	Indian Rice Grass		
14%	<i>Elymus glaucus</i>	Blue Wildrye		
13%	<i>Agropyron smithii</i>	Western wheatgrass		
12%	<i>Agropyron riparium</i>	Streambank wheatgrass		

NOTE

All disturbed areas not covered by impervious surfaces shall be re-vegetated.
All zones except for Native Grassland-Wetland to be covered with a 4" layer of mulch.

SHRUB STEPPE SEED

FLAME MAPLE

PINE

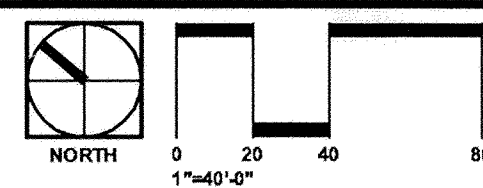
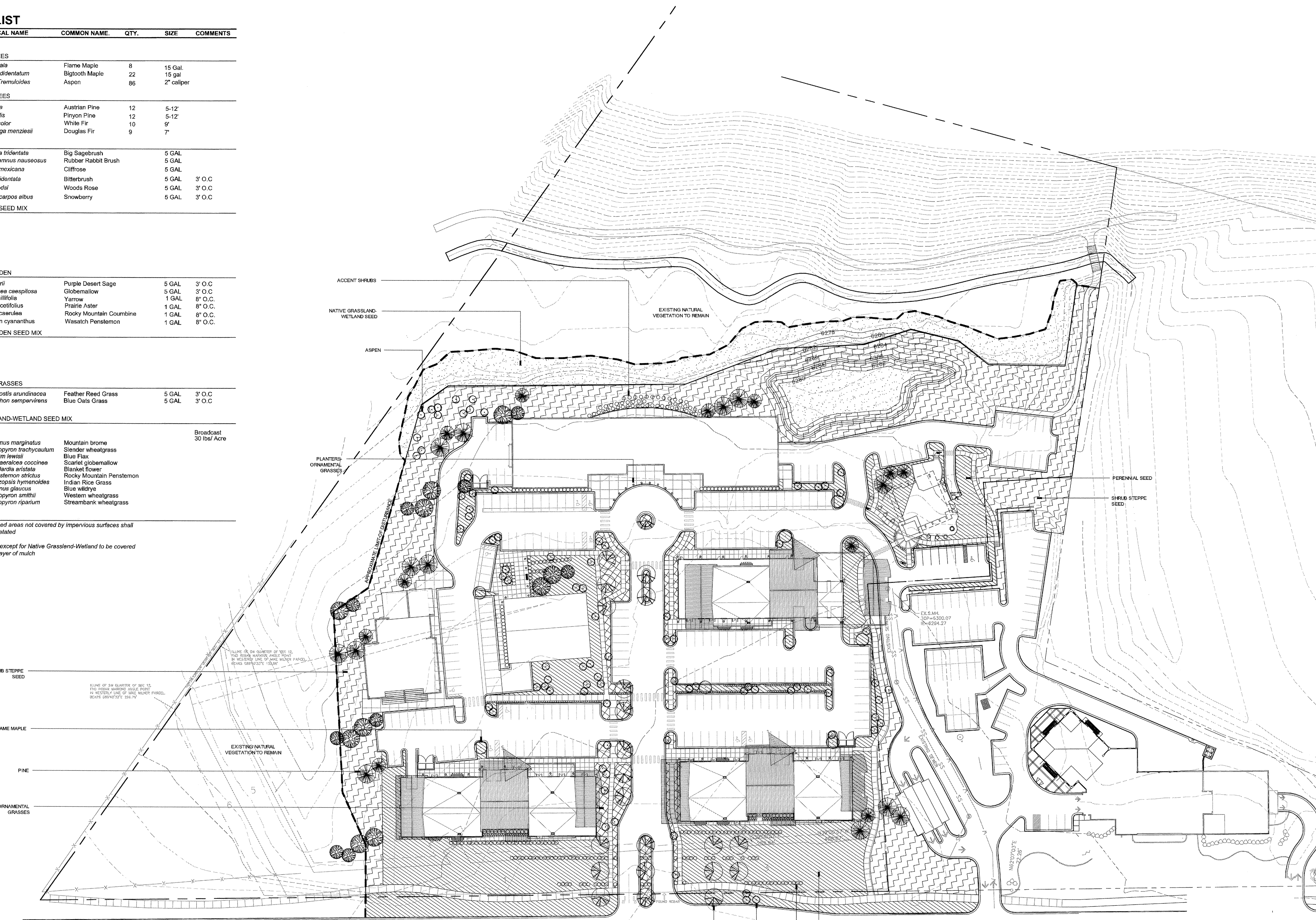
ORNAMENTAL GRASSES

PERENNIAL SEED

ACCENT SHRUB

ASPEN

BIGTOOTH MAPLE



LEGEND

DESCRIPTION	COMMENTS
-------------	----------

	TEMPORARY IRRIGATION ROTOR HEADS ON RISERS, BURIED PIPING, REMOTE CONTROL VALVES
	PERENNIAL PLANTING IRRIGATION DRIP IRRIGATION AS REQUIRED FOR SIZE OF PLANTING BEDS, BURIED PIPING, REMOTE CONTROL VALVES
	TRANSITION AREA IRRIGATION ROTOR HEADS AND SPRAY HEADS AS REQUIRED FOR SIZE OF PLANTING BEDS, BURIED PIPING, REMOTE CONTROL VALVES
	ORNAMENTAL GRASSES IRRIGATION DRIP IRRIGATION AS REQUIRED FOR SIZE OF PLANTING BEDS, BURIED PIPING, REMOTE CONTROL VALVES

GENERAL NOTES

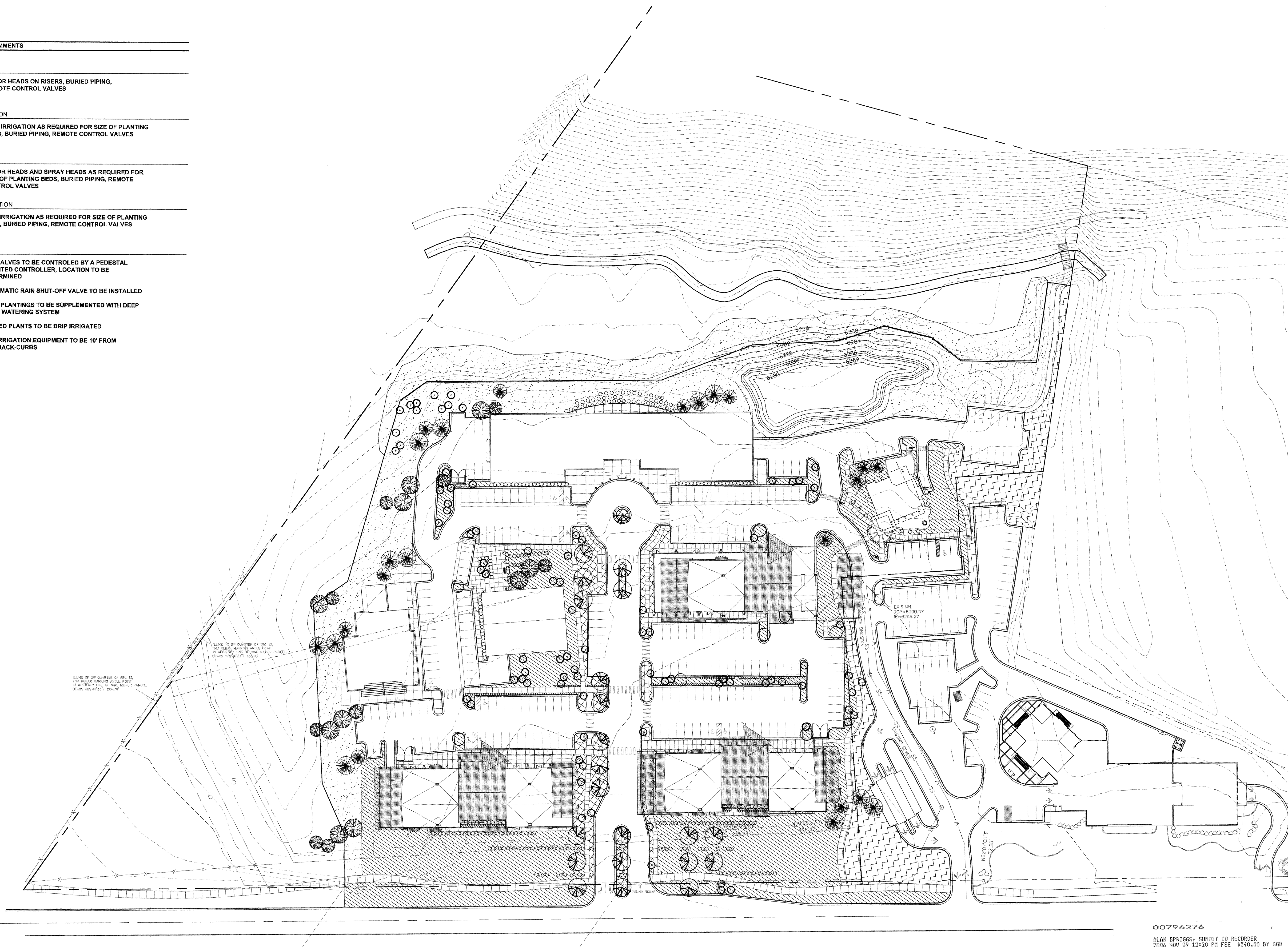
ALL VALVES TO BE CONTROLLED BY A PEDESTAL MOUNTED CONTROLLER, LOCATION TO BE DETERMINED

AUTOMATIC RAIN SHUT-OFF VALVE TO BE INSTALLED

TREE PLANTINGS TO BE SUPPLEMENTED WITH DEEP ROOT WATERING SYSTEM

POTTED PLANTS TO BE DRIP IRRIGATED

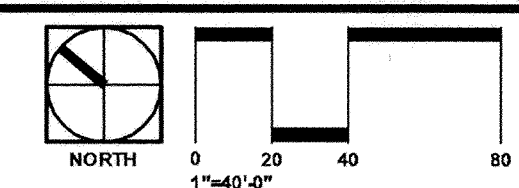
ALL IRRIGATION EQUIPMENT TO BE 10' FROM TOP-BACK-CURBS



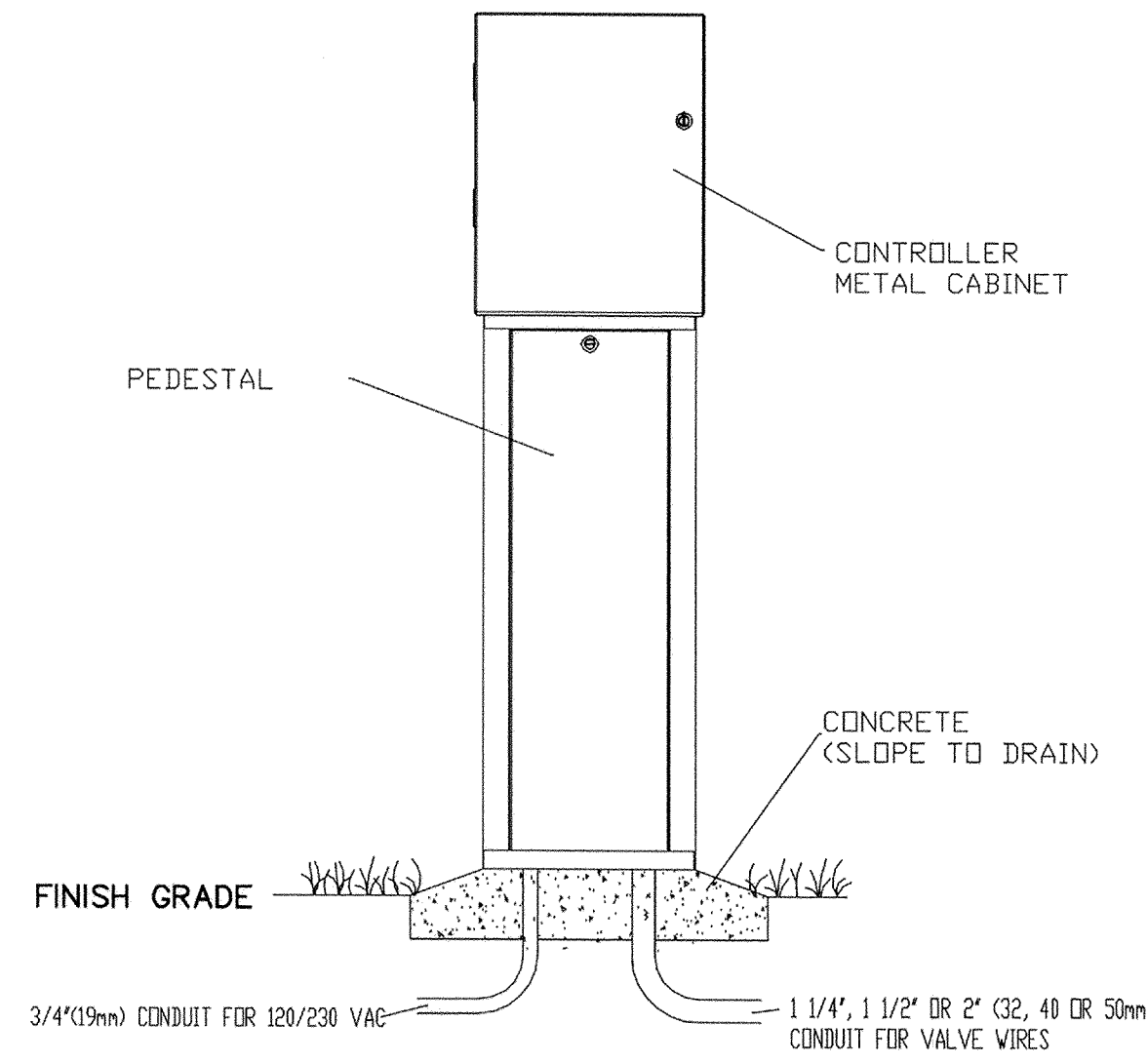
00796276
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE \$540.00
REQUEST: H H ALLRED CONSTRUCTION

Summit Center Park City, Utah

Schematic Irrigation Plan

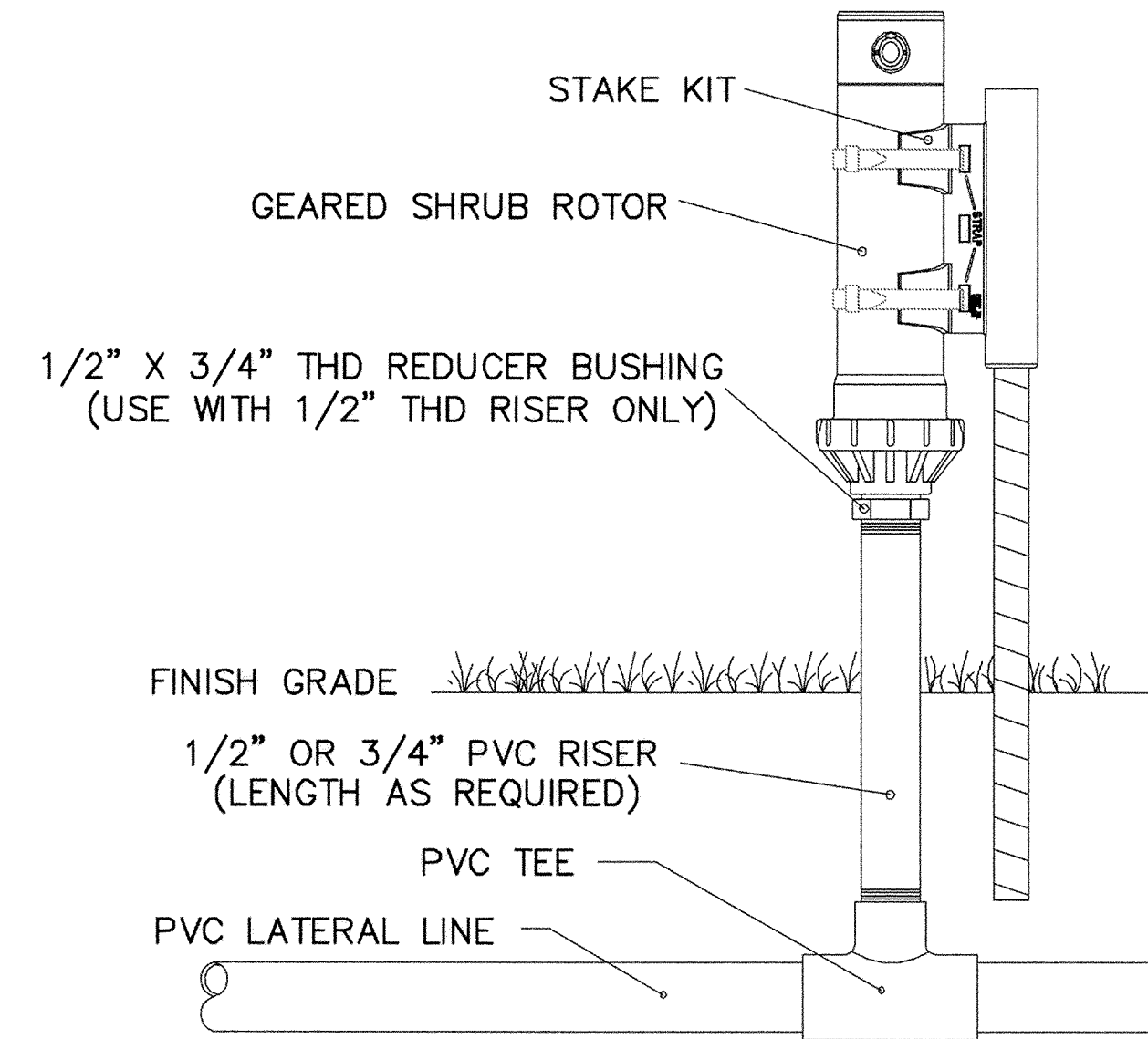


DESIGN WORKSHOP
Landscape Architecture Land Planning Urban Design Tourism Planning
224 South 200 West Suite 110
Salt Lake City, Utah 84101-1801
801.359.4771
Fax: 801.359.4411



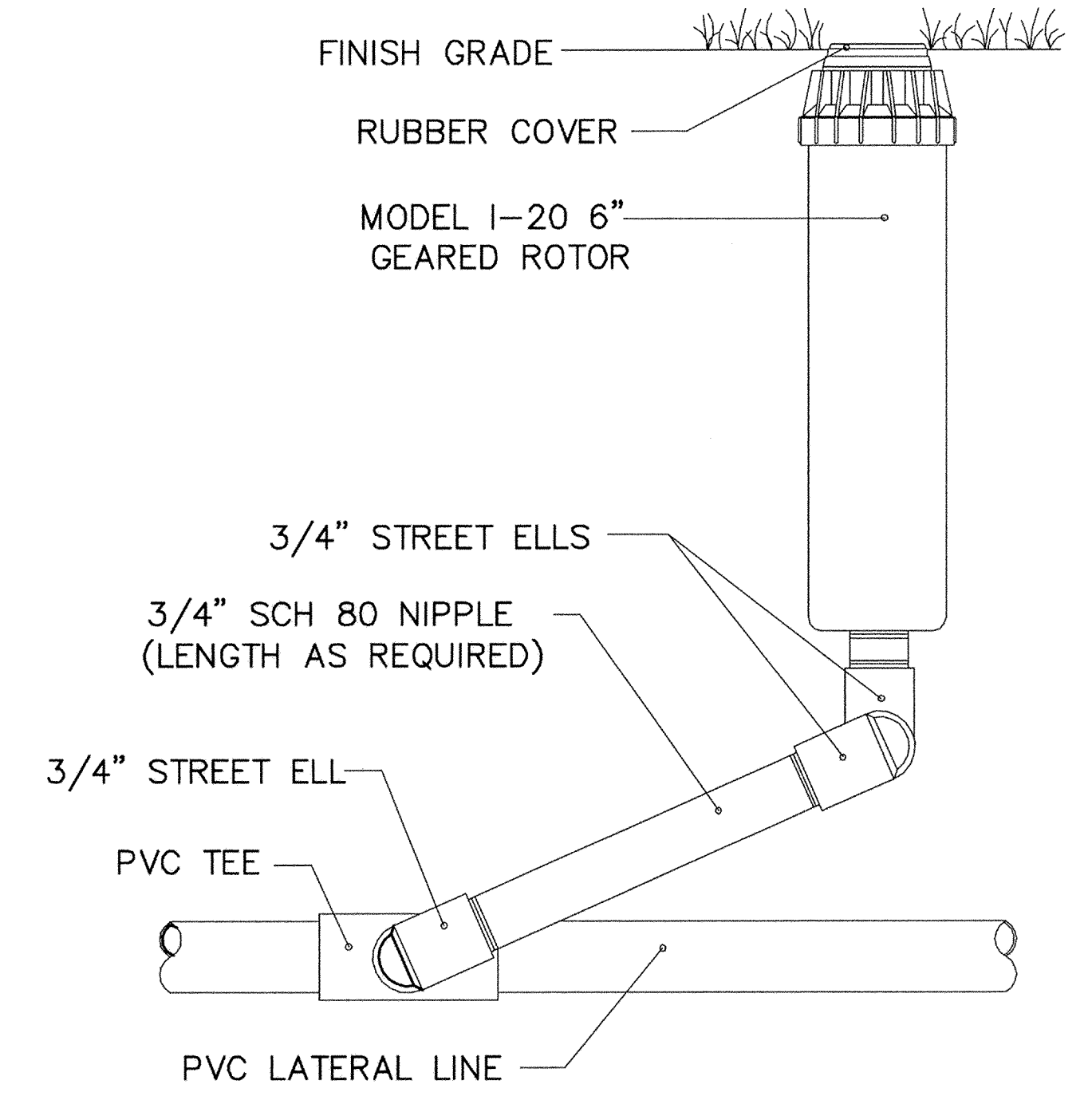
Controller

no scale



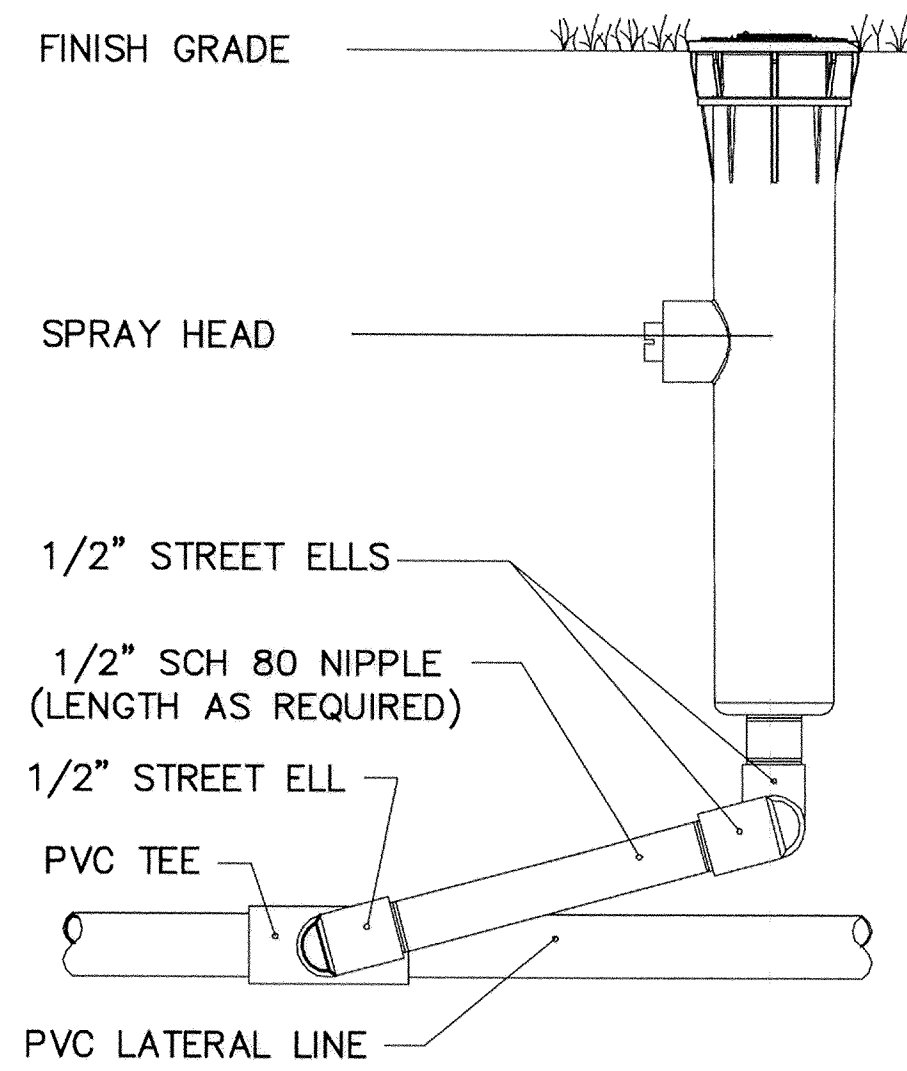
Rotor with Fixed Riser

no scale



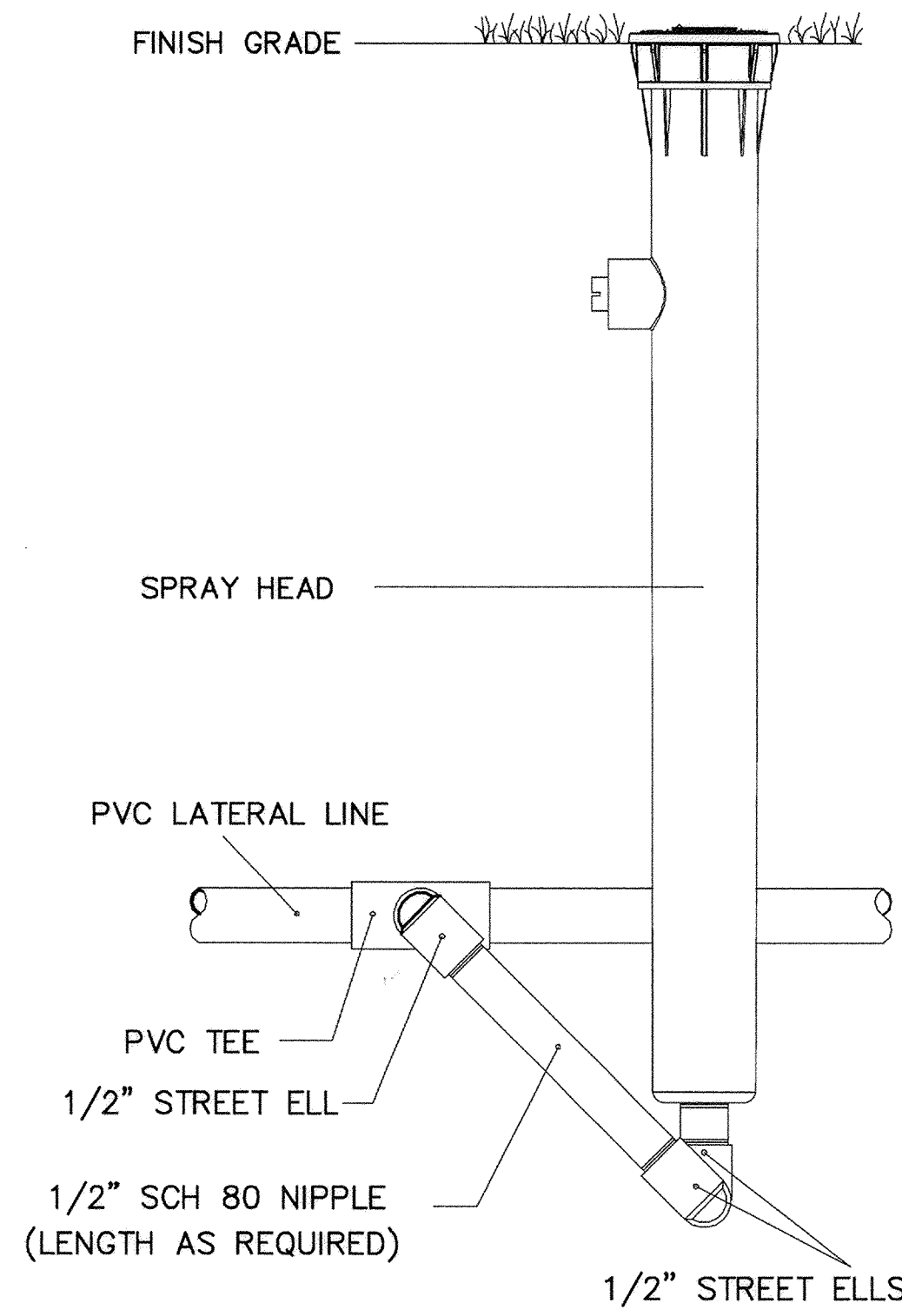
Rotor Head

no scale



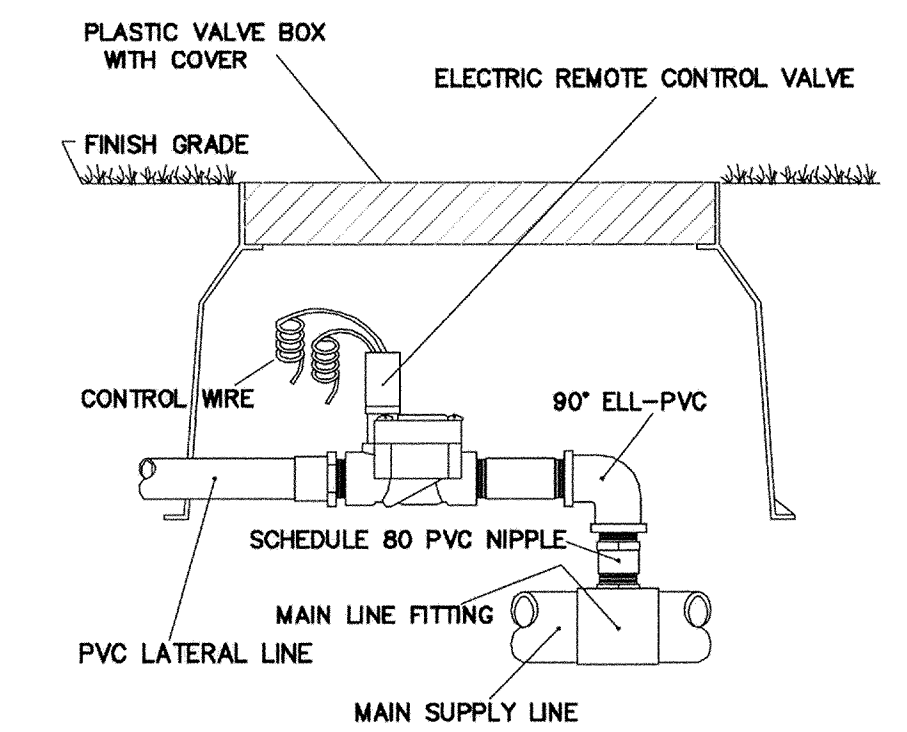
6" Pop-up Spray Head

no scale



12" Pop-up Spray Head

no scale

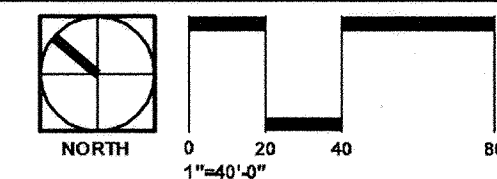


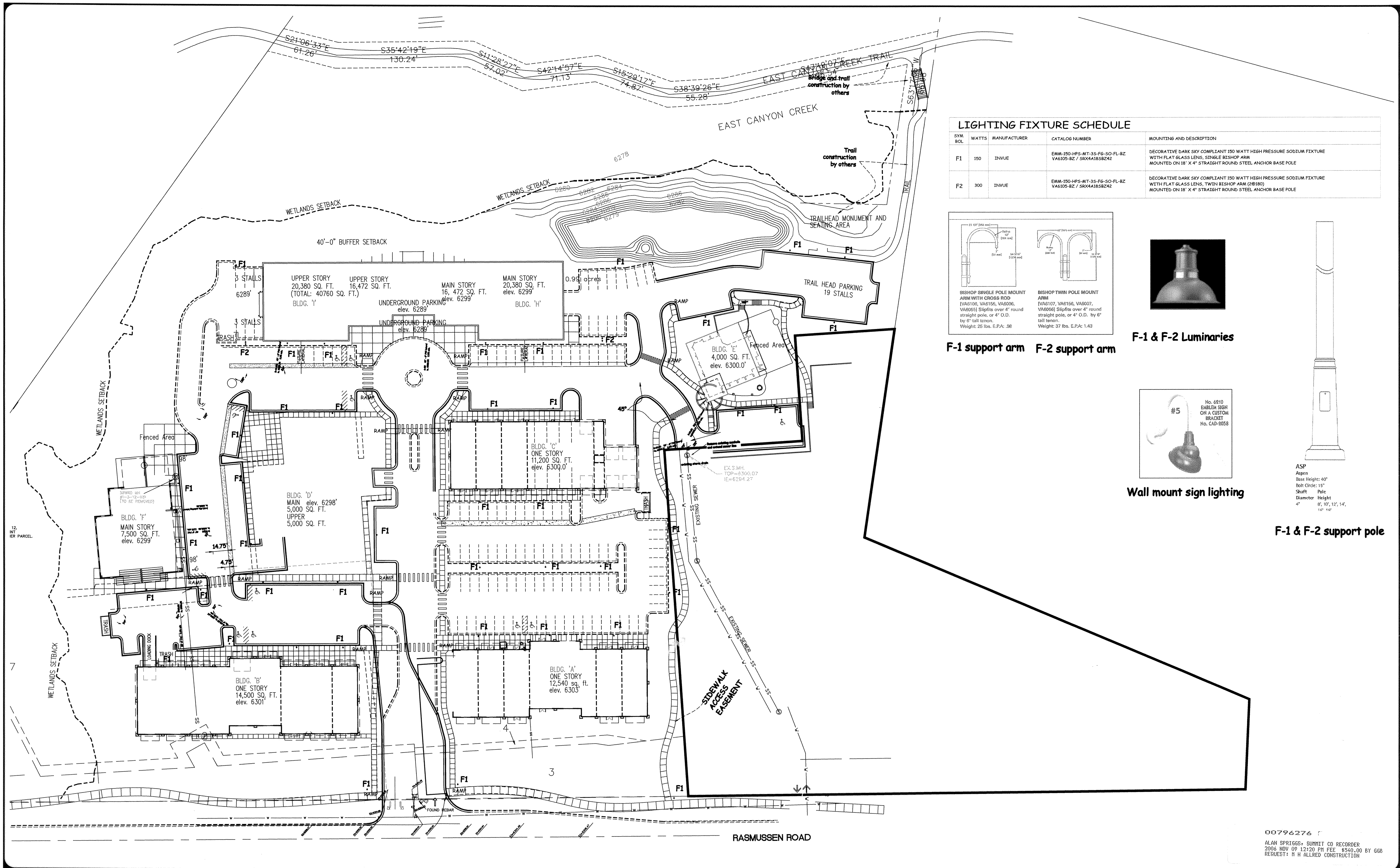
Remote Control Valve

no scale



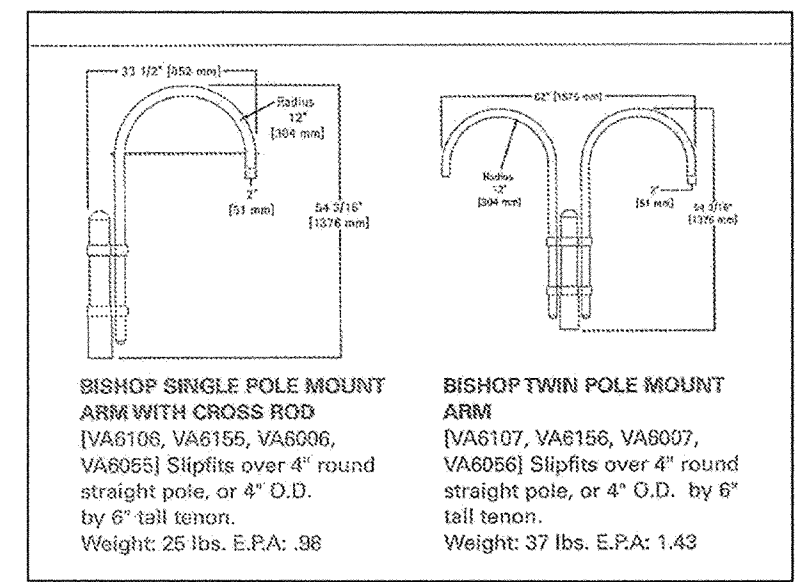
00796276
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE \$540.00 BY 668
REQUEST: M H ALLRED CONSTRUCTION



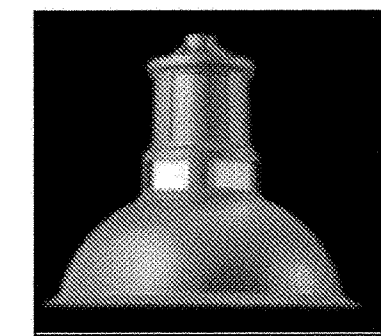


LIGHTING FIXTURE SCHEDULE

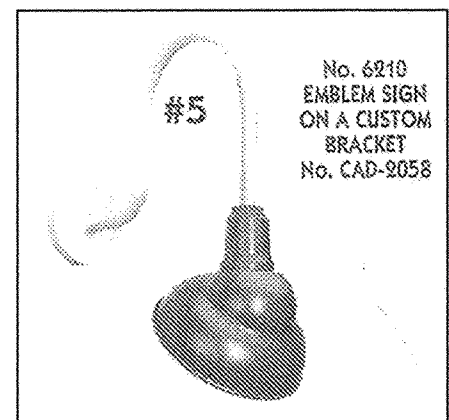
SYM	WATTS	MANUFACTURER	CATALOG NUMBER	MOUNTING AND DESCRIPTION
F1	150	INVUE	EMW-150-HPS-MT-35-FG-SO-FL-BZ VA6105-BZ / SRX4A185BZ42	DECORATIVE DARK SKY COMPLIANT 150 WATT HIGH PRESSURE SODIUM FIXTURE WITH FLAT GLASS LENS, SINGLE BISHOP ARM MOUNTED ON 18" X 4" STRAIGHT ROUND STEEL ANCHOR BASE POLE
F2	300	INVUE	EMW-150-HPS-MT-35-FG-SO-FL-BZ VA6105-BZ / SRX4A185BZ42	DECORATIVE DARK SKY COMPLIANT 150 WATT HIGH PRESSURE SODIUM FIXTURE WITH FLAT GLASS LENS, TWIN BISHOP ARM (2@150) MOUNTED ON 18" X 4" STRAIGHT ROUND STEEL ANCHOR BASE POLE



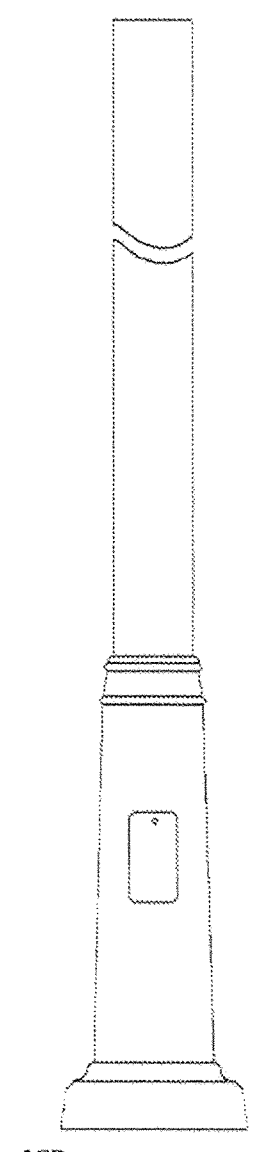
F-1 support arm F-2 support arm



F-1 & F-2 Luminaries



Wall mount sign lighting



F-1 & F-2 support pole
ASP
Aspen
Base Height: 40"
Bolt Circle: 15"
Shaft Pole Height
Diameter 8", 10", 12", 14", 16", 18"

00796276
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE \$540.00 BY GGB
REQUEST: H H ALLRED CONSTRUCTION

REV	BY	DATE	DESCRIPTION
		Aug 30, '06	Added lighting details, pictures. Remove footcandle readings and contour lines.

REV	BY	DATE	DESCRIPTION

hp	1"=40'
hp	105=12'
N:\105-12\MAR-2004\SITE3-03	
6/22/06	

Byrd & Associates LLC
Engineers & Land Surveyors
505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

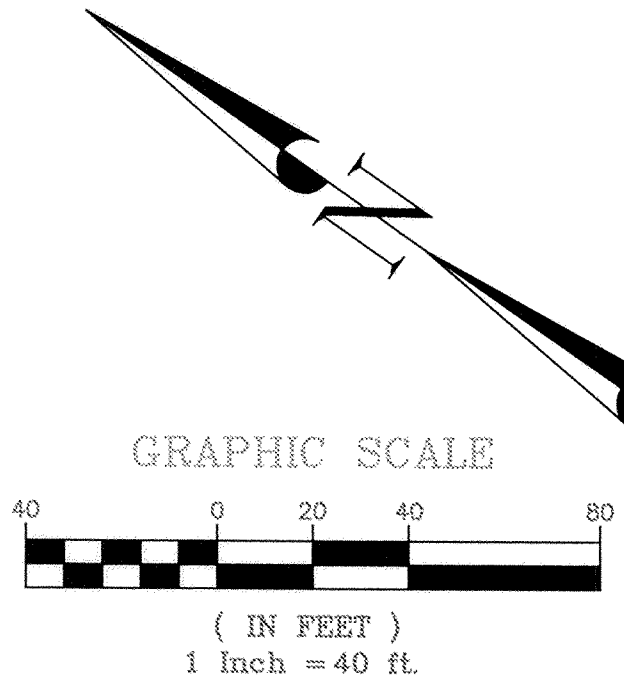
Summit Center Commerce Park
Lighting Plan
Summit County UTAH

SHEET: 6
OF: 14
DRAWING
C-8

GENERAL NOTES

1. CONSTRUCTION OF THE WASTEWATER SYSTEM IMPROVEMENTS SHALL CONFORM WITH SBWD DEVELOPMENT PROCEDURES, DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND SEWER LATERALS PRIOR TO CONSTRUCTION.
3. A MINIMUM OF 4 FEET OF COVER IS REQUIRED OVER TOP OF SEWER PIPE.
4. THE EXISTING SEWER LINE MUST REMAIN IN SERVICE UNTIL THE NEW LINE IS TESTED AND APPROVED BY THE DISTRICT.
5. DUE TO THE MINIMAL SLOPE OF THE PROPOSED SEWER LINE A VIDEO INSPECTION WILL BE NECESSARY ANY SLOPES LESS THAN 0.4% WILL NOT BE ACCEPTED.
6. DO NOT CONNECT EXISTING BUILDINGS TO NEW SEWER LINE PRIOR TO PROPER TESTING OF SEWER LINE AND APPROVED BY SBWD.

BENCH MARK
WEST QUARTER CORNER OF SECTION 12,
T. 1 S., R. 3 E., S.L.B. & M.
ELEV. = 6336.80



Detention Requirements / 100 Year event
Weighted runoff coefficient - 0.71

Area of Site - 7.89 acres (contributing to pond)
Runoff coefficient - 0.71
Allowable discharge - 0.10 cfs/acre
point precipitation frequency estimates from NOAA ATLAS 14
Utah 40.666 N 111.562 W - 100 year average recurrence interval

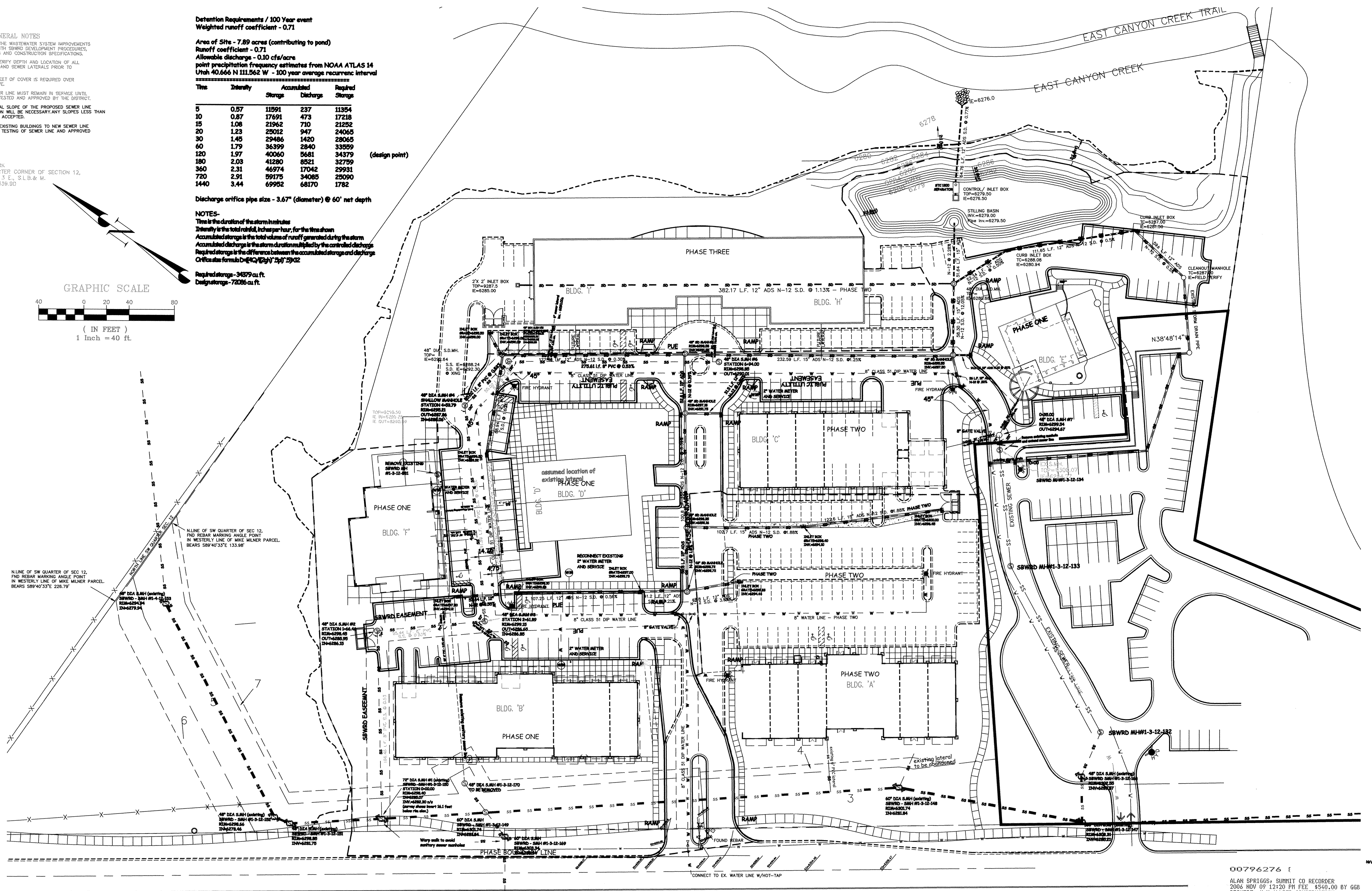
Time	Intensity	Accumulated Storage	Discharge	Required Storage
5	0.57	11591	237	11354
10	0.87	17691	473	17218
15	1.08	21962	710	21252
20	1.23	25012	947	24065
30	1.45	29486	1420	28065
60	1.79	36399	2840	33559
120	1.97	40060	5681	34379
180	2.03	41280	8521	32759
360	2.31	46974	17042	29931
720	2.91	59175	34085	25090
1440	3.44	69952	68170	1782

Discharge orifice pipe size - 3.67" (diameter) @ 60" net depth

NOTES-

- Time is the duration of the storm in minutes
- Intensity is the total rainfall, inches per hour, for the time shown
- Accumulated storage is the total volume of runoff generated during the storm
- Required discharge is the storm duration multiplied by the controlled discharge
- Required storage is the difference between the accumulated storage and discharge
- Orifice area formula $D = \sqrt{\frac{4Q}{\pi V}} \cdot 1.48 \cdot 3.12$

Required storage - 34379 cu. ft.
Design storage - 72086 cu. ft.



00796276 1
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE \$50.00 BY 668
REQUEST: N H ALLRED CONSTRUCTION

REV	BY	DATE	DESCRIPTION
		Aug. 2006	Added a pipe to connect to the Dodge dealership's storm drain system.
		Aug. 26, '06	Modified detention basin to provide ground water recharge.

REV	BY	DATE	DESCRIPTION

hp	1"=40
hp	105=12
N:\05-12\MAR-2004\SITE3-03	
6/22/04	

Byrd & Associates LLC.
Engineers & Land Surveyors

505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

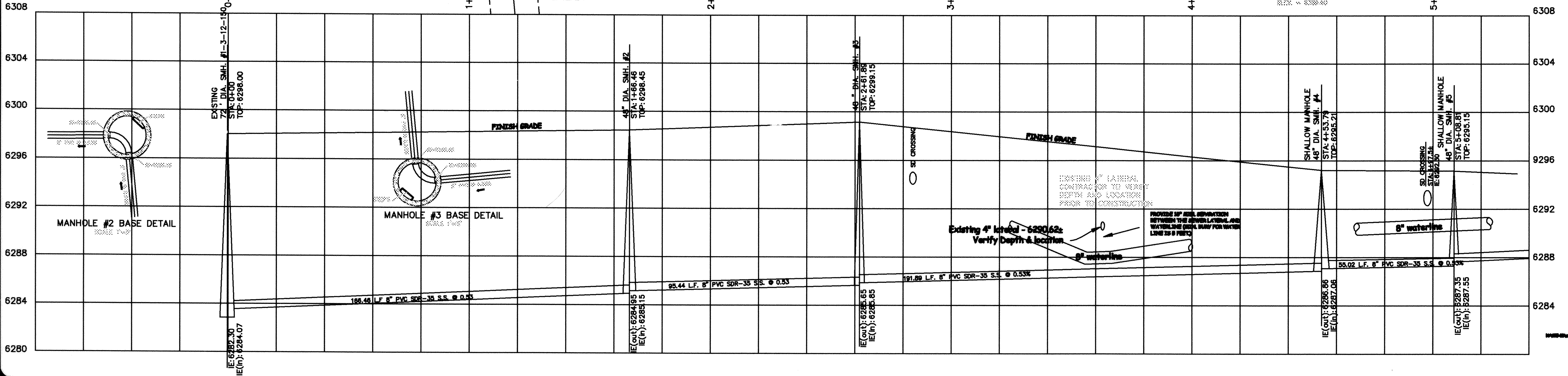
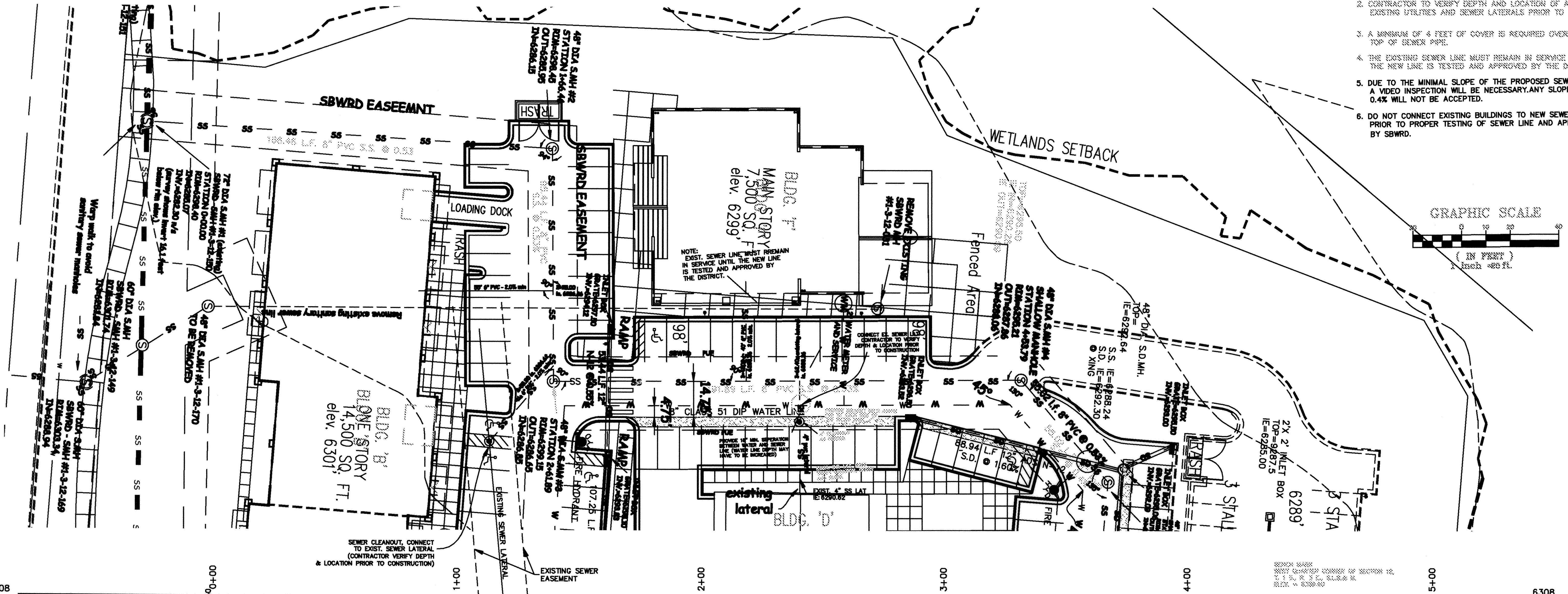
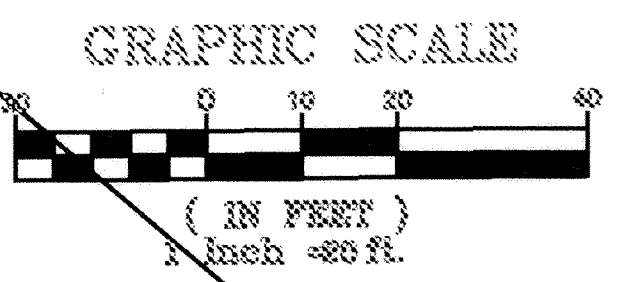
Summit Center Commerce Park
Overall Utilities Plan

Summit County UTAH

SHEET: 9
OF: 14
DRAWING
C-9

GENERAL NOTES

1. CONSTRUCTION OF THE WASTEWATER SYSTEM IMPROVEMENTS SHALL CONFORM WITH SBWRD DEVELOPMENT PROCEDURES, DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND SEWER LATERALS PRIOR TO
3. A MINIMUM OF 4 FEET OF COVER IS REQUIRED OVER TOP OF SEWER PIPE.
4. THE EXISTING SEWER LINE MUST REMAIN IN SERVICE UNTIL THE NEW LINE IS TESTED AND APPROVED BY THE DISTRICT.
5. DUE TO THE MINIMAL SLOPE OF THE PROPOSED SEWER LINE A VIDEO INSPECTION WILL BE NECESSARY. ANY SLOPES LESS THAN 0.4% WILL NOT BE ACCEPTED.
6. DO NOT CONNECT EXISTING BUILDINGS TO NEW SEWER LINE PRIOR TO PROPER TESTING OF SEWER LINE AND APPROVED BY SBWRD.



REV	BY	DATE	DESCRIPTION
		06/15/06	Raised sanitary sewer line

REV	BY	DATE	DESCRIPTION

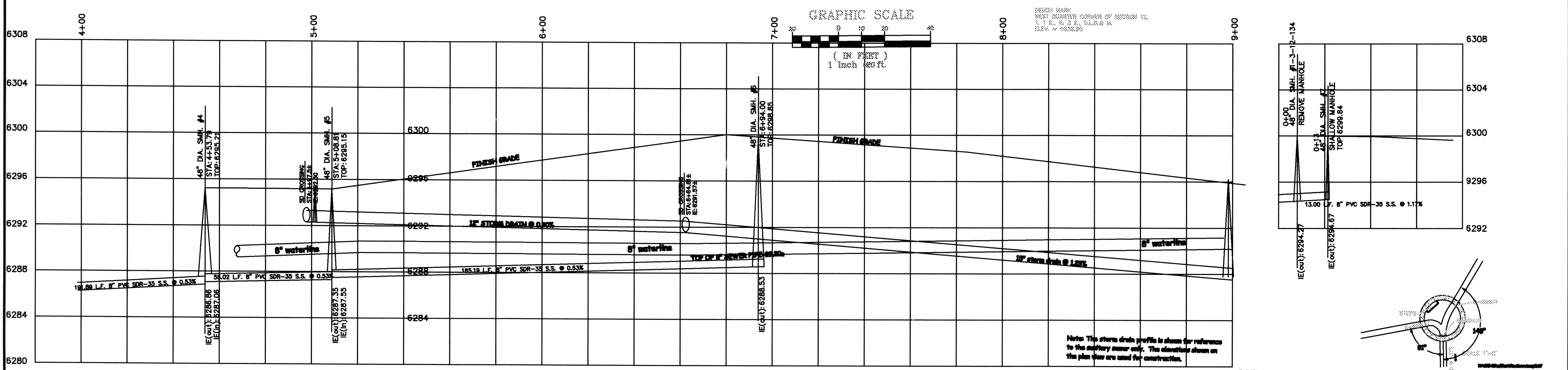
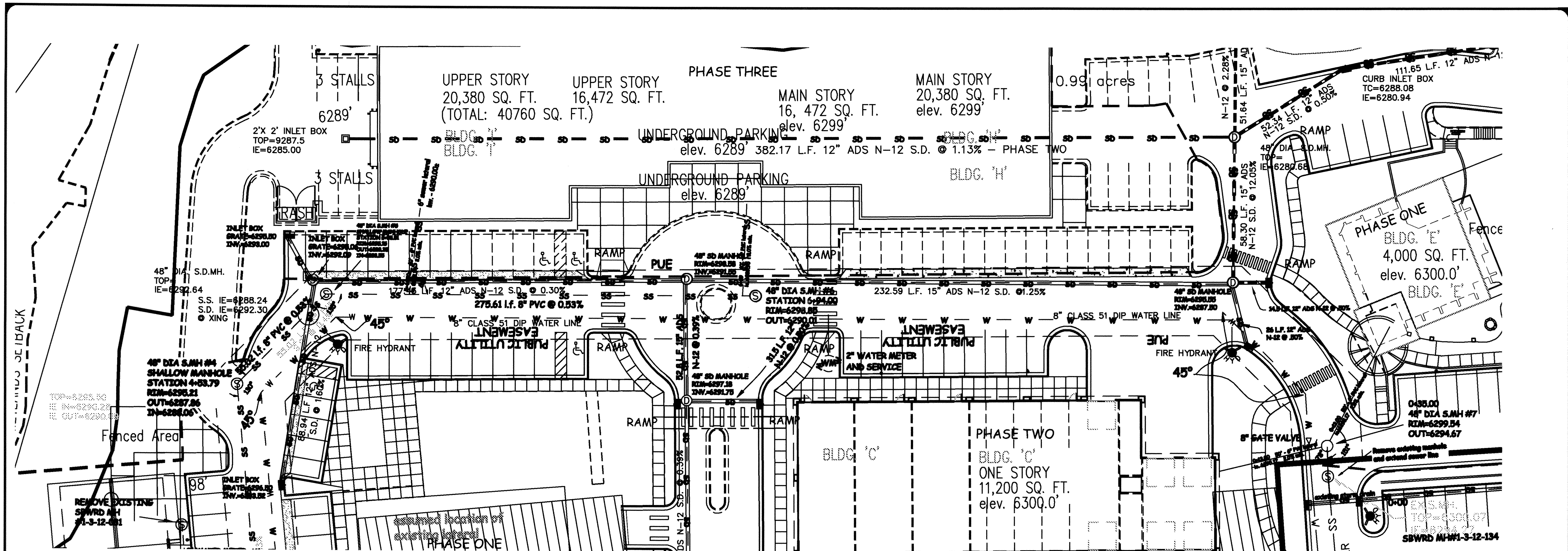
hp	1"=40'
hp	105'-12"
N:\105-12\MAR-2004\SITE3-03	
6/22/06	

Byrd & Associates LLC
 Engineers & Land Surveyors
 505 South Main Street
 Bountiful, Utah 84010
 Phone (801)-292-0400
 Fax (801)-292-8216

Summit Center Commerce Park
 Sanitary Sewer Plan & Profile
 Summit County

SHEET: 10
OF: 14
DATE: 6/22/06
C-10

00799-6276
 ALAN SPRIGGS, SURVEYOR
 2006 NOV 09 12:20 PM FEE \$550.00 BY GGB
 REQUEST IF ALLIRED CONSTRUCTION



REV	BY	DATE	DESCRIPTION
06/15/06			Raised sanitary sewer line

REV	BY	DATE	DESCRIPTION

hp	1" = 40'
hp	105' = 12"
N:\A105-12\MAR-2004\SITE3-03	
6/22/07	

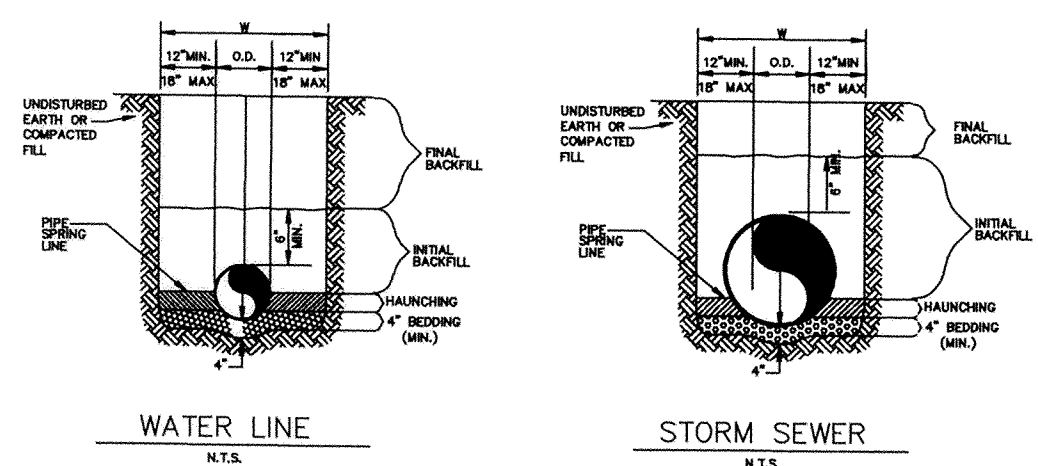
Byrd & Associates LLC
Engineers & Land Surveyors

505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

Summit Center Commerce Park
Sanitary Sewer Plan & Profile

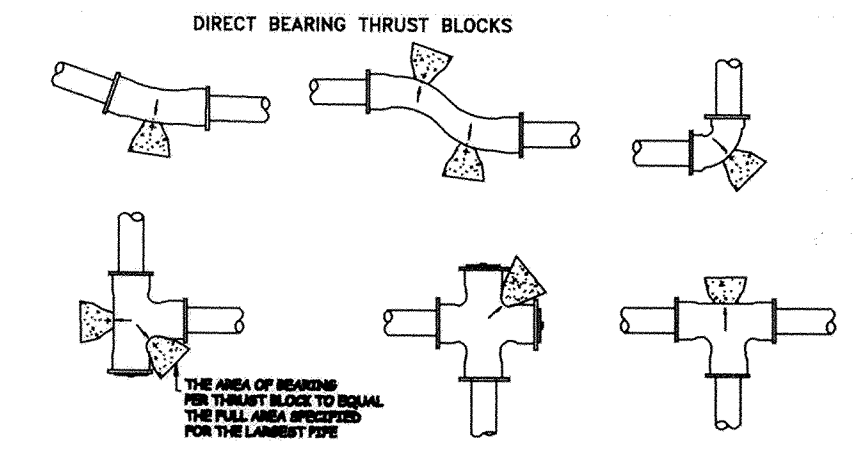
Summit County

SHEET: 11
OF: 14
DRAWING: C-11



- GENERAL NOTES**
1. BEDDING SHALL BE CLASS II-A WORKED BY HAND IF GOVERNMENT IS ANTICIPATED. BEDDING SHALL BE CLASS III COMPACTED TO THE TYPICAL PROCTOR (SEE SPECIFICATIONS FOR GRADATION).
 2. HANDLING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE JOES AND SHALL BE CLASS III COMPACTED TO THE TYPICAL PROCTOR.
 3. MATERIAL SHALL BE CLASS II OR CLASS III COMPACTED TO THE TYPICAL PROCTOR.
 4. MATERIAL SHALL BE CLASS II OR CLASS III COMPACTED TO THE TYPICAL PROCTOR.
 5. FINAL BACKFILL SHALL BE CLASS II, OR CLASS III COMPACTED AS NOTED IN NOTES 3, AND 4.
 6. FINAL BACKFILL UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO SIX STANDARD PROCTOR.
 7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 1557-01.
 8. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES IN ACCORDANCE WITH ASTM D 1557-01. CLASS II AND III MATERIALS SHALL BE COMPACTED NEAR OPTIMAL MOISTURE CONTENT.
 9. ALL TRENCH EXCAVATION SHALL BE SUPPORTED BY SHIELDING OR SHIELDING SHALL BE FILED OF SOILS, ORGANICS AND ROCKS.
 10. ALL TRENCH EXCAVATION SHALL BE SUPPORTED BY SHIELDING OR SHIELDING SHALL BE FILED OF SOILS, ORGANICS AND ROCKS. SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCE. (SEE SPECIFICATIONS)

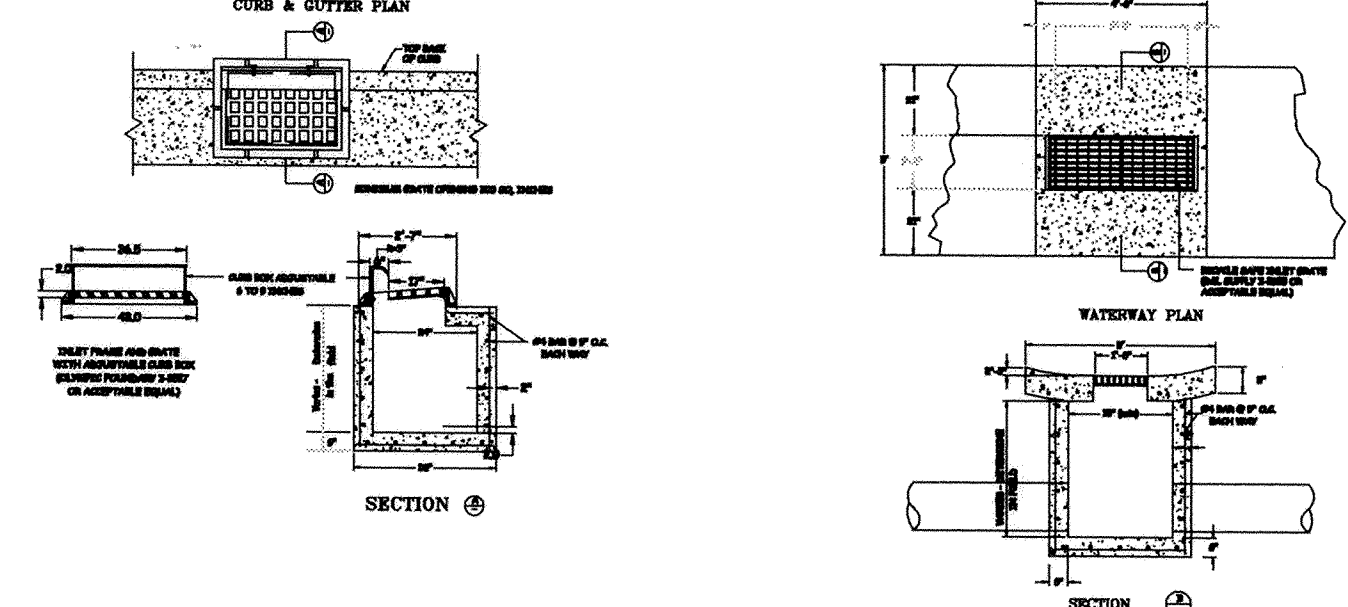
UTILITY TRENCH AND BEDDING
N.T.S.



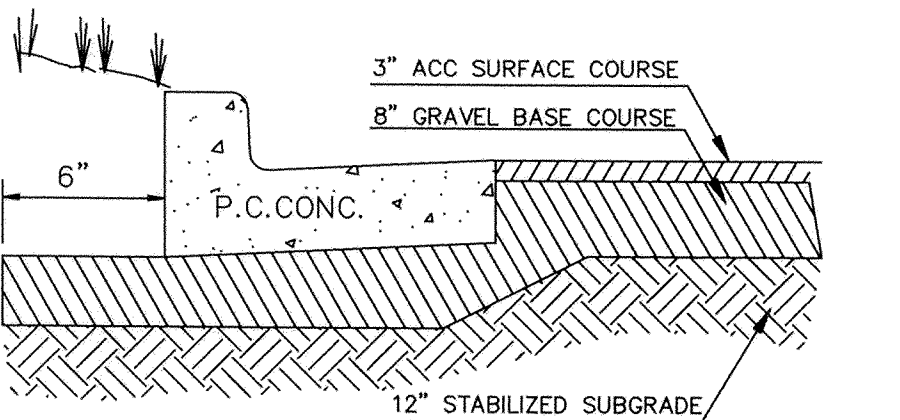
- NOTES**
1. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 2. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 3. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 4. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 5. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 6. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 7. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 8. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 9. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.
 10. ALL BEDDING SHALL BE COMPACTED TO 95% PROCTOR.

PIPE SIZE (IN)	MIN. BEDDING THICKNESS (IN)	MIN. BEDDING THICKNESS (IN)	MIN. BEDDING THICKNESS (IN)	MIN. BEDDING THICKNESS (IN)	MIN. BEDDING THICKNESS (IN)
12"	4"	4"	4"	4"	4"
18"	6"	6"	6"	6"	6"
24"	8"	8"	8"	8"	8"
30"	10"	10"	10"	10"	10"
36"	12"	12"	12"	12"	12"
42"	14"	14"	14"	14"	14"
48"	16"	16"	16"	16"	16"
54"	18"	18"	18"	18"	18"
60"	20"	20"	20"	20"	20"

INLET BOX

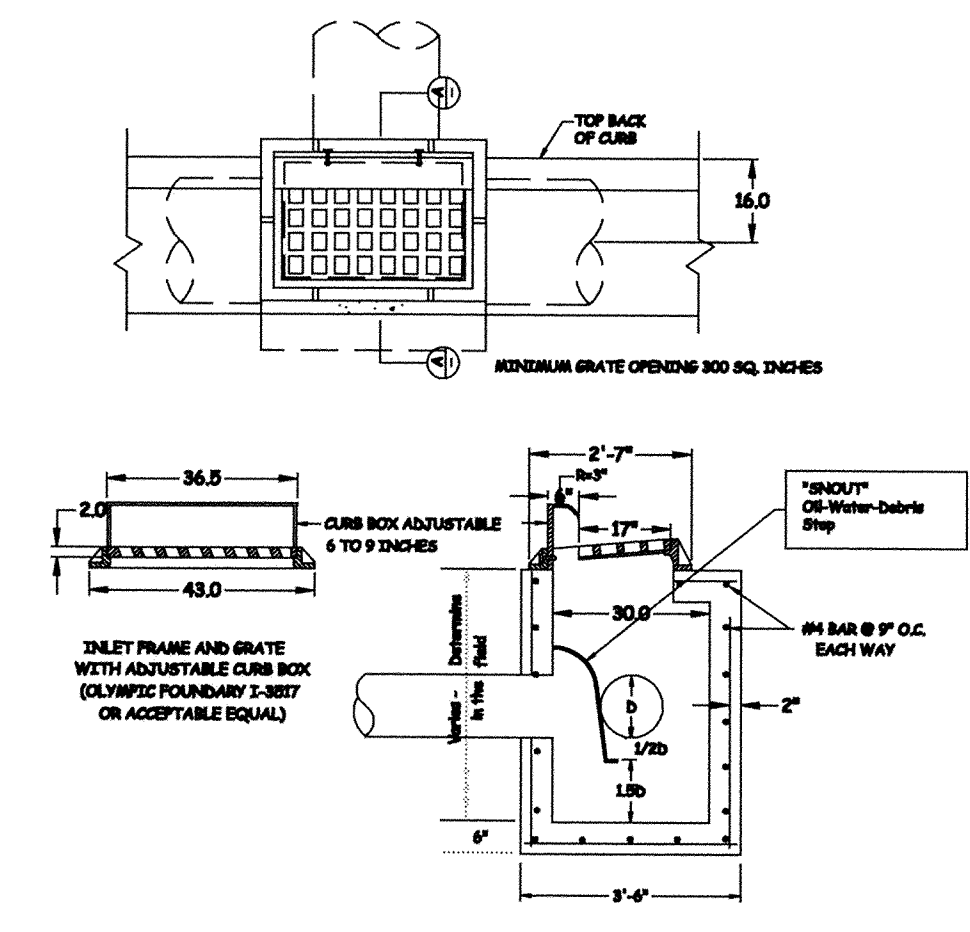


- NOTES**
1. All reinforcement shall be #4 deformed steel, grade 60.
 2. All reinforcement shall be placed at 9" o.c. each way in the floor and the walls.
 3. The adjustable curb box inlet grate shall be bicycle safe. (Specify Flexway 5-3077 or acceptable equal)
 4. Concrete shall be 4,000 PSI on a 28 day compressive test.
 5. All pipes in the box shall be cut with the interior of the box and grouted smooth.
 6. REBAR SHALL HAVE 2" CLEAR ON BOTH SIDES OF STRUCTURE.

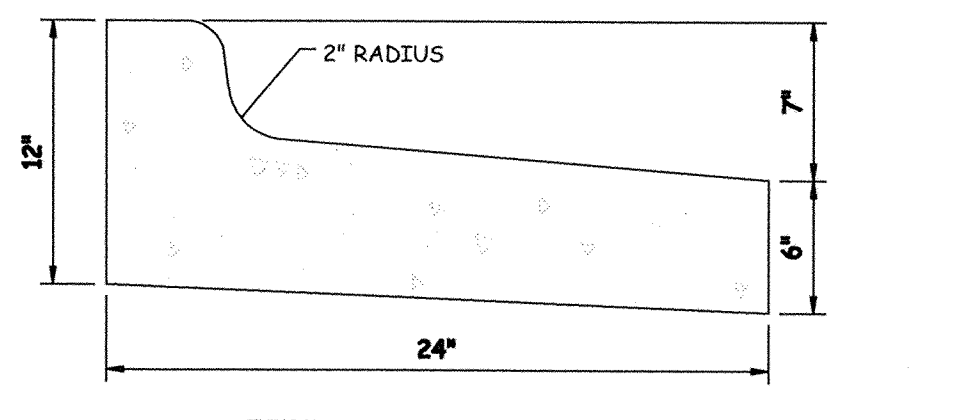
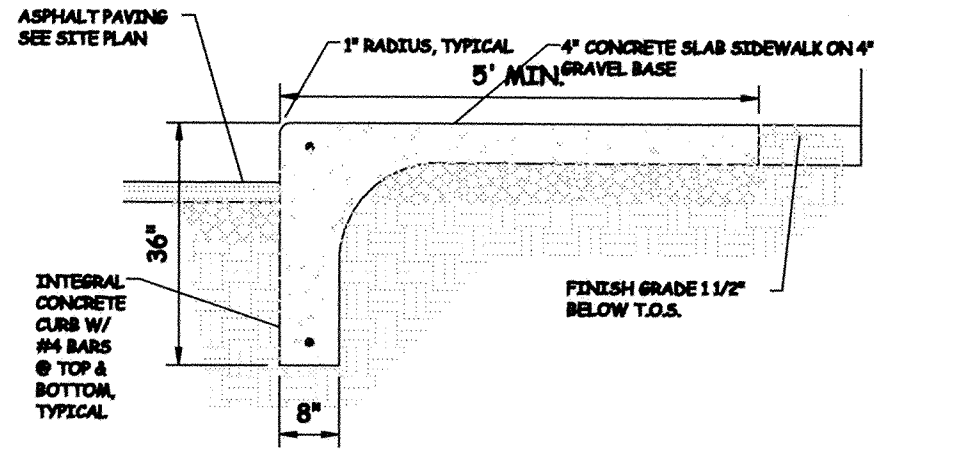


STANDARD ASPHALT PAVING

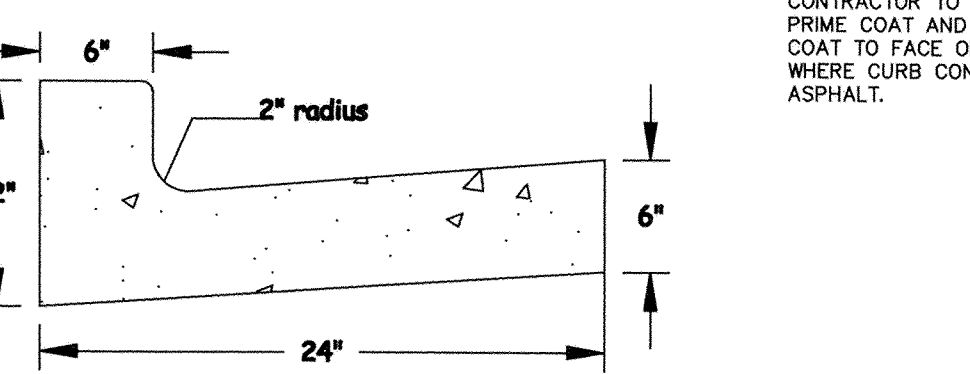
Phase II Control Structure



- NOTES**
1. All reinforcement shall be #4 deformed steel, grade 60.
 2. All reinforcement shall be placed at 9" o.c. each way in the floor and the walls.
 3. The adjustable curb box inlet grate shall be bicycle safe. (Specify Flexway 5-3077 or acceptable equal)
 4. Concrete shall be 4,000 PSI on a 28 day compressive test.
 5. All pipes in the box shall be cut with the interior of the box and grouted smooth.
 6. REBAR SHALL HAVE 2" CLEAR ON BOTH SIDES OF STRUCTURE.



NOTE: 6" MIN. OF UNTREATED BASE COURSE REQ'D UNDER CURB AND GUTTER. COMPACT TO 95% ASSHTO T-180 - METHOD D.



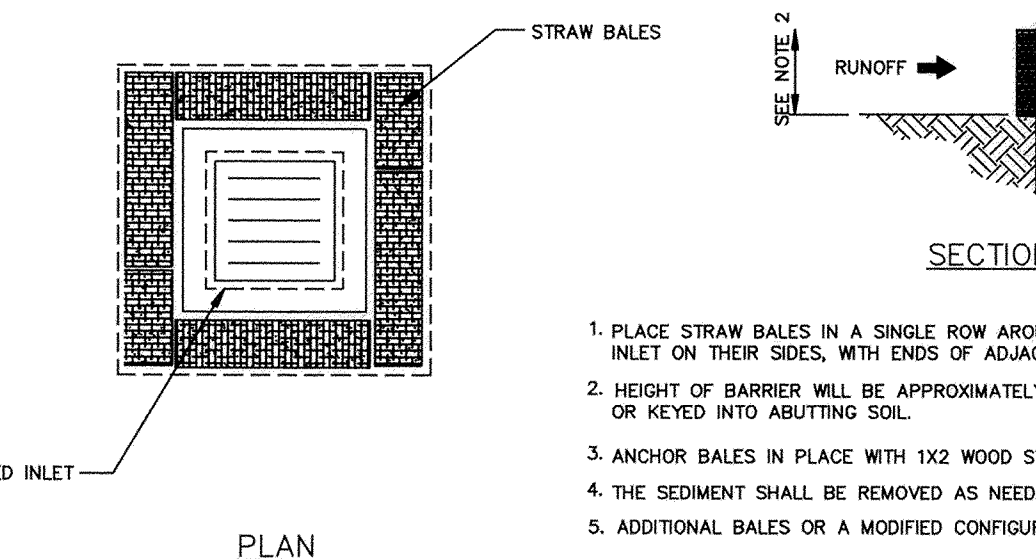
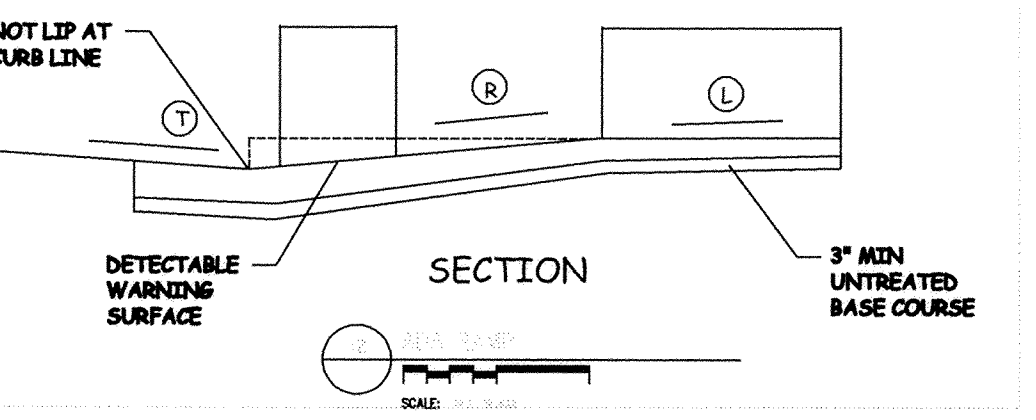
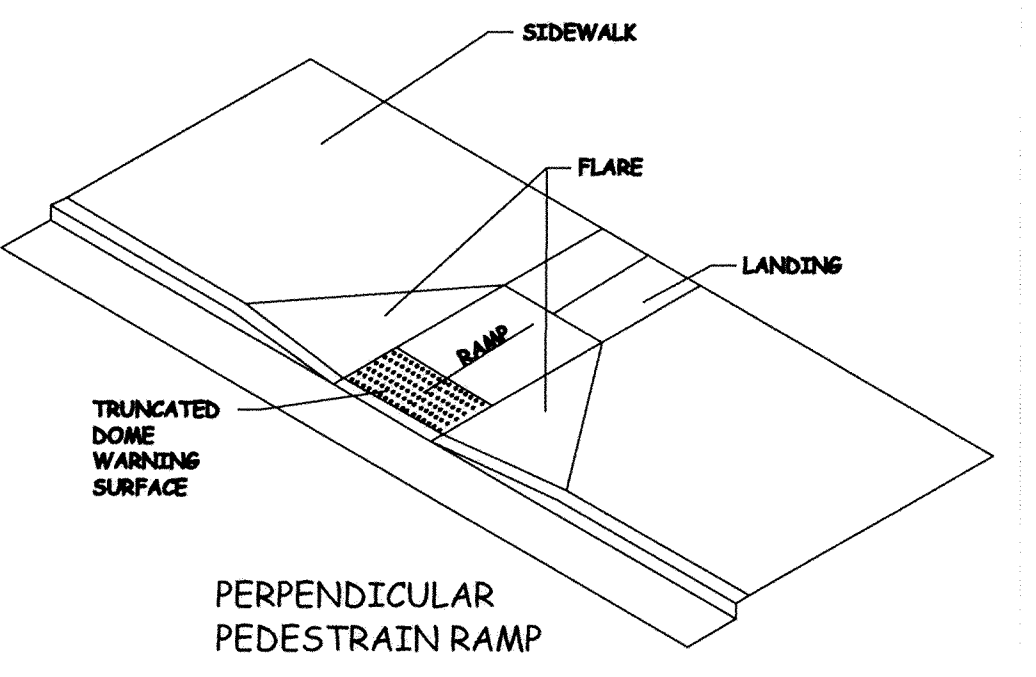
TYPE "A" CONCRETE CURB AND GUTTER
N.T.S.

CONTRACTOR TO PROVIDE PRIME COAT AND TACK COAT TO FACE OF CURB WHERE CURB CONTACTS ASPHALT.

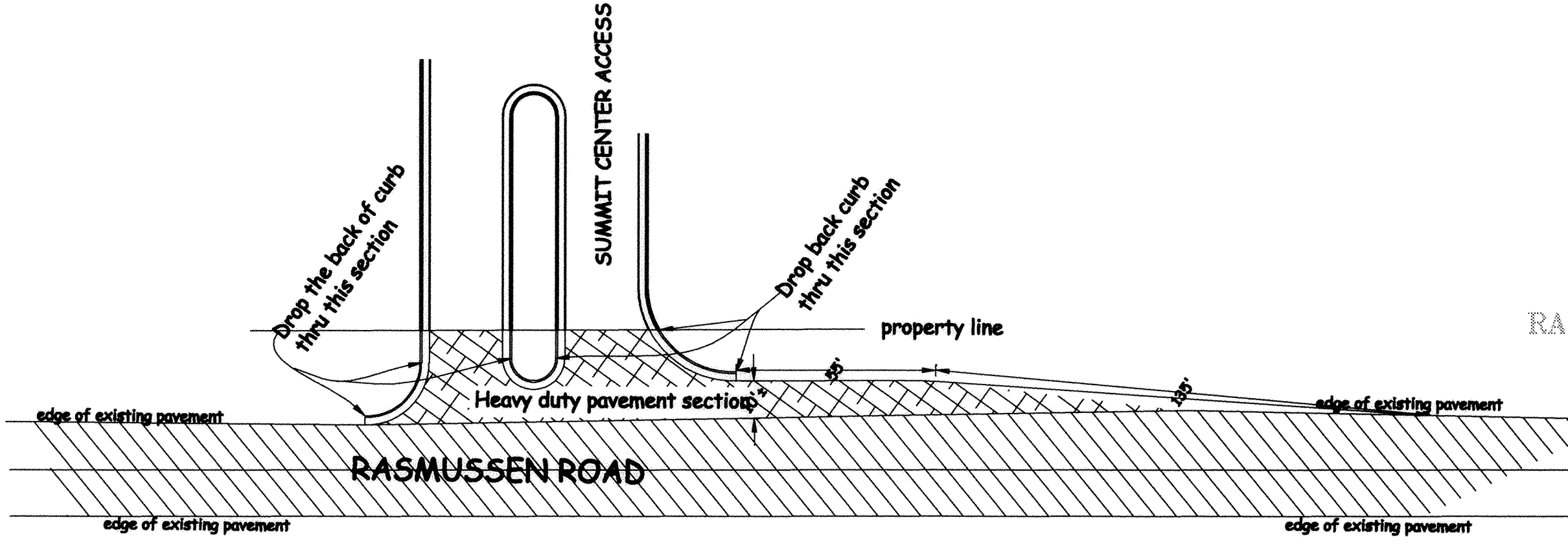
ASPHALTIC CONCRETE PAVING SEE PAVING DETAILS FOR PAVING SECTIONS, SUBGRADE, SUBGRADE AND COMPACTION REQUIREMENTS.

SLOPE TABLE

ITEM	MAX. RUNNING SLOPE	MAX. CROSS SLOPE
(1) LANDING	2% (IV-484) (B)	2% (IV-484) (B)
(2) RAMP	8.33% (IV-1210) (C)	2% (IV-1210) (D)
(3) TRANSITION	5% (IV-2014) (C)	2% (IV-484) (B)
(4) SIDEWALK	2% (IV-484) (B)	---
(5) FLARE	10% (IV-3104)	---



- SECTION**
1. PLACE STRAW BALES IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BALES ABUTTING.
 2. HEIGHT OF BARRIER WILL BE APPROXIMATELY 12" WITH BALES INSET OR KEYS INTO ADJUTING SOIL.
 3. ANCHOR BALES IN PLACE WITH 1X2 WOOD STAKES, 3 PER BALE.
 4. THE SEDIMENT SHALL BE REMOVED AS NEEDED TO ENSURE PROPER FILTERING.
 5. ADDITIONAL BALES OR A MODIFIED CONFIGURATION MAY BE REQUIRED AT INLET LOCATIONS OF ODD SIZES.



CONTRACTOR TO PROVIDE PRIME COAT AND TACK COAT TO FACE OF CURB WHERE CURB CONTACTS ASPHALT.

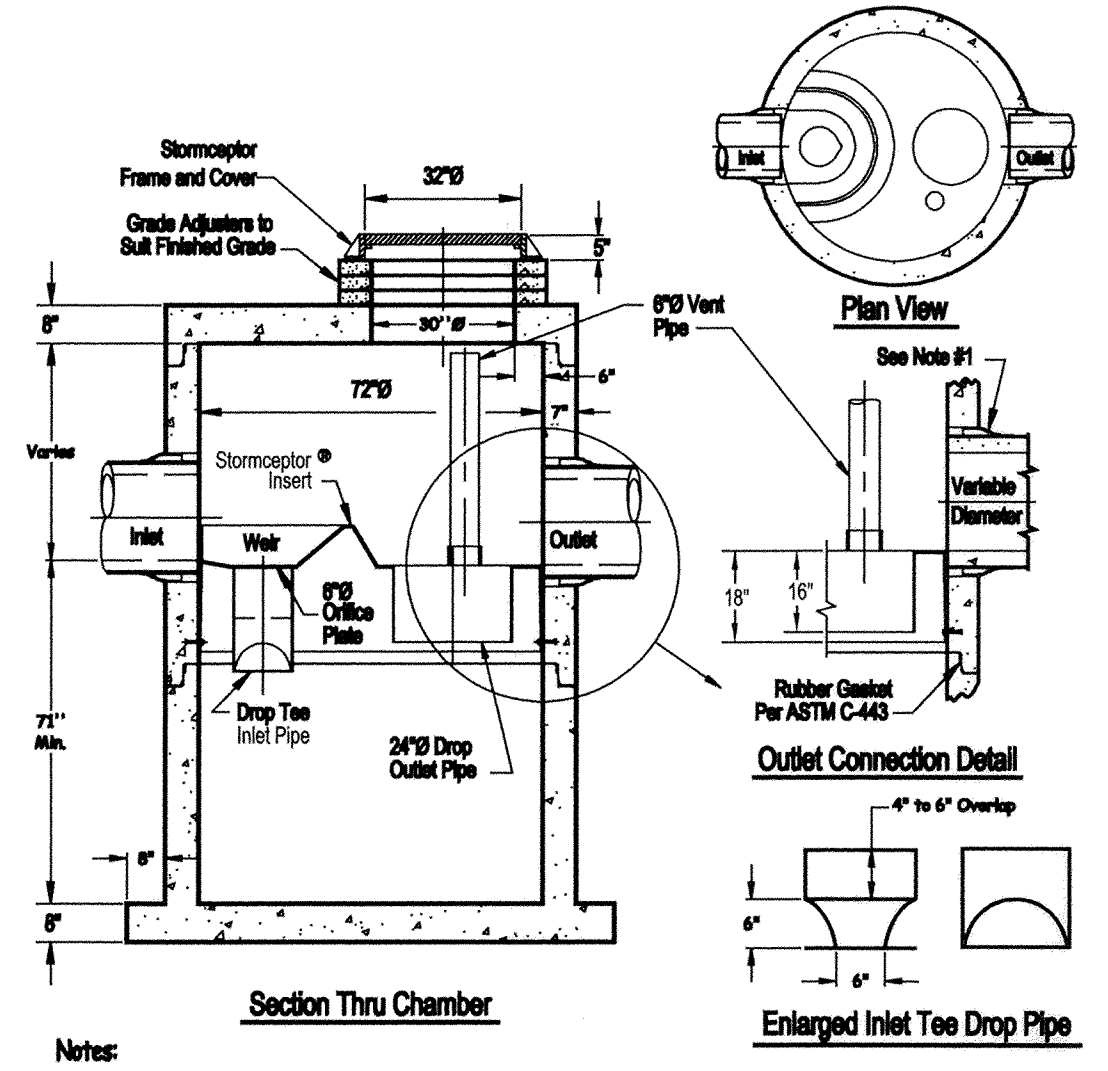
WATER QUALITY VOLUME

LOT #	TOTAL AREA (roof tops, parking, decks)	HARD SURFACE	Pre-development	Post-development
1.	71,408	21,160	47,137	17,603
2.	25,787	0	24,600	0
3.	42,561	26,457	25,843	22,398
4.	28,890	0	24,600	0
5.	32,923	0	24,600	0
6.	35,921	20,301	39,625	53,168
7.	42,065	53,168	3,317	3,317
8.	54,143	---	---	---
TOTALS	333,698	121,086	244,492	0.679

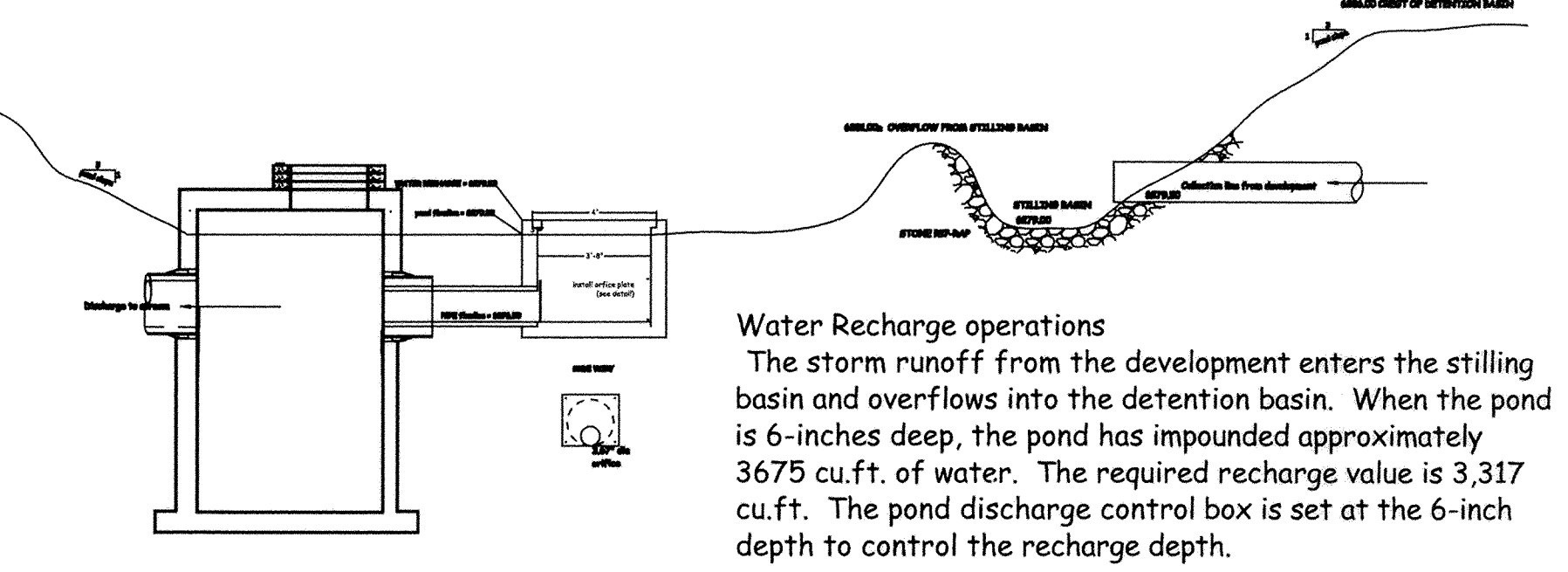
Pre-development "C" factor 0.442
Post-development "C" factor 0.679
Pre-development water quality 6,198 cu.ft.
Post-development water quality 9,515 cu.ft.
TOTAL WATER QUALITY RECHARGE VOLUME 3,317 CU.FT.

The recharge area will be the base of the storm water detention basin.

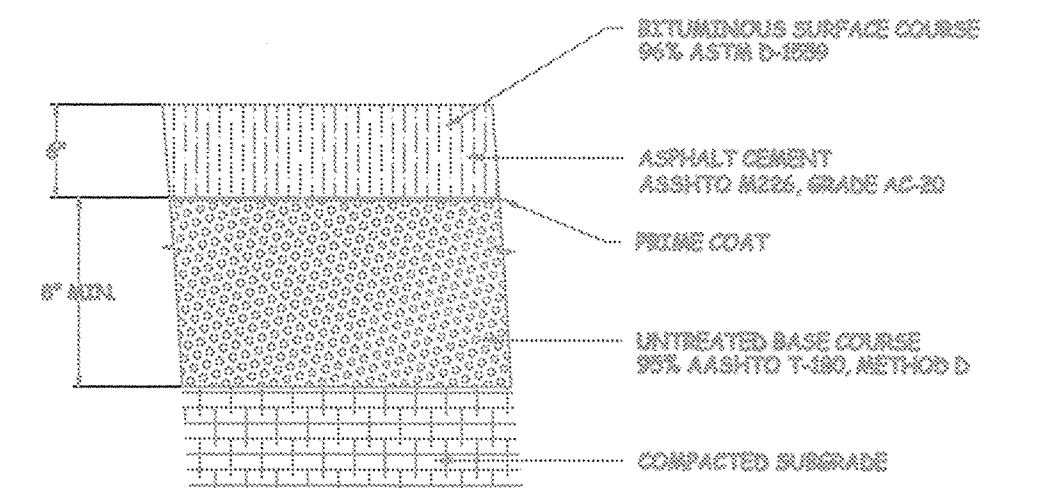
STC 1200 Precast Concrete Stormceptor® (1200 U.S. Gallon Capacity)



- Notes:**
1. The use of a Flexible Connection is recommended at the Inlet and Outlet Pipe.
 2. The Cover should be positioned over the Outlet Drop Pipe and the Vent Pipe.



DETENTION BASIN / TSS REMOVAL DESIGN



RASMUSSEN ROAD ASPHALT SECTION

00796276
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE \$540.00 BY 668
REQUEST: H H ALLRED CONSTRUCTION

REV	BY	DATE	DESCRIPTION
		Aug 2006	Added straw bale detail. Labeled Stormceptor inlet and outlet. Corrected orifice size notation. Added detail for curb construction @ Rasmussen Rd. Added pavement section for Rasmussen Road

REV	BY	DATE	DESCRIPTION
		Aug 2006	Added recharge calculations and detention basin modifications for recharge. Changed the right turn taper length.

hp	1"=40
hp	105=12
N:\105-12\MAR-2004\SITE3-03	
6/22/06	

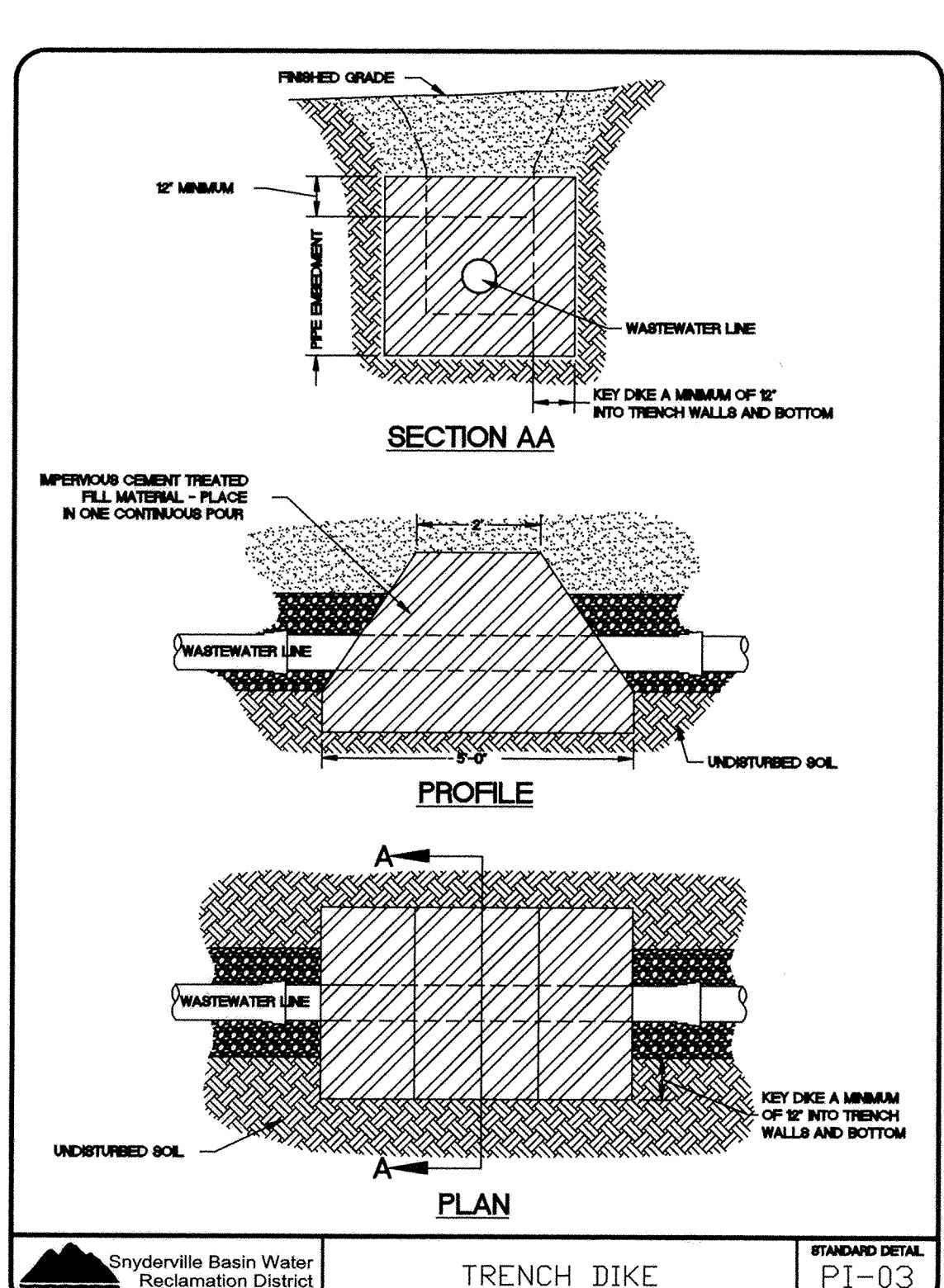
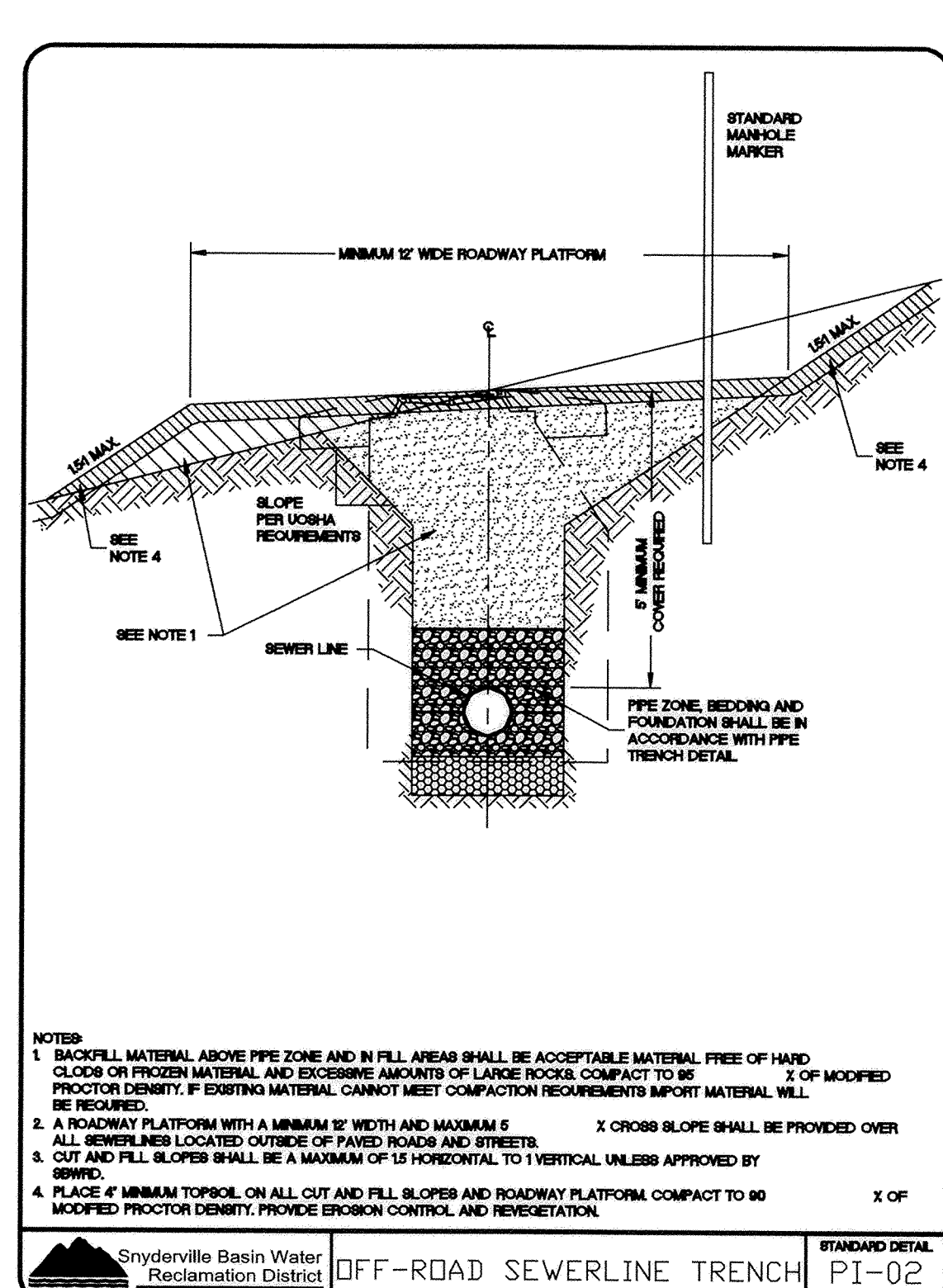
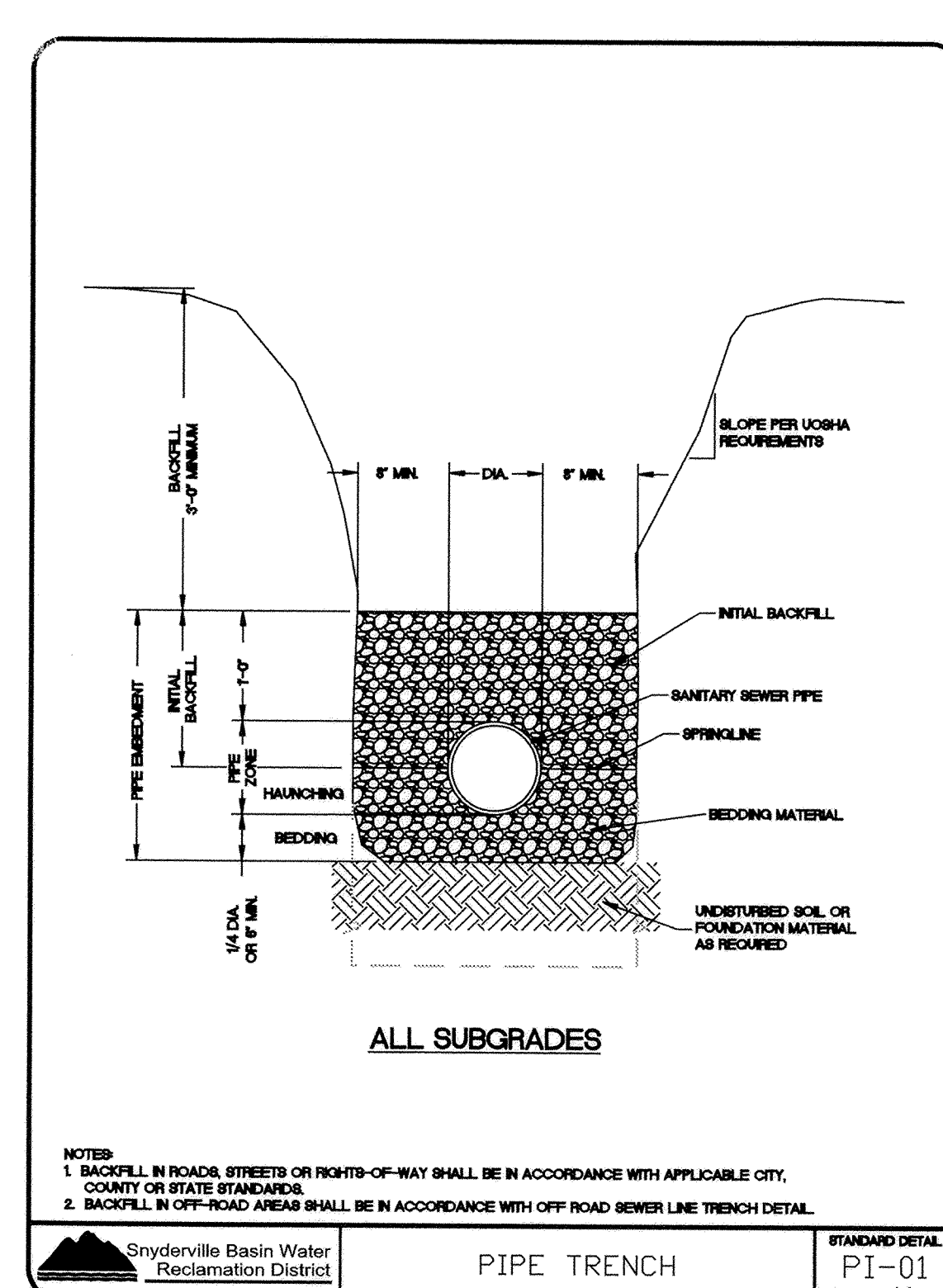
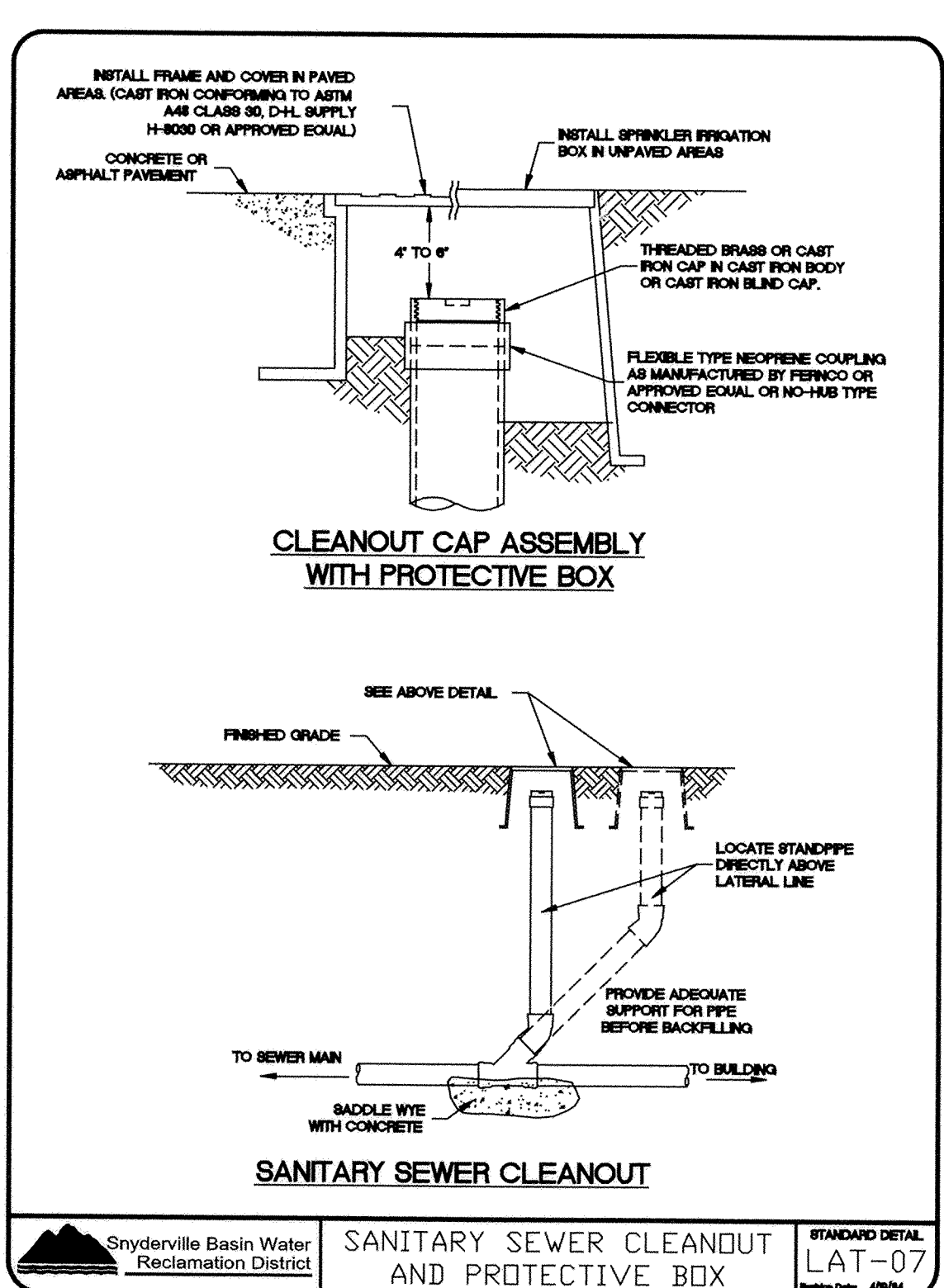
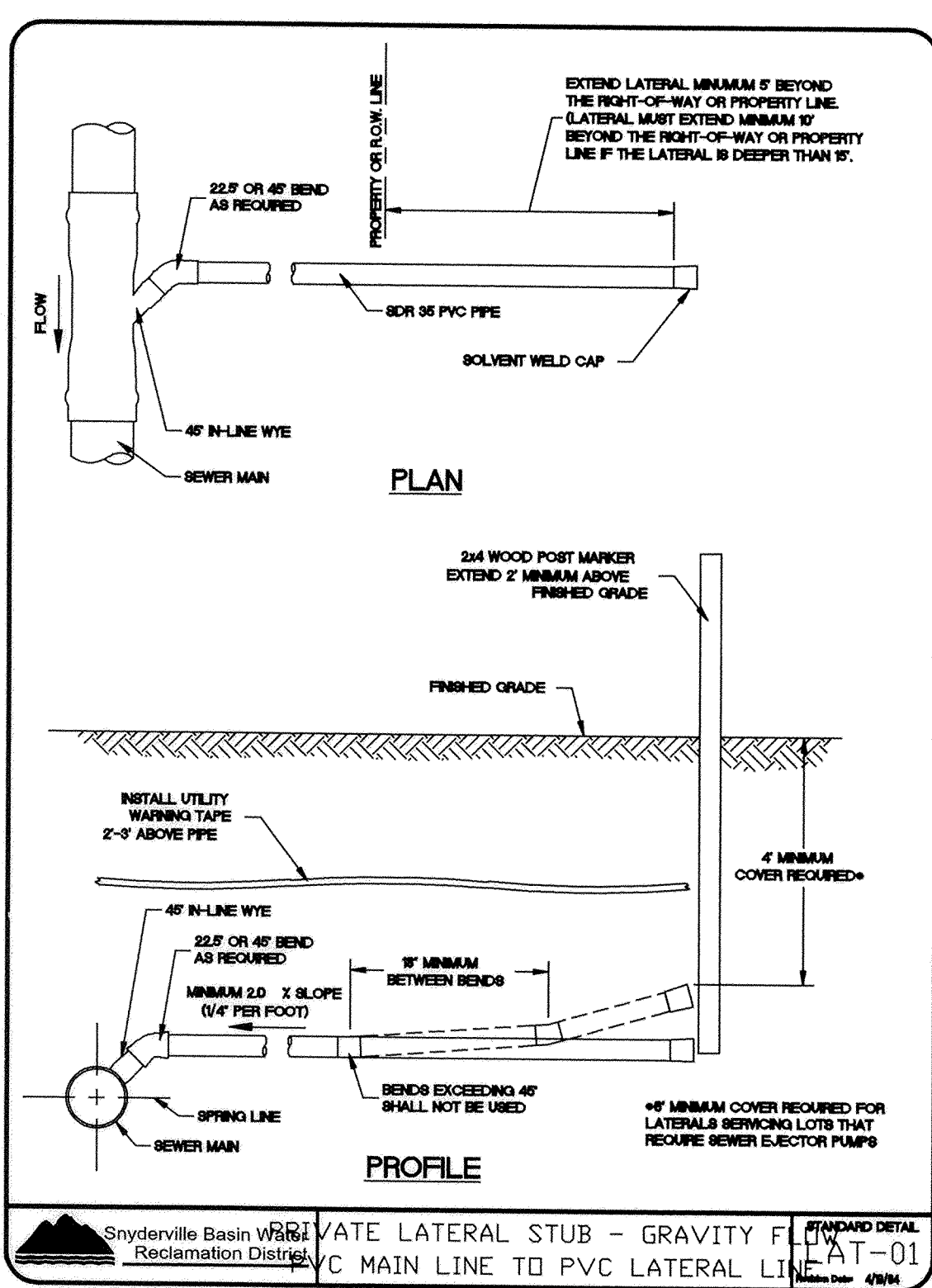
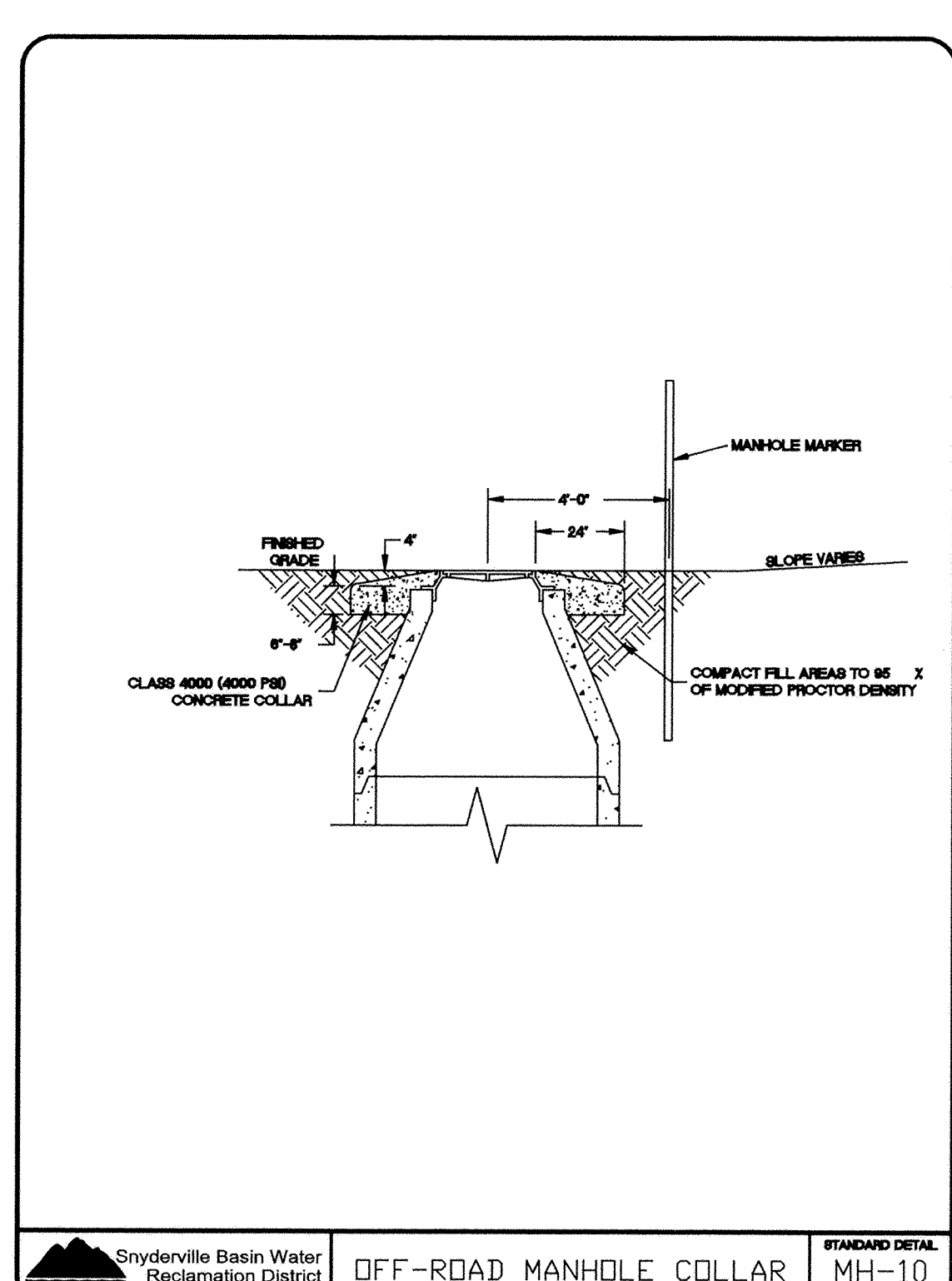
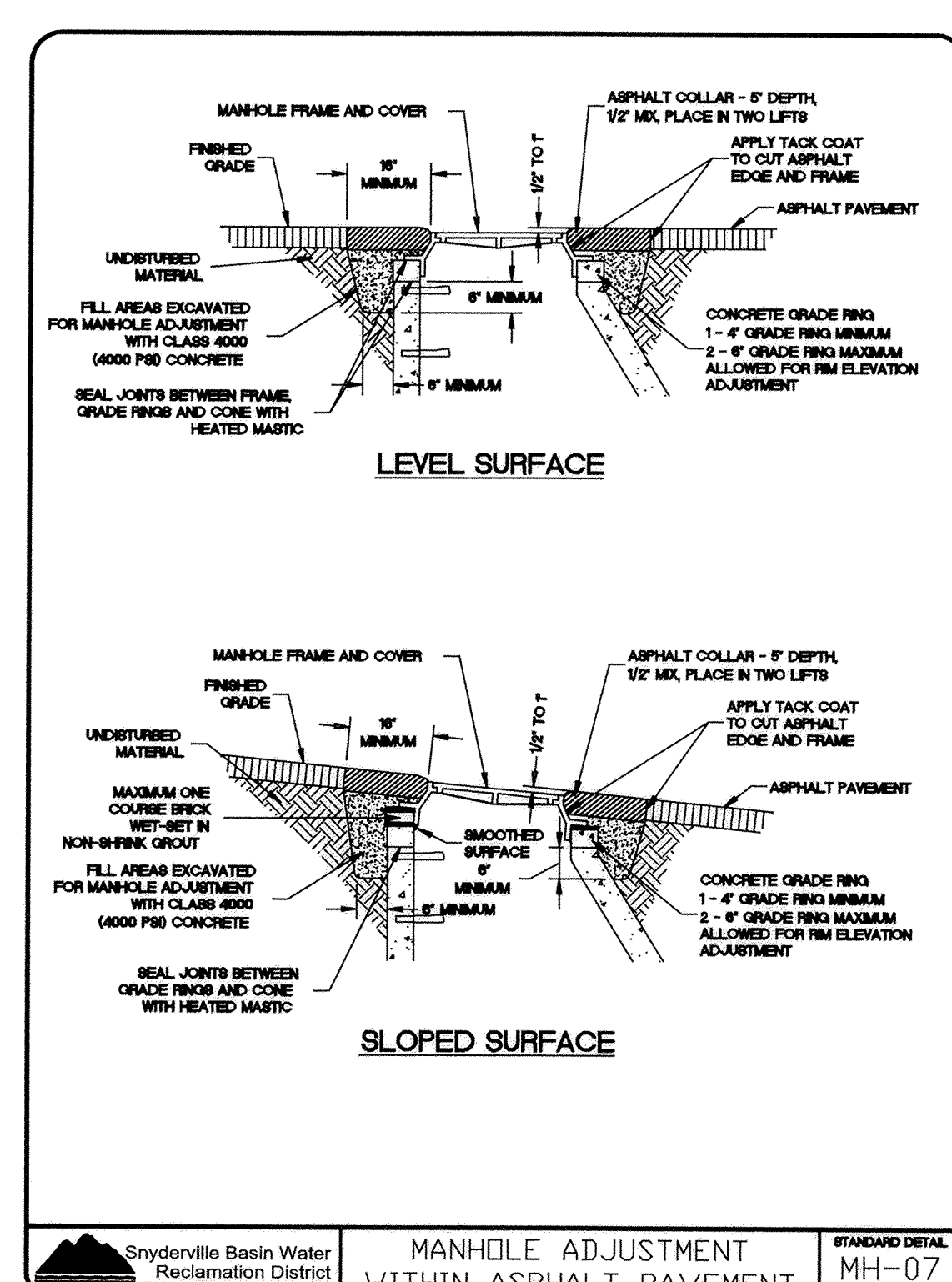
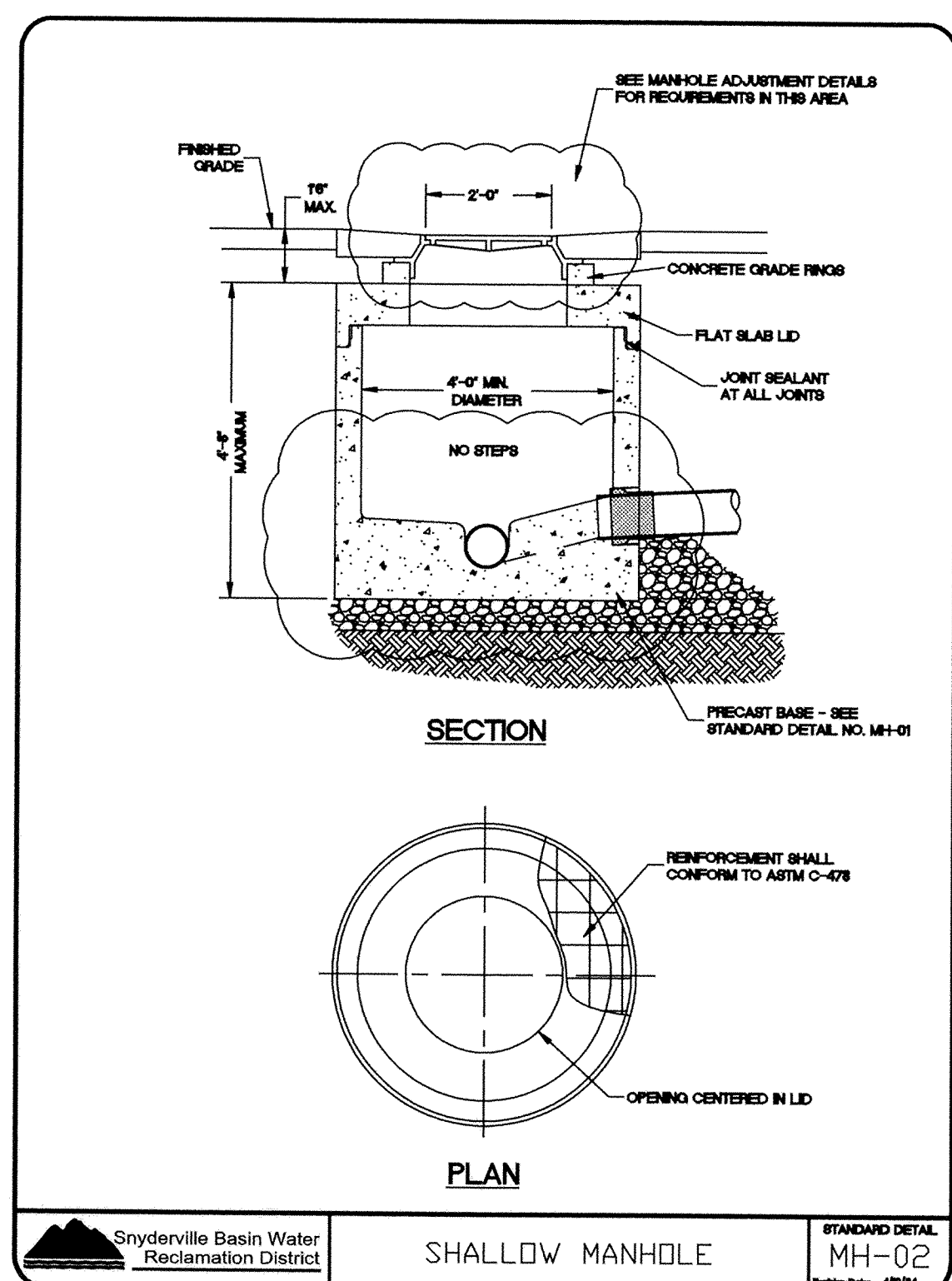
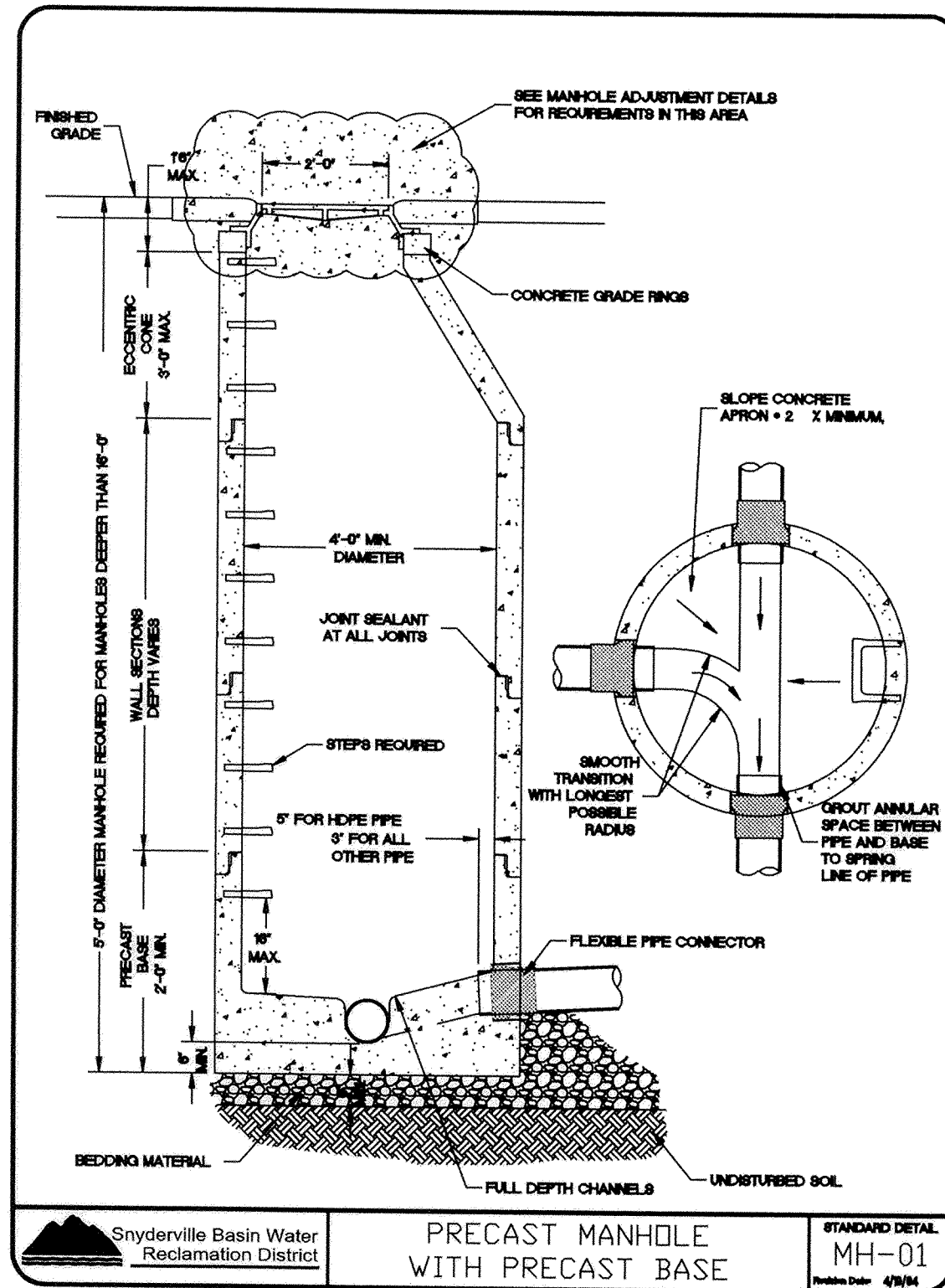
Byrd & Associates L.L.C.
Engineers & Land Surveyors

505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

Summit Center Commerce Park
Details

Summit County UTAH

SHEET: 12
OF: 14
DRAWING
C-12



GENERAL NOTES

- CONSTRUCTION OF THE WASTEWATER SYSTEM IMPROVEMENTS SHALL CONFORM WITH SBWRD DEVELOPMENT PROCEDURES, DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND SEWER LATERALS PRIOR TO CONSTRUCTION.
- A MINIMUM OF 4 FEET OF COVER IS REQUIRED OVER TOP OF SEWER PIPE.
- THE EXISTING SEWER LINE MUST REMAIN IN SERVICE UNTIL THE NEW LINE IS TESTED AND APPROVED BY THE DISTRICT.
- DUE TO THE MINIMAL SLOPE OF THE PROPOSED SEWER LINE A VIDEO INSPECTION WILL BE NECESSARY. ANY SLOPES LESS THAN 0.4% WILL NOT BE ACCEPTED.
- DO NOT CONNECT EXISTING BUILDINGS TO NEW SEWER LINE PRIOR TO PROPER TESTING OF SEWER LINE AND APPROVED BY SBWRD.

00796274

ALAN SPRIGGS, SUMMIT CD RECORDER
2006 NOV 09 12:20 PM FEE: \$540.00 BY GGB
REQUEST: H H ALLRED CONSTRUCTION

REV	BY	DATE	DESCRIPTION

REV	BY	DATE	DESCRIPTION

hp	1"=40
hp	105=12
N:\X105-T2\MAR-2004\SITE3-03	
6/22/04	

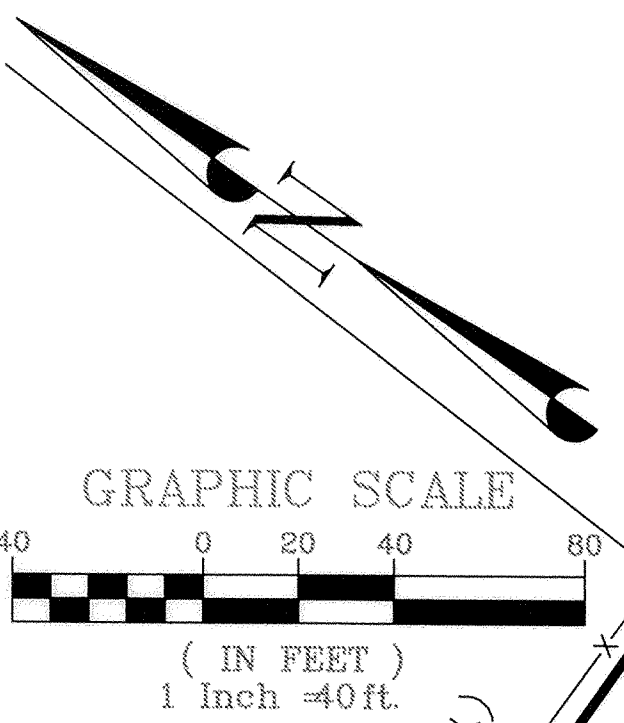
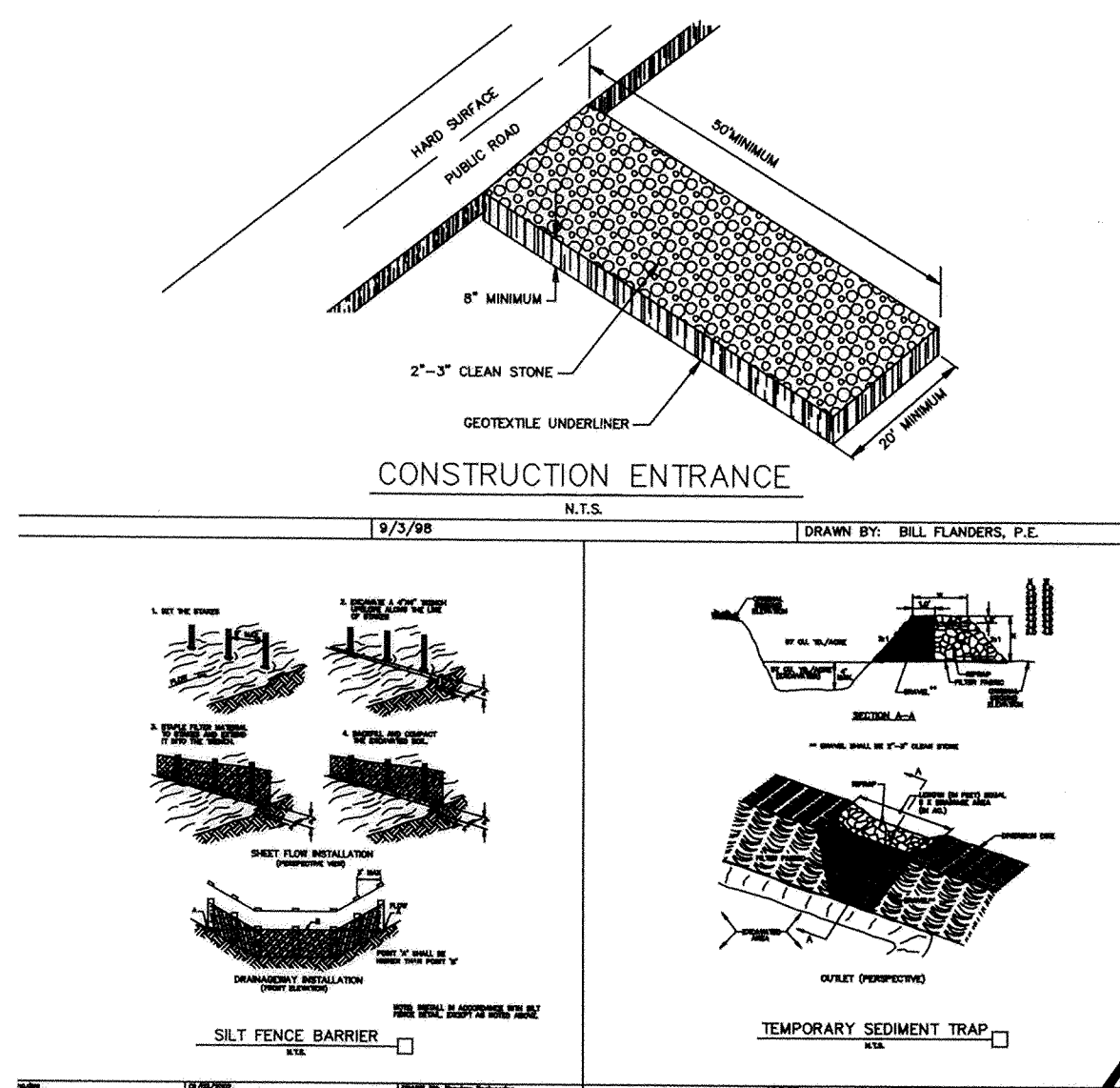
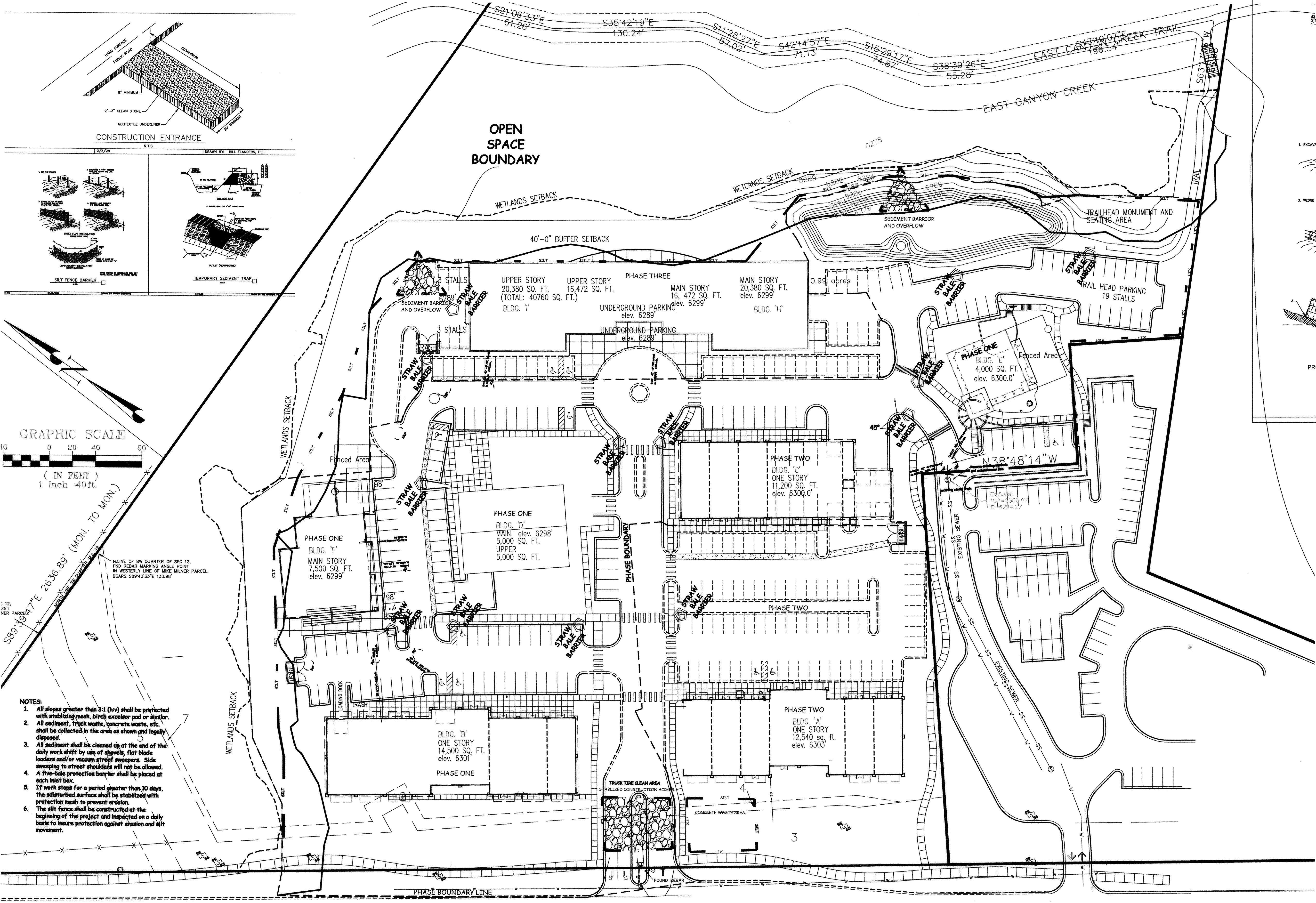
Byrd & Associates LLC
Engineers & Land Surveyors

505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

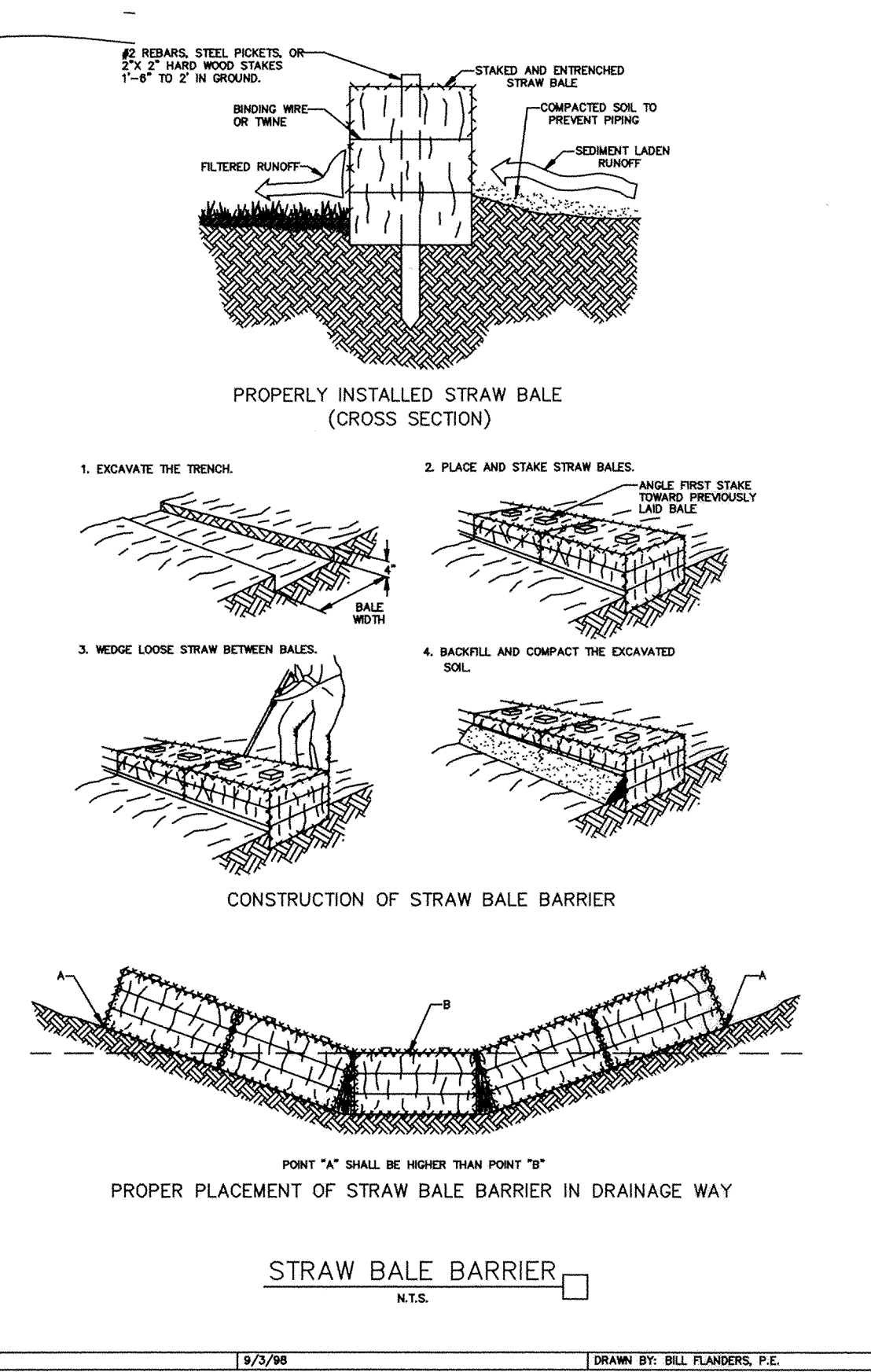
Summit Center Commerce Park
Details

Summit County UTAH

SHEET: 13
OF: 14
DRAWING
C-13



- NOTES:**
- All slopes greater than 3:1 (h:v) shall be protected with stabilizing mesh, birch excelsior pad or similar.
 - All sediment, truck waste, concrete waste, etc. shall be collected in the area as shown and legally disposed.
 - All sediment shall be cleaned up at the end of the daily work shift by use of shovels, flat blade loaders and/or vacuum street sweepers. Side sweeping to street shoulders will not be allowed. A five-bale protection barrier shall be placed at each lot's box.
 - If work stops for a period greater than 10 days, the disturbed surface shall be stabilized with protection mesh to prevent erosion.
 - The silt fence shall be constructed at the beginning of the project and inspected on a daily basis to insure protection against erosion and silt movement.



REV	BY	DATE	DESCRIPTION
		Aug 2006	Added ground water recharge calculations. Change the slope stabilization notation. Added notes for sweeping and cleanup.

REV	BY	DATE	DESCRIPTION

hp	1"=40'
hp	105-12
N:\105-12\MAR-2004\SITE3-03	
6/22/04	

Byrd & Associates LLC
Engineers & Land Surveyors

505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
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Summit Center Commerce Park
Erosion Control Plan

Summit County UTAH

SHEET: 14
OF: 14
DRAWING
C-14

00796276
ALAN SPRIGGS, SUMMIT CO RECORDER
2006 NOV 09 12:20 PM FEE: \$540.00 BY GBB
REQUEST: H H ALLRED CONSTRUCTION